



**TOWN OF PORTOLA VALLEY  
ARCHITECTURAL AND SITE CONTROL COMMISSION (ASCC)  
Monday, November 28, 2016  
7:00 PM – Regular ASCC Meeting  
Special Field Meeting (time and place as listed herein)  
Historic Schoolhouse  
765 Portola Road, Portola Valley, CA 94028**

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**SPECIAL ASCC FIELD MEETING\***

4:00 p.m. 8 Portola Green Circle Field meeting for architectural review for an addition.

**7:00 PM – SPECIAL AGENDA\***

1. Call to Order:
2. Roll Call: Commissioners Koch, Sill, Wilson, Vice Chair Breen and Chair Ross
3. Oral Communications:

Persons wishing to address the Commission on any subject, not on the agenda, may do so now. Please note, however, the Commission is not able to undertake extended discussion or action tonight on items not on the agenda.

4. Old Business:
  - a. Architectural Review and Site Development Permit review for three parcels located at 1260 Westridge Drive, Carano Residences (Staff: C. Richardson)

Parcel A: New 2,039 Square Foot Residence, Pool, Gazebo and 988 Square Foot Detached Garage. File #26-2015

Parcel B: New 6,150 Square Foot Residence with a 6,144 Square Foot Basement and a 969 Square Foot Detached Garage. Variance request to locate a 6 foot tall fence and gate within the front setback. File # 27-2015

Parcel C: New 5,086 Square Foot Residence with a 1,442 Square Foot Basement, a 950 Square Foot Detached Garage, a 404 Square Foot Accessory Dwelling Unit, a 700 Square Foot Detached Garage and Tennis Court. Variance request to locate a 6 foot tall fence and gate within the rear setback. File #28-2015

5. New Business:
  - a. Architectural Review for Driveway Entry Gate, File #: 4-2016, 140 Golden Oak, Avida/Koller Residence (Staff: A. Cassidy)
  - b. Architectural Review for an Addition, File # 30-2016, 8 Portola Green Circle, Murphy Residence (Staff: A. Cassidy)
  - c. Preliminary Review of a Proposal to Renew and Amend a Conditional Use Permit, Alpine Inn Beer Garden, 3915 Alpine Road, File # 36-2016 (Staff: A. Cassidy)

6. Commission and Staff Reports:
    - a. Portola Road Widening Project – Oral Report
  7. Approval of Minutes: [November 14, 2016](#)
  8. Adjournment:
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\*For more information on the projects to be considered by the ASCC at the Special Field and Regular meetings, as well as the scope of reviews and actions tentatively anticipated, please contact Carol Borck in the Planning Department at Portola Valley Town Hall, 650-851-1700 ex. 211. Further, the start times for other than the first Special Field meeting are tentative and dependent on the actual time needed for the preceding Special Field meeting.

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**PROPERTY OWNER ATTENDANCE.** The ASCC strongly encourages a property owner whose application is being heard by the ASCC to attend the ASCC meeting. Often issues arise that only property owners can responsibly address. In such cases, if the property owner is not present it may be necessary to delay action until the property owner can meet with the ASCC.

**WRITTEN MATERIALS.** Any writing or documents provided to a majority of the Town Council or Commissions regarding any item on this agenda will be made available for public inspection at Town Hall located 765 Portola Road, Portola Valley, CA during normal business hours.

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#### **ASSISTANCE FOR PERSONS WITH DISABILITIES**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Assistant Planner at 650-851-1700, extension 211. Notification 48 hours prior to the meeting will enable the Town to make reasonable arrangements to ensure accessibility to this meeting.

#### **PUBLIC HEARINGS**

Public Hearings provide the general public and interested parties an opportunity to provide testimony on these items. If you challenge a proposed action(s) in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing(s) described later in this agenda, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing(s).

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This Notice is Posted in Compliance with the Government Code of the State of California.

Date: November 23, 2016

CheyAnne Brown  
Planning Technician

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# MEMORANDUM

## TOWN OF PORTOLA VALLEY

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**TO:** ASCC

**FROM:** Cynthia Richardson, Planner

**DATE:** November 28, 2016

**RE:** Architectural Review and Site Development Permit review for three parcels located at 1260 Westridge Drive, Carano Residences.

**Parcel A:** New 2,039 Square Foot Residence, Pool, Gazebo and 988 Square Foot Detached Garage. File #26-2015

**Parcel B:** New 6,150 Square Foot Residence with a 6,144 Square Foot Basement and a 969 Square Foot Detached Garage. Variance request to locate a 6 foot tall fence and gate within the front setback. File # 27-2015

**Parcel C:** New 5,086 Square Foot Residence with a 1,442 Square Foot Basement, a 950 Square Foot Detached Garage, a 404 Square Foot Accessory Dwelling Unit, a 700 Square Foot Detached Garage and Tennis Court. Variance request to locate a 6 foot tall fence and gate within the rear setback. File #28-2015

### RECOMMENDATION

Staff recommends that the ASCC approve the three proposed projects, subject to the recommended conditions of approval in Attachment #1 and any additional conditions deemed necessary. In addition, the ASCC should provide a recommendation on the proposed variance and grading/site development permit that will be forwarded to the Planning Commission for their consideration.

### BACKGROUND

The applicant is requesting approval to construct three new homes on the recently approved three lot subdivision located at 1260 Westridge Drive. The application also includes a fence variance and grading that exceeds 1,000 cubic yards which requires the project to be approved by the Planning Commission.

On October 27, 2016 the ASCC and Planning Commission held a joint field meeting to review the revised story poles on the three lots. The staff report and meeting minutes from the October

27, 2016 meeting are included in Attachment #2. The ASCC held a preliminary review of the projects and provided some input for the applicant as follows:

- Lot A - move the gazebo closer to the pool.
- Lot A - reduce the number of pool lights.
- Lot B and C - modify the line of trees near the south side of the residence.
- Include a note on the lighting and mechanical plans outlining a master control system for all 3 properties.
- Lot C - move the detached garage structures farther away from the root zone of the five coast live oaks to the north of the proposed structures.

## **CODE REQUIREMENTS**

As required by sections 18.64.010.1 and 15.12.100.C of the Zoning and Site Development Codes, this application for a new residence and site development permit has been forwarded to the ASCC and Planning Commission, respectively, for review. In addition to the Municipal Code, the Design Guidelines are used to evaluate the project.

## **DISCUSSION**

In response to ASCC comments at the preliminary review meeting, the applicant has submitted revised plans on November 10, 2016 (Attachment #3). In short the gazebo on Lot A has been moved closer to the pool, a note has been added regarding a master control system for the lighting and mechanical features on the lots and the detached garages on Lot C have been moved a few feet farther away from the coast live oak trees and an Arborist report has been submitted with specific findings for each of the trees (Attachment #4). Modifications have been made to the architectural and landscape plans as follows:

- Control System specification sheets have been added (sheet A4.1) to all lots. The lighting and mechanical systems can be monitored from an iPad and controlled from within all homes.
- Construction operation plans have been added to civil drawings EX1 with note about traffic on all lots.
- Grading exhibits have been added to all lots
- Updated Water Use Efficiency Checklists have been prepared for all lots (Attachment #5)
- Lot A Pool House basement has been removed.
- Lot A pavilion has moved 22 feet closer to the swimming pool
- Lot B Main House basement has been reduced to be no greater than the floor area above.
- Lot B and C a variance has been requested for a 6 foot tall wall and gate to be located within the setback area
- The smaller detached garage on lot C has been moved 3'-7" towards the south, farther from the oak tree. The main larger garage has not moved.
- Lot C Entertainment House has added a 1,442 square foot basement
- Lot C Entertainment House has added an accessory dwelling unit within the detached garage

The applicant has responded with modifications to the plan sets that mostly conform to the last ASCC requests.

## **Landscape**

The landscape plans have been modified by removing the blue oak from the planting list. No other changes have been made to the line of trees on Lot B and C. A minor change has been

made to the smaller detached garage on Lot C by moving it 3'-7" away from the oaks. The applicant has submitted an Arborist report dated November 21, 2016 (Attachment #4) that provides information/conditions to be followed during construction. The Arborist concludes that trees # 76-80 have root encroachment less than 20% and the fact that the trees are all in good health, the construction can take place without fear of harming the trees. The fifth tree #80 has a 39% root encroachment. The tree should be considered for removal per the Arborist report however the owner wants to save the tree and use measures during construction to achieve that goal. See the encroachment study attached to the Arborist report for illustration. The ASCC should discuss whether the outlined tree protection measures are adequate to preserve the oak trees on Lot C.

Condition numbers 8 and 9 have been added to Lot A with regard to the existing water well. The subdivision conditions of approval required that the well only serve Lot A in the event that all of the lots were developed with new residences. The condition also specifies that a hydrological study be performed to the satisfaction of the town to show that the continued use of the well does not in any significant way impact the water flows in Corte Madera Creek. This study and town review will be required prior to final inspection of the building permit on Lot A.

### **Variance Request Lots B and C**

The applicant has included a request for a variance to construct a 6 foot tall stone wall and driveway gate around the parking courtyard in front of the two facing garages on Lots B and C. The stone wall is located within the front and side setbacks where only 4' tall horse fencing is allowed. Municipal Code Section 18.43.020.3 requires that in districts requiring a minimum parcel area of two acres or more only horse fencing is area allowed in required yards including on property lines. Therefore a solid 6 foot tall wall is required by code to be located beyond the setbacks. The ASCC should discuss this request and provide input to the Planning Commission with regard to the findings. The specific findings that will need to be made are below.

1. There are special circumstances applicable to the property, including, but not limited to, size, shape, topography, location or surroundings that do not apply generally to other properties or uses in the district;
2. Owing to such special circumstances the literal enforcement of the provisions of this title would deprive such property of privileges enjoyed by other property in the vicinity and under identical zoning;
3. The variance is subject to such conditions as are necessary to assure the adjustment authorized will not constitute a grant of special privilege inconsistent with limitations on other properties in the vicinity and zone in which such property is situated;
4. The variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity or in the district in which the property is located;
5. A variance shall not be granted for a parcel of property which authorizes a use or activity which is not authorized by the zone regulation governing the parcel of property.
6. That the granting of such variance shall be consistent with this title and the general plan.

The applicant has submitted a letter (Attachment #6) which outlines their need for the variance. The applicant explains that even though there are three lots they are perceived as one and the variance will allow the applicant to construct a fully integrated site design. The applicant feels

that the request is in harmony with the general intent of the ordinance and the general plan as it provides mitigation of noise, visual screening of vehicles, headlights, garages and noise.

**Grading**

The project grading for Lot B includes 1,285 of cut and 350 cubic yards of fill for a total grading quantity of 1,635. Due to the increased grading excavation for the light well the project exceeds 1,000 cubic yards of grading and therefore requires Planning Commission review. Grading quantities on Lot A are 730 cubic yards and Lot C are 855 cubic yards. The Site Development Ordinance requires that when grading work in excess of one thousand cubic yards is being proposed on any site or contiguous group of sites the application shall be referred to the Planning Commission. The following table outlines the grading quantities outside the building footprint.

<b>Cubic Yards</b>	<b>Lot A</b>	<b>Lot B</b>	<b>Lot C</b>	<b>Total Overall</b>
Cut	400	1,285	430	2,115
Fill	330	350	425	1,105
Export	70	935	5	1,010

**NEIGHBOR COMMENTS**

At the October 27, 2016 ASCC meeting a few neighbors spoke about the project. Specifically Mr. Robert Wagner had concerns regarding the landscape screening between properties and construction delivery times and how that would affect school traffic. Mr. Kevin Webster had concerns about the drainage and wanted to know if there would be a water collection system on the property.

No new comments have been received as of the writing of this report.

**CONCLUSION**

The applicant has made design changes in response to directions provided by the ASCC. The project is in general conformance with the Town's Zoning and Site Development Codes. Prior to completing action on the architectural review, the ASCC should consider the above comments and any new information presented at the November 28, 2016 ASCC meeting.

In addition, the ASCC should provide a recommendation on the proposed grading/site development permit that will be forwarded to the Planning Commission for their consideration.

**ATTACHMENTS**

1. Recommended Conditions of Approval
2. ASCC Staff Report and minutes– October 27, 2016
3. Architectural plans Lots A, B and C
4. Arborist Report prepared by Michael P. Young dated November 21, 2016
5. Water Use Efficiency Checklist Lots A,B and C
6. Letter requesting Variance from Tom Klope dated November 22, 2016

Report approved by: Debbie Pedro, Planning Director



**Parcel A**  
Recommended Conditions of Approval for  
a New Residence, Detached Garage, Pergola and Swimming Pool.  
File #26-2015  
1260 Westridge Drive, Carano Residence

The following conditions are recommended if the ASCC finds it can act to approve the project:

1. No other modifications to the approved plans are allowed except as otherwise first reviewed and approved by the Planning Director or the ASCC, depending on the scope of the changes.
2. A final landscape plan with details of the type, size, and location of all proposed screen trees shall be submitted for review and approval by a designated ASCC member, prior to issuance of building permit.
3. A construction staging and tree protection plan for the new residence construction shall be submitted to the satisfaction of the Public Works Director prior to building permit issuance.
4. The applicant's engineer shall prepare a full drainage plan with pre and post hydrology calculations. This plan shall be to the satisfaction of the Town Engineer and submitted with the Building Permit.
5. All comments contained within the Public Works Director memo dated 2-11-2016 shall be met.
6. All comments contained within the Town Geologist memo dated 1-12-16 shall be met.
7. All comments contained within the Fire Marshal memo dated 11-5-15 shall be met.
8. Water lines going from the existing well located on Lot A crossing property lines to Lot C shall be disconnected to the satisfaction of Town officials prior to "finaling" of the building permit for occupancy of the new residence.
9. The water wells shall be decommissioned to the satisfaction of the health department prior to "finaling" of the building permit for occupancy of the new residence on Lot A. Alternatively, however, the owner of Lot A may conduct appropriate hydrological studies to the reasonable satisfaction of the town geologist and public works director demonstrating that the continued use of the well does not in any significant way impact the water flows in Corte Madera Creek. If such studies are conducted and accepted by the town geologist and public works director, well use may continue pursuant to the requirements of the well permits issued by San Mateo County. It is understood that such continued use would be for Lot A.

**Parcel B**

Recommended Conditions of Approval for  
a New Residence, Detached Garage. A

Variance request to locate a 6 foot tall fence and gate within the front setback.

File #27-2015

1260 Westridge Drive, Carano Residence

1. No other modifications to the approved plans are allowed except as otherwise first reviewed and approved by the Planning Director or the ASCC, depending on the scope of the changes.
2. A final landscape plan with details of the type, size, and location of all proposed screen trees shall be submitted for review and approval by a designated ASCC member, prior to issuance of building permit.
3. A construction staging and tree protection plan for the new residence construction shall be submitted to the satisfaction of the Public Works Director prior to building permit issuance.
4. The applicant's engineer shall prepare a full drainage plan with pre and post hydrology calculations. This plan shall be to the satisfaction of the Town Engineer and submitted with the Building Permit.
5. All comments contained within the Public Works Director memo dated 2-11-2016 shall be met.
6. All comments contained within the Town Geologist memo dated 1-12-16 shall be met.
7. All comments contained within the Fire Marshal memo dated 11-5-15 shall be met.

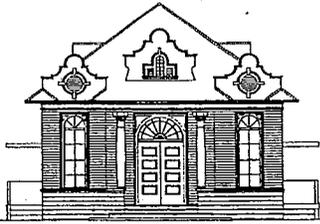
**Parcel C**

Recommended Conditions of Approval for  
a New Residence, Two Detached Garages, a Second Unit and a Tennis court. A Variance  
request to locate a 6 foot tall fence and gate within the rear setback.

File #28-2015

1260 Westridge Drive, Carano Residence

1. No other modifications to the approved plans are allowed except as otherwise first reviewed and approved by the Planning Director or the ASCC, depending on the scope of the changes.
2. A final landscape plan with details of the type, size, and location of all proposed screen trees shall be submitted for review and approval by a designated ASCC member, prior to issuance of building permit.
3. A construction staging and tree protection plan for the new residence construction shall be submitted to the satisfaction of the Public Works Director prior to building permit issuance.
4. The applicant's engineer shall prepare a full drainage plan with pre and post hydrology calculations. This plan shall be to the satisfaction of the Town Engineer and submitted with the Building Permit.
5. All comments contained within the Public Works Director memo dated 2-11-2016 shall be met.
6. All comments contained within the Town Geologist memo dated 1-12-16 shall be met.
7. All comments contained within the Fire Marshal memo dated 11-5-15 shall be met.



# MEMORANDUM

## TOWN OF PORTOLA VALLEY

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**TO:** ASCC and Planning Commission

**FROM:** Cynthia Richardson, Planner

**DATE:** October 27, 2016

**RE:** Preliminary Architectural Review and Site Development Permit review for three parcels located at 1260 Westridge Drive, Carano Residences.

Parcel A: New residence, pool, detached garage and pavilion #26-2015  
Parcel B: New residence and detached garage File #27-2015  
Parcel C: New residence, two detached garages and tennis court File #28-2015

### BACKGROUND

On February 22, 2016 and April 25, 2016 the ASCC held preliminary meetings to review the proposed three homes located at 1260 Westridge Road. The ASCC staff report from the two meetings are attached (Attachment 1) for your information. In addition the minutes from the two ASCC meetings are attached (Attachment 2). At the first meeting the ASCC gave the applicant direction to reduce the mass of the three buildings, reduce the amount of lighting and provide variation in the exterior color pallet. The applicant returned to the second meeting with a reduced floor area on Lots A and C and reduced the heights in some places. The ASCC appreciated the changes made by the applicant however they expressed the need to further reduce the height of the structures. Since the last ASCC meeting, the applicants have hired a new architect. The three homes have been slightly redesigned and the overall heights have been reduced while portions of the structures have been raised in height. The overall change has created elevations that are more linear and appear to be slightly more bulky.

Each of the three parcels will be reviewed separately for code compliance as each lot is considered a separate legal parcel. The final map for the subdivision has been recorded and the applicants plan to begin the subdivision improvement work starting in the near future.

The applicants have prepared revisions to all of the three projects. On the elevation sheets you will see the previous roof heights dashed in on the plan. In some cases the roof heights have both increased and decreased. The light fixtures have been changed to a fixture that has only one bulb. In addition you will see that there are several sconces on the building that are non-operational and are present only for their design aesthetic and offer balance on the exterior elevations. These non-operational fixtures have been proposed on all three homes. In addition the new architect has verbally indicated that there will be a control panel that will be installed such that lighting on all of the parcels can be operated from one location.

The exterior materials have been refined with more delineation between the stone color and the integral color plaster. The roof is clay tile with variation in the color between a reddish/brown with some antique black mottling.

Grading

The project grading exceeds the 1,000 cubic yard threshold on Lot B only. Grading quantities on Lot A are 920 cubic yards and Lot C are 875 cubic yards. The Municipal Code requires that when grading work in excess of one thousand cubic yards is being proposed on any site or contiguous group of sites the application shall be referred to the Planning Commission. Therefore all three parcels will be going to the Planning Commission for review.

Changes to each of the homes are as follows:

**Lot A – “Pool House”**

The residence and detached garage footprint have not changed from its last location. The roof has been lowered slightly on the garage and a small mechanical room/basement added. The center roof massing on the main house has also been reduced by a little more than 3 feet while the two side masses flanking the center have been increased in height by about 4.5 feet. The previous main house contained a larger mass in the center with two smaller masses on either end which broke up the linear façade of the structure. A roof well is proposed in the center of the roof to accommodate air conditioning condensing units and a skylight.

The second unit was eliminated from the project and a 21 foot tall pergola was placed in the meadow area. Staff would like to see the pergola moved closer to the pool so that it feels like a cohesive part of the site plan. A comparison of revised square footages is below.

Structure Floor Area	1st SF	2 <sup>nd</sup> Revised SF	Current
Residence (Pool House)	4,991	2,098	2,039
Basement	1,785	0	280
Detached Garage	2,352	988	988
Second Unit	0	751	0
Total	7,343	3,837	3,307

The proposed impervious surface has been increased to 10,083 from 9,555. The project remains under the 13,713 allowed for this parcel.

**Lot B – Main Residence**

The main house and detached garage maintains a very similar footprint and location as previous plans. The roof has been lowered slightly in the center and a roof well has been added with skylights and condensing units. In some places the height of the structure has been increased by 2 feet. The front elevation has been modified to increase the three arches to five arches at the center front entry. In addition the master bedroom loggia has been moved from the front to the side/end of the structure. The project as drawn exceeds the maximum 85% of the AMFA due to some basement areas counting as floor area. The applicant is working on a program to decrease the size of the basement in areas that extend beyond the floor area above. The two areas include the wine room under the front loggia and the extended master dressing room under the master bedroom loggia. A comparison of revised square footages is below.

Structure Floor Area	1st SF	2 <sup>nd</sup> Revised SF	Current
Residence (Main House)	6,150	6,153	6,150
Basement	<6,175>	<6,175> 1,157	<6,150> 1,157
Detached Garage	969	969	969
Second Unit	592	0	0
Total	8,114	8,279	8,276

An expanded light well has been added to the rear of the structure. Portola Valley Municipal Code Section 18.04.065.C allows the ASCC to approve the expansion when it finds the light well will not be visible from adjoining or nearby properties. The ASCC should discuss this aspect of the project and provide guidance to the applicant. Staff believes that the increase will not be directly visible from any neighboring properties and can be confirmed on the site visit prior to the meeting.

Grading

The project grading for Lot B includes 1,345 of cut and 400 cubic yards of fill for a total grading quantity of 1,745. Due to the increased grading excavation for the light well the project exceeds 1,000 cubic yards of grading and therefore requires Planning Commission review. The Site Development Ordinance requires that when grading work in excess of one thousand cubic yards is being proposed on any site or contiguous group of sites the application shall be referred to the Planning Commission.

The proposed impervious surface has been increased to 13,272 from 12,355 which is under the 14,042 allowed for this parcel. The increase is due to additional pathways and the use of the center circular driveway as a firetruck turn around. The applicant has removed the request for an ornamental garden structure at the courtyard for the garage on Lot B and C. However one freestanding stone wall still exists within the 20 foot setback (from the roadway easement). This wall must be moved outside of the setback or be removed from the plans. The landscape plan is similar to past iterations and has become a bit more formal by changing curving paths to a more linear straight design. In addition a new row of trees has been added to the south of the residence which continues onto Lot C, terminating at the southeast corner of the home.

**Lot C – “Entertainment House”**

Revisions have been made to the entertainment house by adding additional arches at the front entry similar to the main house on Lot B. The footprint sits in the same location and generally in the same configuration as past plans. The height of the structure has been slightly reduced in some areas by 2.5 feet while raised in other areas by 2 feet. A roof well has been added with skylights and condensing units. A comparison of revised square footages is below.

Structure Floor Area	1st SF	2 <sup>nd</sup> Revised SF	Current
Residence (Entertainment House)	6,193	5,639	4,903
Basement	2,924	0	0
Detached Garage/Office	0	0	1,354
Detached Garage/storage	560	700	700
Total	6,753	6,339	6,957

The proposed impervious surface was 12,131 and has been increased to 12,360, which is under the 12,369 allowed for this parcel. The landscape plan remains somewhat the same but a bit more formality has been added.

### **NEIGHBOR COMMENTS**

No new comments have been received as of the writing of this report.

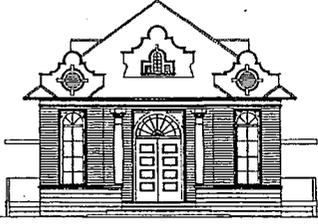
### **CONCLUSION**

The ASCC should conduct the revised drawings for preliminary review along with information gathered at the site visit, and offer comments, reactions and directions to assist the applicant and project architect with any plan adjustments or clarifications that members conclude are needed before final action on the application.

### **ATTACHMENTS**

1. ASCC Staff Report - February 22, 2016 and April 25, 2016.
2. ASCC Meeting Minutes - February 22, 2016 and April 25, 2016
3. Architectural plans Lots A, B and C

Report approved by: Debbie Pedro, Planning Director



# MEMORANDUM

## TOWN OF PORTOLA VALLEY

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**TO:** ASCC and PLANNING COMMISSION

**FROM:** Cynthia Richardson, Planner

**DATE:** February 22, 2016

**RE:** Preliminary Architectural Review and Site Development Permit review for three parcels located at 1260 Westridge Drive, Carano Residences.

Parcel A: New residence, pool, detached garage File #26-2015  
Parcel B: New residence, detached garage and second unit File #27-2015  
Parcel C: New residence, detached garage and tennis court File #28-2015

### BACKGROUND

On August 3, 2011, the Planning Commission approved a 3-lot subdivision of the 11.6 acre property subject to the Mitigated Negative Declaration, conditions of approval for the Tentative Parcel Map and the Planned Unit Development. The subject property is relatively long with substantial tree cover and natural vegetation. The south side of the property is bordered by Corte Madera Creek and the north is bordered by an unnamed drainage swale that flows to Corte Madera Creek. The property is located in Portola Valley's Residential – Estate, (R-E/2.5A.SD2.5) zoning district. Entrance to the site is from Westridge Drive. This project is not subject to review by the Westridge Homeowners Association as the property sits just outside of their review area.

The Carano family purchased the subdivision from the Shorenstein family and intends to use all three parcels as a family compound. The applicant is currently working on finishing the improvement plans and final parcel map for recordation to create the three lots. The new shared road, which runs along the western side of the property, is part of the approved subdivision improvements. The edges of the roadway are staked for your understanding of the property.

On December 14, 2015, the ASCC approved a double chip seal material to be used on the shared roadway. In addition, a landscape screening plan was approved by the ASCC that was associated with the subdivision. The new screening is also shown on the included landscape plans. All of the approved subdivision landscape screening will be implemented after construction of the new shared roadway.

The property is accessed via a private roadway that was approved with the subdivision of this property. The entire property is approximately 11.6 gross acres with Lot A being 4.13 acres, Lot B being 4.37 acres and Lot C being 3.1 acres. The site currently maintains a septic system that will be abandoned when the new sewer line is installed with the subdivision improvements.

A single family home is proposed for each of the three parcels. The main house will be located on Lot B, the center lot. Lot A will contain the "pool house" a swimming pool, an auto court and a detached garage/equipment barn. Lot C will contain the "entertainment house", tennis court, tennis pavilion and garage/equipment barn. Each of the three new homes is one story with a basement and is designed in the same Tuscan style using the same exterior materials.

The property currently contains a main residence, a caretaker house, gardener's work shed, pump house, pool and tennis court. All existing improvements are proposed for demolition with this project. The conditions of approval for the Tentative Map anticipated a future owner wanting to remove the existing structures. The condition states that as a requirement for demolition, the project would need to be evaluated pursuant to the requirements of the California Environmental quality Act (CEQA) to determine if the residence or accessory structures have potential historic significance. The Town Historian, Nancy Lund has provided her review of the property (Attachment #2). In addition, the applicant has provided a Historic Resource Evaluation prepared by Evans & DeShazo for demolition of all of the structures (Attachment #3). The report was peer reviewed by JRP Historical Consulting for the Town (Attachment #4). As of the time of writing of this report the revised evaluation and second peer review have not been completed. These reports must be completed prior to any further action by the ASCC.

Each of the three parcels will be reviewed separately for code compliance as each lot is considered a separate legal lot once the final parcel map is recorded. This preliminary design review meeting is a way for the project team to hear any concerns the ASCC and Planning Commission may have. No further hearings will be held until the final parcel map is recorded.

In addition to the architectural, landscape and civil plans the project submittal includes the information listed below:

- Tree Survey prepared by Urban Tree Management (Attachment #5)
- Outdoor Water Use Efficiency Checklist Lots A, B and C (Attachment #6)
- Build It Green Checklist (See plan set for each lot)
- Colors/Materials Board (Attached #7) (Actual materials board to be available at ASCC meeting)

## **CODE REQUIREMENTS**

As required by sections 18.64.010.1 and 15.12.100C of the Zoning and Site Development Codes, this application for three new residence and one site development permit has been forwarded to the ASCC and Planning Commission, respectively, for review. In addition to the Municipal Code, the Design Guidelines are used to evaluate the project. Future Site Development review at the Planning Commission level only applies to Lot B, as the grading associated with this lot will be over the 1,000 cubic yard limitation.

## **DISCUSSION**

### **Exterior materials and finishes, exterior lighting, and skylights**

The Architect has provided a description of the project as follows: "The concept for the development of the property is of an Italian style "Borgo" or country village/estate in the character that might be found near Florence. The buildings are linked together stylistically and by similar materials, but with subtle differences in detail. The style is sophisticated rather than rustic Tuscan, while not overly formal or urban. The scale of the one story buildings allows the interiors to be representative of this style, with tall, vaulted spaces."

The proposed finish treatments for the project meet Town reflectivity guidelines and include:

- Exterior cement plaster finish
- Exterior field stone veneer
- Cut stone cornice, quoins and columns
- Doors and windows in bronze cladding
- Roofing in reclaimed clay roof tile
- Exterior Stone Floor, Flagstone
- Driveway interlocking pavers

Proposed exterior lighting and landscape lighting for the new residences and landscaped areas are shown in the Landscape Plan set, labeled as Exterior Lighting Plan. The Town Design Guidelines call for the “minimum amount of lighting necessary to achieve essential illumination,” it appears that the proposed lighting exceeds the requirement for all three lots. Lighting is proposed such that many of the exit doors have two light fixtures where the building code only requires one. In several locations lights are proposed on walls where there are no exit doors. In addition the proposed carriage light fixture cut sheets call for three bulbs per fixture where only one has historically been allowed. The ASCC should discuss options for reducing the lighting for all three parcels.

**Landscaping and fencing**

A new subdivision entry gate is proposed and shown on sheet LC.2 of Lot C landscape plan set. The existing gate is required to be demolished according to the Tentative Map conditions of approval. The auto entry gate and freestanding stone wall are setback beyond the front 50 foot setback line. The 5’-6” tall gate is a partially open wood gate that will be stained with a transparent grey stain. The 6’ tall freestanding stone wall will match the stone used on the homes. Details of the proposed auto entry gate and freestanding stone wall can be found on sheet LC.2. Other fencing proposed includes some wood and wire fence on either side of the subdivision entry gate stone wall. The tennis court will have four foot tall fencing on the west and east side and ten foot high fencing on the north and south ends of the court see details on sheet LC.2. No pool fencing is proposed, and the pool will be fitted with a locking cover to meet Building Code security requirements.

Each one of the parcels has a conceptual planting plan within their plan set. Urban Tree Management prepared a tree survey and the list of trees for each parcel can be found in the plan set. While the tree report mentions removal of several trees the owners wish to keep all of the trees and work to preserve them. There are only two trees to be removed with these projects. The following list indicates the trees to be removed, their species, size and the reason for removal.

Tree #	Species	DBH (Inches)	Significant Tree	Notes
<b>Lot A</b>				Sheet LA.2
#157	Coast Live Oak	14	yes	Removal, at auto court turn-around
<b>Lot B</b>				Sheet LB.2
#107	Monterey Pine	34	No	Removal, Subdivision Improvements
<b>Lot C</b>				Sheet LC.2
	None			

**Compliance with floor area, impervious surface, height, and setback standards**

**Lot A – “Pool House”**

The applicant is proposing to construct a new 4,991 square foot one-story Tuscan style residence with a 1,785 square foot basement and a detached 2,352 square foot garage/equipment barn. The main structure is 65% of the allowed maximum floor area and the total proposed floor area is 7,343 and just under the 7,638 floor area limit for the property. A new swimming pool is located between the home and the detached garage. The proposed impervious surface is 11,510 which is under the 13,713 allowed for this parcel.

Proposed Project Coverage Table

Lot A	Allowed SQ. FT	Proposed Sq. Ft.
MFA	7,638	7,343
85%	6,492	4,991
MIS	13,713	11,581

New pool equipment and AC units will be located near the garage and will be surrounded by a sound dampening enclosure. The sound-dampening fence should enable the equipment to meet the Town’s noise ordinance of 55dB maximum at the property line. The main house will be approximately 28 feet high with the detached garage/equipment barn being 18’-2” high.

**Lot B – Main Residence**

The applicant is proposing to construct a new 6,553 square foot one-story Tuscan style residence with a 6,175 square foot basement, a detached 969 square foot garage and a 592 square foot second unit. The main structure is 85% of the allowed maximum floor area and the total proposed floor area is 7,714 and just at the 7,714 floor area limit for the property. The proposed impervious surface is 13,920 which is under the 14,042 allowed for this parcel

Proposed Project Coverage Table

Lot B	Allowed SQ. FT	Proposed Sq. Ft.
MFA	7,714	7,714
85%	6,557	6,553
MIS	14,042	13,920

A stone terrace, fountain and shallow pond are located between the main house and the second unit. The main house will be approximately 28 feet high with the detached garage and second unit being 17’-6” high. An interlocking paver driveway connects between the garages on Lot B and Lot C. The applicant is proposing a stone wall at the edge of the driveway where it terminates into the two garages. The applicant has proposed this wall as an ornamental garden structure as fencing is not allowed in the setback in this zoning district. The ASCC should discuss the proposed stone wall to determine if it could be considered an ornamental garden structure and not a fence. The definition of an ornamental garden structure can be found in PVMC as follows:

**18.42.030 - Exceptions to requirements—Ornamental garden structures.** Ornamental garden structures which do not exceed twelve feet in height may occupy required yard areas provided that, in case of structures exceeding four feet in height, the building coverage does not exceed five percent of the area of the required front yard, ten percent of required side and rear yards, and that on corner lots such structures shall not exceed four feet in height if located within fifty feet of the intersected street lines.

**Lot C – “Entertainment House”**

The applicant is proposing to construct a new 6,193 square foot one-story Tuscan style residence (including a 950 square foot attached garage) with a 2,924 square foot basement and a 560 square foot detached garage/equipment building. The main structure is 85% of the allowed maximum floor area and the total proposed floor area is 6,753, which is 539 square feet under the 7,292 floor area limit for the property. The proposed impervious surface is 12,108, which is under the 12,369 allowed for this parcel. Impervious surface areas include the tennis court and tennis pavilion.

Proposed Project Coverage Table

Lot C	Allowed SQ. FT	Proposed Sq. Ft.
MFA	7,292	6,753
85%	6,198	6,193
MIS	12,369	12,108

A new tennis court is being proposed to the east of the existing court and the new residence will be located approximately where the current tennis court is located. A new open roofed pavilion structure is located to the east of the tennis court and a garage/equipment barn is located to the north of the tennis court. New AC units will be located near the garage. To meet the Town’s noise ordinance of 55dB at the property line the units will have to be fenced on the property line side as well.

**Parking**

Required parking in the R-E/2.5A zoning district is two covered spaces and two guest spaces. The project on each parcel meets or exceeds the requirements for parking.

**Grading and Site Development Committee review**

The 11.6 acre site is relatively level to gently sloping. The irregular-shaped property measures approximately 570 feet at its widest point by 1,740 feet at its deepest point. The natural ground surface across the site slopes down very gently to the northwest with average slopes of approximately 14.5%, 11.2% and 16.5% across the proposed Lots a, B and C.

Grading quantities for individual lots are as follows:

Lot A - Estimated Earthwork Quantities			
Cubic Yards	Within Bldg Footprint	Outside Bldg Footprint	Total Cubic Yards
Cut	0	100	100
Fill	35	315	350
Import			250

Lot B - Estimated Earthwork Quantities			
Cubic Yards	Within Bldg Footprint	Outside Bldg Footprint	Total Cubic Yards
Cut	0	895	895
Fill	205	345	550
Export			345

Lot B proposes 1,240 cubic yards of grading that includes 895 cubic yards of cut and 345 cubic yards of fill. There will be approximately 345 cubic yards of earth exported from this parcel.

Since the amount of grading exceeds the 1,000 cubic yard threshold this parcel will require Planning Commission review for the site development project.

<b>Lot C - Estimated Earthwork Quantities</b>			
Cubic Yards	Within Bldg Footprint	Outside Bldg Footprint	Total Cubic Yards
Cut	390	620	1010
Fill	50	40	90
Export			920

**Town Geologist.** The applicant has submitted a Geotechnical Investigation prepared by Murray Engineer dated November 6, 2015. The Town Geologist reviewed this report and in his letters dated January 12, 2016 (Attachment #8), recommends approval of all three projects.

The Town Geologist recommends approval of the site development permits with conditions that site specific geotechnical design investigation should be performed and development plans generated that incorporate the recommendations. He also recommends that the applicant's geotechnical consultant review and approve all geotechnical aspects of the development plans.

**Public Works.** The Public Works Director, in his memorandum dated February 11, 2016 (Attachment #9), has provided standard conditions for site development permit approval.

**Fire Marshal.** The Fire Marshal, in her letter dated November 5, 2015 (Attachment #10), includes all standard conditions concerning fire code for conditional approval of the site development permit. The project will also need to meet all driveway regulations of the fire district.

**Conservation Committee.** At the time of writing of this report no comments have been received from this committee. The Committee will present their comments at the hearing.

**Trails Committee.** No comments received.

#### **"Sustainability" aspects of project**

The Town's Green Building Ordinance is currently not in effect due to the adoption of the Cal Green Code 2013 that superseded it as of January 1, 2014. Staff will be working with the Town Council in the future to determine if a new green building ordinance should be developed, and in the meantime, staff is requesting that all ASCC applications include a completed Build-It-Green checklist. The project architect has provided Build-It-Green checklist under the Town's previous Green Building Ordinance and can be found in the plan set.

#### **NEIGHBOR COMMENTS**

No neighbors have contacted staff with comments.

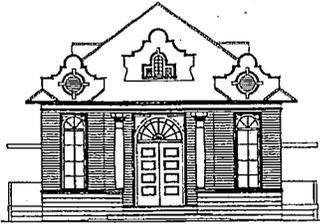
#### **CONCLUSION**

The ASCC and Planning Commission should conduct the February 22, 2016 preliminary review, including the site visit, and offer comments, reactions and directions to assist the applicant and project architect with any plan adjustments or clarifications that members conclude are needed before both commissions consider final action on the application. No further hearings will be set until the subdivision final map is recorded.

## ATTACHMENTS

1. Vicinity Map
2. Town Historian Memo dated January 11, 2016
3. Historic Resource Evaluation prepared by Evans & De Shazo dated April 17, 2015
4. Peer Review of Historic Resource Evaluation prepared by JRP Historical Consulting dated February 1, 2016.
5. Tree Survey Lots A, B and C prepared by Urban Tree Management dated September 16, 2016
6. Outdoor Water Use Efficiency Checklist Lots A, B and C.
7. Colors and Materials
8. Comments from Town Geologist Lots A, B and C dated January 12, 2016
9. Comments from Public Works Director dated February 11, 2016
10. Comments from Fire Marshal Lots A, B and C dated November 5, 2015
11. Architectural plans Lots A, B and C

Report approved by: Debbie Pedro, Planning Director



# MEMORANDUM

## TOWN OF PORTOLA VALLEY

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**TO:** ASCC and PLANNING COMMISSION

**FROM:** Cynthia Richardson, Planner

**DATE:** April 25, 2016

**RE:** Second Preliminary Architectural Review and Site Development Permit review for three parcels located at 1260 Westridge Drive, Carano Residences.

Parcel A: New residence, pool, detached garage and Second Unit File #26-2015  
Parcel B: New residence and detached garage File #27-2015  
Parcel C: New residence, detached garage and tennis court File #28-2015

### BACKGROUND

On February 22, 2016 the ASCC held a preliminary meeting to review the proposed three new homes located at 1260 Westridge Road. At this meeting the ASCC gave the applicants feedback for the planned structures (Attachment #2).

Some of the feedback the ASCC gave the applicant is as follows:

- The shared road is close to the top of bank of the creek and should be pulled back
- Removal of the invasive species at the top of the bank.
- The height of the building on Lot A should be lowered
- Concerns regarding the noise to the neighbors across the creek due to the wall in the garage area on Lot A
- On Lot A the 13-foot gates/doors at the auto court were massive
- Scale of the garage could be smaller to help the neighbors view
- Height of house on Lot C seemed excessive
- Reduction in the overall scale of the project
- Wants to see mottled color roof tiles to break up the massing
- Suggested darker color for the stucco
- Variation of the colors would help with the massing
- Larger mock-up of the material mix
- Would like to see a central hub to control all lighting on the property.
- Reduction in the light fixtures
- Eliminate the pond light
- Review of samples of all of the hanging sconces

Surrounding neighbors also attended the meeting and gave feedback on the proposed project as follows:

- Laure Woods, 1240 Westridge questioned existing lighting.
- John Dissmeyer, 20 Possum Lane questioned the proximity of the road to the top of the creek bank and wants to make sure there will be enough landscape screening

Each of the three parcels will be reviewed separately for code compliance as each lot is considered a separate legal lot once the final parcel map is recorded. This preliminary design review meeting is a way for the project team to hear any concerns the ASCC and Planning Commission may have. No further hearings will be held until the final parcel map is recorded.

The applicants prepared revisions to all of the three project sites as follows:

**Lot A – “Pool House”**

This lot has been completely redesigned. The residence and detached garage have been given a significantly smaller footprint and massing and the basement has been eliminated. The wall around the auto court has been eliminated and simplified. A redesigned second unit is now located on this lot and has been removed from Lot B. A comparison of revised square footages is below.

Structure	Previous SF	Revised SF
Residence (Pool House)	4,991	2,098
Basement	1,785	0
Detached Garage	2,352	988
Second Unit	0	751
Total	7,343	3,837

Walkways have been added to the second unit and there has been a reduction in the amount of the hardscape around the detached garage. The proposed impervious surface was 11,510 sf and has been reduced to 9,555 which is under the 13,713 allowed for this parcel.

**Lot B – Main Residence**

Revisions have been made to the main house by reducing the plate heights and roofs at the bedroom wings. The remainder of the structure and size of the home remains unchanged.

Structure	Previous SF	Revised SF
Residence (Main House)	6,553	No change
Basement	6,175	No change
Detached Garage	969	No changed
Second Unit	592	Removed entirely
Total	6,554	5,962

The hardscape has been reduced by eliminating the large turn around directly in front of the main house. In addition, paths have also been reduced. The proposed impervious surface was 13,920 and has been reduced to 12,355 which is under the 14,042 allowed for this parcel.

**Lot C – “Entertainment House”**

Revisions have been made to the entertainment house by removing the rear covered loggia, narrowing the kitchen and lowering the kitchen plate/roof height. In addition the tennis pavilion

has been eliminated. The proposed impervious surface was 12,108 and has been increased to 12,131, which is under the 12,369 allowed for this parcel. The detached garage/storage structure was increased in size from 560 square feet to 700 square feet.

Structure	Previous SF	Revised SF
Residence (Entertainment House)	6,193	5,639
Basement	2,924	Removed
Detached Garage/storage	560	700
Total	6,753	6,339

### NEIGHBOR COMMENTS

No neighbors have provided new comments.

### CONCLUSION

The ASCC should conduct the April 25, 2016 second preliminary review, including the site visit, and offer comments, reactions and directions to assist the applicant and project architect with any plan adjustments or clarifications that members conclude are needed before final action on the application. No further hearings will be set until the subdivision final map is recorded.

### ATTACHMENTS

1. Vicinity Map
2. ASCC Staff Report and Meeting Minutes – February 22, 2016
3. Architectural plans Lots A, B and C

Report approved by: Debbie Pedro, Planning Director

- (b) **Continued Architectural Review and Site Development Permit for proposed new residence, detached garage, pool and associated site improvements. Request for modifications to the Town's Geologic and Movement Potential Maps. File #30-2015, 127 Ash Lane, Pressman Residence.**

Planner Richardson presented the staff report regarding the revised plans for the proposed construction of a 6,201-square-foot main residence with a 5,235-square-foot basement, an 822-square-foot detached garage, and an 822-square-foot swimming pool on a 3-acre property at the end of Ash Lane within the Westridge Subdivision.

Ms. Richardson said the Geologic Map Modification had been further reviewed by the Town Geologist, who determined that there is adequate evidence to remove the fault trace from the Town's Geologic and Movement Potential Map, which will require approval by the Planning Commission.

Chair Ross called for questions from the Commission. With no questions, Chair Ross opened the public hearing.

Sue Chaput, 358 Alamos Road, said she is concerned about the removal of the redwood and other vegetation, considering there have been two significant landslides on their street. Chair Ross said the fill along that hillside in the back of the house was previously not graded properly and the proposed grading process for this project will be a significant improvement. He said the proposed plan includes removing loose soil and replacing it with very carefully engineered "benched compaction" to create a very stable base. He said the exact plans will be prepared by a civil engineer and will go through a stringent review process by the Town geotechnical consultant and engineering staff. He said the resulting slope and restoration of the original grades will be more stable than before.

With no further public comments, Chair Ross closed the public hearing and brought the issue back to the Commissioners for comment.

All of the Commissioners voiced their support of the project.

Vice Chair Breen said she was hopeful the applicants would persevere on the removal of the neighbor's Monterey Pine and acacias, replacing them with more appropriate plantings.

Commissioner Koch moved to approve the proposed project with the staff recommended conditions. Seconded by Commissioner Sill. The motion carried 5-0.

(5) NEW BUSINESS

- (a) **Preliminary Architectural Review and Site Development Permit review for development on three parcels located at 1260 Westridge Drive, Carano Residences.**

**Parcel A: New residence, pool, detached garage, File #26-2015**

**Parcel B: New residence, detached garage and second unit, File #27-2015**

**Parcel C: New residence, detached garage and tennis court, File #28-2015**

Chair Ross said there was a joint field meeting this afternoon with the Planning Commission at the subject property.

Planner Richardson presented the staff report regarding the preliminary architectural review of a proposed family compound consisting of three homes to be built on a three-lot subdivision of an 11.6-acre property. She said the subdivision was approved in 2011 with a tentative map, which has not yet been finalized as a final parcel map. She said once the improvement plans are submitted, the parcel map will come before the Planning Commission and Town Council. She said that no formal approvals for the new residences can be made until the final map has been recorded.

Lot A consists of a 4,991-square-foot single-story house with a 1,785-square-foot basement, a detached 2,351-square-foot garage and equipment barn. A new swimming pool is proposed between the two structures, with an auto court located in front of the garage.

Lot B is the center lot and contains the existing residence. All of the current improvements on the site would be removed to construct the main house for this project. The applicant is proposing a 6,553-square-foot one-story Tuscan style residence with a 6,175-square-foot basement, a detached 969-square-foot garage, and a 592-square-foot second unit. Ms. Richardson noted that an historic resource report was prepared for the site and staff is in the process of reviewing revisions requested by the consultant.

Ms. Richardson said staff received revised grading quantities from the civil engineer today and has not yet been thoroughly reviewed; however, she said it appears that grading quantities are minimal and Planning Commission review will not be required for the middle parcel.

Lot C is the home closest to Westridge Drive. The applicant is proposing to construct a new 6,193-square-foot one-story Tuscan style residence which includes a 950-square-foot attached garage with a 2,924-square-foot basement and a 560-square-foot detached garage/equipment building. The subdivision entry gates are on this lot.

Upon completion of the staff's presentation, Chair Ross called for questions from the Commissioners.

Commissioner Koch asked if each of the lots should be discussed as individual properties. Ms. Richardson said they are all currently one property, but upon final approval of the subdivision they will become three separate properties. She said the final approval will not occur until the final map is recorded.

In response to Chair Ross's question, Ms. Pedro said that if the gate is situated more than 50 feet from the road, the 50% opacity requirement does not apply.

Chair Ross called for comments by the applicants.

The project team presented material samples for the Commissioners to view.

In response to Vice Chair Breen's question regarding the similarity of color between the stone and stucco, the project architect said the contrast in the colors will be apparent as the different cuts will create different shading. He added that the detail of the cut stone around the windows and lighter tones for the trim materials will increase the perceived contrast. He said the overhangs will be a dark wood.

Project Architect Tom Taylor said the overall design of the properties is clearly meant for one owner, but the designs must be approved as three separate projects due to the subdivision. He

said the owner's intention is to have one cohesive design of a grand scale with classical proportions suitable to a property of this size. He said the design team wants to preserve as much of the natural features on the site as possible, siting the buildings in areas that were already previously disturbed.

Project Landscape Architect Tom Klope said the design team is working together in an effort to maintain the beautiful nature features of the site and to implement a sustainable approach to the landscaping with minimal lighting. He offered to meet with all the neighbors to discuss visual impacts to their properties and their screening needs now that the story poles are up.

Chair Ross called for questions from the Commissioners.

Commissioner Koch said that today at the site visit it was indicated that all of the light fixtures are down-facing, but the majority of the lights shown in the plans are sconces and hanging lights. The architect said the light sources would be screened with opaque materials.

Commissioner Koch asked if there would be a center hub of lighting control located in the main house. The architect said that each building would be able to function on its own with a master overlay in the main house that can override the entire property.

Commissioner Wilson asked how the driveways would work for access to Lots A and B should the homes ever be sold as separate residences. The architect explained that the driveway is shared with an easement.

Vice Chair Breen said the proposed leymus canyon prince is an invasive. The landscape architect said they would not use the plant.

Commissioner Wilson asked Ms. Richardson regarding the 13-foot gates at Lot A. Ms. Richardson said there are two 13-foot ornamental gates proposed at the front of the detached garage at the auto court.

In response to Chair Ross's question, the architect said the stone trim around doors and windows would protrude less than 2 inches from the stucco.

With no further questions from the Commission, Chair Ross opened the public hearing.

Laure Woods, 1240 Westridge, asked about the lights that radiate from the tops of the trees at the end of the driveway. The landscape architect said all of that lighting has already been removed.

Judith Murphy, Conservation Committee, said the Committee's main concern is the location of the driveway and its proximity to the creek. She said it is important to protect the creek during construction of the driveway.

John Dissmeyer, 20 Possum Lane, said he sees cars coming down the perimeter driveway. He said he understands that the owners intend to provide screening; however, he is concerned that the road at the top of the creek bed is very narrow in spots. He suggested the perimeter screening be dealt with at the beginning of the project instead of when the project is completed in 2-1/2 years.

Chair Ross said the screening between the creek and the driveway is part of the tentative subdivision map and those improvements will be completed before the houses are constructed.

Ms. Pedro added that the subdivision improvement plan has already been approved by the ASCC. She said once the improvements are installed, it will go to Council for the final map approval. She said there will be additional opportunities for screening for the individual homes.

Chair Ross said there will be no additional fencing built, with the exception of the driveway gate. He said there may be the possibility of removing some chain link as long as it does not disturb any protected species.

With no further comments from the public, Chair Ross closed the public hearing and brought the topic back to the Commission for comments.

Commissioner Sill said he was pleased to see the landscaping would be more natural but would prefer no lawns, particularly in Lot B. He said the lighting and size of the buildings will have significant impact on the neighbors and there are too many outside lights, and the buildings are too high, will be too visible, and will not blend in well.

Vice Chair Breen said she was disheartened that the applicant was not present and had not participated in any of the meetings. She said Portola Valley is a rural community and this was not a rural project, although there was potential for this to be a good project. She supported the siting of the buildings. She said the height of the building on Lot A should be lowered. She was concerned about acoustic ramifications to the neighbors across the creek due to the wall in the garage area. She said there should be no hedging, but rather thickets along the property. She said there should be more invasive removals at the top of the bank – the Algerian ivy, broom, eucalyptus – in order for the rest of the landscaping to be successful. She suggested some restoration at the creek with invasives removed. She said the roof tiles should be mottled colors to break up the massing. She said the light fixtures emanated too much light, and all the light fixtures should be removed except at doors. She said the pond light must be eliminated. She said the size of the property contained too much habitat to fence off and may, in fact, need to be opened up more. She was supportive of earlier, rather than later, staging of the planting. She suggested the applicant consider a darker color for the stucco. She said she was supportive of the direction the applicant is headed, but said the buildings need to be lowered and the lighting needs to be reworked.

Commissioner Wilson agreed that the applicants should have been present during the site visit to meet the neighbors who have concerns regarding the impact of this project on their properties. She said she was happy to hear that materials from the existing building would be recycled and reused. She said she was overwhelmed by the height of the buildings, pointing out that the chimneys would add even more height. She said there was too much lighting. She did not understand why there were 13-foot gates/doors at the auto court. She said it was not aesthetically pleasing to see the tennis court and pavilion first thing as you come in from the driveway.

Commissioner Koch was supportive of the color board and suggested a little variation would help with the massing. She was supportive of the roof tile color. She requested to view samples of the driveway materials. She said her biggest concern was the exterior lighting, and said that screening will be important. She said Lot A had excessive lighting and the garage and auto court needed to be reworked. She said the neighbors on Possum were very exposed. She

requested to view samples of all of the hanging sconces. She said the height of the entertainment house on Lot C seemed to be excessive and had too much lighting.

Chair Ross was supportive of the Tuscan villa concept; however, he said the project is overly massive. He said in the context of each parcel being sold separately, he could be more supportive of building out each parcel to the extent allowed. He pointed out, however, that the described use and small number of people living there does not support building out each parcel to the maximum extent allowed. He expressed concern regarding light spill, particularly in the future with possibly more people living in the homes. He was supportive of the material choices. He requested a larger mock-up of the material mix. He was supportive of the oil rubbed bronze windows. He suggested a slight tint to the glazing to cut down on light transmittance. He said the outdoor lighting could be greatly reduced. He suggested having some of the fixtures decorative only and not illuminated at all. He was supportive of the siting of the houses and structures. He said the scale of the garage could be smaller to help the neighbors' view and they may be able to find a screening solution. He was supportive of the garden gates. He noted that although the main structure is massive, the view of the front of the main house is a view that only the owners and their guests will have due to the siting of the building. He suggested that the desired authenticity could be better achieved by reducing the scale slightly. He said the construction logistics plan is important as it will be a very disruptive project for the neighbors.

The project team thanked the commission for their comments and said they would update the plans according to the feedback.

**(b) Architectural Review for Driveway Entry Gate, File #: 04-2016, 381 Portola Road, Mysen Residence**

Interim Town Manager Debbie Pedro presented the staff report regarding the plans for a double swing-in style driveway entry gate measuring 4 feet tall and 12 feet wide at 381 Portola Road.

Chair Ross called for questions from the Commission.

Vice Chair Breen asked if the applicants had thought about the potential implications of the placement of the gate. She said if a car is pulled up to the gate, or people are approaching the residence, they have to park outside or in the driveway. Bicyclists and pedestrians would be forced into the road. She expressed concern regarding the visibility and the site access.

The representative from A&D Gate said he is comfortable with the 24-foot setback and, because it is a funnel shaped driveway, there is actually a little more than 24 feet. He said the owners' intent for having the gate is to keep their children from running into the street.

Commissioner Koch asked Vice Chair Breen if she would be more comfortable if the gate was set back another couple of feet. Vice Chair Breen said she didn't know the sizes of the various delivery or garbage trucks and her concern is that people walking along Portola Road would have to walk into the street to get around those vehicles, perhaps being unaware of how dangerous that corner is.

The applicant said currently, because the access is not great into the driveway and people have to back out, mail carriers and delivery trucks tend to park across the driveway parallel to the road, even though there is no gate.

this well-developed project. He acknowledged that it is not unusual for people to be resistant to change. He said the design guidelines do not provide a guarantee that a new structure is not visible from anywhere. He is supportive of the proposed siting of the house for the reasons articulated by the project architect. He said that raising the elevation of the pool and pool house would put those structures directly into the view of the neighbors at 191 Meadowood. He said the project architect has done the best job possible in balancing all of the concerns. Chair Ross said he is supportive of the project. He said the landscape plan needs some fine tuning and cautioned against overplanting. He suggested that Condition #3 include providing renderings of how the project will look after the new trees and shrubs are planted.

In response to Vice Chair Breen's question, Chair Ross said he supported a change to Condition #2 regarding the fence, replacing "a minimum of" with "approximately."

Commissioner Koch moved to approve the proposed project with Condition #2 to be amended to change "minimum" to "approximate" with the understanding the applicant can submit a new fence proposal sometime in the future; and with Condition #3 to be amended to include the submission of renderings of the proposed landscape plan. Seconded by Vice Chair Breen, the motion carried 5-0.

- (b) Second Preliminary Architectural Review and Site Development Permit Review for development on three parcels located at 1260 Westridge Drive, Carano Residences. Parcel A: New residence, pool, detached garage, and second unit, File #26-2015; Parcel B: New residence and detached garage, File #27-2015; Parcel C: New residence, detached garage, and tennis court, File #28-2015.

Planner Richardson presented the staff report describing the revised plans for the proposed project, addressing the comments expressed at the ASCC preliminary meeting held on February 22, 2016. She said the applicant is currently working on their conditions of approval for the tentative subdivision map and meeting the PUD statement conditions. She said the applicant has asked for early preliminary review of the three homes prior to recording the map, with no formal approvals to be made until the subdivision map has been recorded.

Planner Richardson said Lot A, the pool house lot, has had the most substantial revisions. The applicant is proposing to construct a 2,098-square-foot, one-story, Tuscan style house with a detached 988-square-foot garage. A new addition to this lot is a 751-square-foot second unit. The wall that was originally proposed around the auto court in front of the garage has been eliminated. The floor area of this lot has been reduced 3,500 square feet. The pool house and residence on this lot have been completely redesigned, resulting in a much smaller footprint and massing.

Planner Richardson said Lot B contains the main residence, which has not been changed. The driveway has been modified and the paths have been reduced. The originally proposed second unit has been removed entirely. The bedroom wing rooflines have been lowered.

Planner Richardson said Lot C, the entertainment house, has been reduced from 6,193 square feet to 5,639 square feet. The originally proposed 2,924-square-foot basement has been entirely removed. The detached garage/equipment barn has been slightly increased from 560 square feet to 700 square feet. The tennis court pavilion was eliminated, the rear covered loggia was removed, and the kitchen plate height was lowered.

Planner Richardson said a site visit with the ASCC was held today, with several neighbors in attendance. She said the overall concerns expressed were regarding the height and visibility of the structures.

Chair Ross called for questions from the Commission. With no questions from the Commission, Chair Ross called for comments from the applicant.

Project Architect Tom Taylor said they believed they had addressed all of the comments made in the first preliminary review for this project. He said they had reduced square footage, mass, and impermeable surfaces. He said the project team has met with neighbors to discuss concerns regarding screening and visibility of the structures, which is an ongoing effort. He said they are still working on the lighting plan, which will be presented at the actual project review. Mr. Taylor presented and described the revised materials board.

Chair Ross asked for questions from the Commissioners. With no questions from the Commission, Chair Ross opened the public hearing.

Rob Wagner, 40 Possum Lane. He said he appreciated the project architect coming to their home and looking at the story poles from their viewpoint. He asked what Mr. Taylor meant regarding his comment that discussion with the neighbors is an ongoing effort. Mr. Taylor said he meant there are more neighbors to meet with and all comments and concerns will be gathered and considered in the development of their planting plans. Mr. Wagner asked what the hours of construction would be. Planning Director Pedro said the allowable construction hours are 8:00 a.m. to 5:30 p.m., Monday through Friday, with no construction allowed on weekends or holidays. Mr. Wagner requested the applicants be sensitive regarding noise in the early hours. He said the lighting plan is also a sensitive issue and asked when they could see the lighting plan. Chair Ross said the lighting plan would be available when the applicants come back to the Commission with a request for action.

John Dissmeyer, 20 Possum Lane. He said his concern, along with most of the neighbors on Possum, is the road access to the project. He said the landscaping screening is very important for cars that will be coming onto the property because the proposed driveway is a main path that looks into his backyard. He said he understands that the Town prefers native plantings, but said there is some existing landscaping behind 10 and 20 Possum Lane that is not native but serves as an effective screen and he does not want to see that removed. Chair Ross said the issue of the planting along the Possum side of the entrance road was addressed in the subdivision plan. Planning Director Pedro confirmed that there is an approved landscape plan with the subdivision. Chair Ross advised Mr. Dissmeyer to contact staff to view that plan.

James Herrington, 50 Possum Lane. He commended the applicant on making changes to the original plan. He said he was dismayed to learn that while the size of the building on Parcel A was reduced, there was the addition of a second unit on that parcel.

Laure Woods, 1240 Westridge Drive. She said she has two properties and her fence line runs along all three sites of the proposed project. She said her biggest concern is the heights of the structures and close proximity to her fence line. She acknowledged the efforts made to reduce the sizes of the buildings, but said there was no effort to reduce the roof heights. She said she would like to be kept regularly informed regarding the construction schedule in consideration of her horses, which are kept in her backyard where the main house of the proposed project will be built.

Tom Robertson, 10 Possum Lane. He said the existing non native screen hedge that Mr. Dissmeyer described is very important.

Project Architect Tom Taylor said that the architectural style requires a certain scale that would not be correct at a lower building height. He said the present design has tried to create more varied roof shapes in the project. He said the building at Lot A is actually lower than the existing house that is there now.

Jeff Aalfs, Councilmember, said the entrance to this site is on Westridge which is a very busy thoroughfare during morning commute hours. He suggested the construction operation plan address the timing of major deliveries, entries, and exits from that site to minimize traffic issues.

Judith Murphy, Conservation Committee. She said the road is too close to the creek and she is concerned about the oaks on the property.

Chair Ross closed the public hearing and brought the subject back to the Commission for discussion.

Vice Chair Breen said she appreciated the changes and the direction in which the project is headed. She suggested the project team explore the possibility of bringing down the height of the structure on Lot A. She said the lighting plan will be important. She said she was dismayed to see the siting of the guest house because it reduces the spirit of wildness on the property with the meadow. She was concerned about the proximity of the garage to the oaks on lot C and suggested eliminating one of the garage bays to get farther from the trees. She expressed appreciation for the reduction in massing and was supportive of the materials selections.

Commissioner Wilson agreed with Vice Chair Breen regarding a preference for preserving the open aspect of the meadow. She said she remained concerned regarding the height of the buildings on Lot C and the proximity to the neighbor. She was supportive of the changes made to Lot B. She was supportive of the reduction of the wall on Lot A.

Commissioner Sill said the project is on the right track. He remained concerned regarding the heights of the buildings on Lots A and C. He appreciated that the project team was working with the neighbors. He said it appeared they would be able to satisfy the residents on Possum, but that it would likely be more challenging with the Mapache and Westridge neighbors and may require more screening work or lowering the structures on Lot A and Lot C. He was very supportive of the materials selections.

Commissioner Koch said she was appreciative of the changes in the auto court on Lot A, and the smaller footprint and massing. She agreed that the guest house creates an end point stopping at that building, which detracts from the enchantment of the expanse of the meadow. She emphasized the importance for a master switch for the lighting. She was supportive of the materials selections and said the team was moving in the right direction.

Chair Ross said he appreciated the reduction in scale. He was supportive of the siting of the guest house and said it created a demarcation between the developed area and the woods. He was supportive of the siting of the structures and the layout of Lot A. He liked that the garage was no longer a central feature. He said that because this was a very private compound, with the exception of a few neighbors with some views, it is the owners' experience that matters the most. He said the scale of the buildings matched well to the scale of the property. He said the attached garage on Lot C could be lowered without diminishing the experience of the villa

**ARCHITECTURAL AND SITE CONTROL COMMISSION**  
**Special Evening Meeting, 765 Portola Road**

**OCTOBER 27, 2016**

(1) CALL TO ORDER

Chair Ross called the regular meeting to order at 7:00 p.m. in the Town Center Historic School House Meeting Room, 765 Portola Road.

(2) ROLL CALL

Planning Director Debbie Pedro called roll:

Present: ASCC: Commissioners Sill and Wilson; and Vice Chair Breen, Chair Ross  
Absent: Commissioner Koch  
Planning Commission Liaison: Nate McKittrick  
Town Council Liaison: Craig Hughes  
Town Staff: Planning Director Debbie Pedro and Planner Cynthia Richardson

(3) ORAL COMMUNICATIONS: None.

Chair Ross recommended modifying the order of the Agenda, moving Agenda Item 4(b) to the end since Commissioner Wilson would be recused from that Agenda Item. Vice Chair Breen moved to approve reordering the Agenda, moving Agenda Items #5 and #6 between #4(a) and #4(b). Seconded by Commissioner Sill; the motion carried 4-0.

(4) NEW BUSINESS [7:02 p.m.]

(a) Preliminary Architectural Review and Site Development Permit review for development on three parcels located at 1260 Westridge Drive, Carano Residences

**Parcel A: New residence, pool, detached garage and pavilion #26-2015**  
**Parcel B: New residence and detached garage File #27-2015**  
**Parcel C: New residence, two detached garages and tennis court File #28-2015**

Chair Ross said there was a joint ASCC and Planning Commission field meeting earlier this afternoon to review changes to the conceptual plan for this project. He said tonight was a continuation of the preliminary review.

Planner Richardson presented the staff report regarding the project.

Chair Ross called for questions from the Commission.

In response to Vice Chair Breen's question, Planner Richardson said the pendant and sconce light fixtures had opaque glass.

Vice Chair Breen said she did not see any of the skylights in the elevations. Planner Richardson said the skylights sit lower than the roof well, so they are not visible in the elevations. Vice Chair Breen said she wanted to know their size and how much light will be emanating from them.

Planner Richardson said they could be found on the roof plan. The project architect said the skylights were opaque.

Chair Ross asked if it was correct that the adjacent lots are also subject to Planning Commission review for grading because the center lot exceeds 1,000 cubic yards. Planner Richardson said that is correct and said there is a section of the ordinance that talks about if contiguous lots are being developed at the same time, and they exceed the 1,000 cumulative cubic yards of grading, then all three lots are required to go before the Planning Commission for final review.

Chair Ross invited comments from the applicant. The applicant thanked the Commission for seeing the site this afternoon and said she had no further comments.

Chair Ross called for questions from the Commission.

In response to Vice Chair Breen's question, project landscape architect Tom Klope said only the pathways on the main grounds are being lit.

Commissioner Sill asked why there were four or five different fountains. The applicant described the fountains and their locations, noting that some of them were small and decorative, all with recirculating water.

Commissioner Sill said it appeared the residents at 1240 Westridge would be the most impacted by this project. He asked if the applicant had talked to the neighbors about screening and if they had looked at the project from the neighbor's property. The applicant said they met with the neighbor during the previous architectural review, observed the story poles, and took photographs all along the edge of the property.

Chair Ross said the two garages on Lot C that were underneath the driplines of significant oak trees were discussed this afternoon. He said that as the soil and structural designs evolve, the health of those oak trees must be accommodated and not compromised. Chair Ross confirmed that the intent would be that the foundation would have no bearing pressure on the soil surface and would not affect the roots, rather using a series of drilled piers.

With no further questions, Chair Ross invited public comment.

Rob Wagner, 40 Possum. Mr. Wagner asked how the landscape plan reflects the feedback that Mr. Klope gathered from the neighbors. Mr. Klope said he met with neighbors all along Possum and reviewed the view corridors from their houses, as well as the main entertainment and social areas of the properties. He said they photographed each of those views with the story poles. He said there will be plantings to screen the areas between the edge of the creekbank and the driveway. He said there are two aspects to the planting plan along Corte Madera Creek. He said one is the planting that has already been approved in the subdivision project. He said tonight's drawings show those as one layer, and the additional plantings based on the current site plans, is the second tone in the drawings. He said they have sparingly put some of the plantings under the oak canopies, only in areas of major view corridors. He said all the plantings are native material are consistent with Portola Valley standards. Mr. Wagner asked how he and the other neighbors could look at the plan and sense whether it works for them. Mr. Klope said he would be happy to meet with them again.

Mr. Wagner said they are concerned about delivery times and asked if that was an issue that would be discussed. Chair Ross said the construction logistic plan would have to comply with the Town noise ordinance, which prohibits construction activities before 8:00 a.m.

Kevin Webster, 1255 Westridge. Mr. Webster said he was at the site this afternoon. He asked about drainage and said when the property was under review for subdivision, the flood plain was changed in the Lot A section of the parcel. He asked if there was any consideration for water collection, such as the cistern system for irrigation. Chair Ross said as the project matures, all of those issues will be addressed. Project engineer Jim Toby said all those items are being considered and dealt with. Planning Director Pedro said there is a preliminary grading and drainage plan included in the packet.

Nona Chiariello, Conservation Committee. She said a question came up at the field meeting concerning the two lines of trees. She understands the idea of framing the property with two lines of trees, but said it's somewhat at odds with the landscaping guidelines of avoiding planting trees in lines and avoiding a cultivated formal appearance. The project landscape architect said they were considering small, flowering seasonal trees. Ms. Chiariello said it adds a formal aspect to the landscaping that is not usually seen in Town.

With no further questions from the public, Chair Ross returned to the Commission for comments.

Commissioner Sill said the changes made are an improvement. He supports the flatter ridge heights and said they are more visually appealing. He said the landscape plan is satisfactory; however, he does not want the lawn area to expand. He was supportive of the use of the lawns on Lots A and B, but does not understand why there is any lawn at all on Lot C. He was, however, supportive of keeping the lawn areas small. He is not supportive of the line of trees. He said that, while not a big issue, the pavilion placement interrupts the feel rather than enhancing it, and it would be better placed closer to the pool. He was supportive of the significant improvements in the lighting; however, there may be excessive light running from the garage to the house on Lot B. He was not supportive of all the fountains and said the amount of water feature was excessive. He said he was concerned that there be enough screening to preserve the view from 1240 Westridge and suggested the applicant work closely with that neighbor to make sure they are not being impacted. He said he was still uncomfortable with the risk to the spectacular oaks near the garages on Lot C. He said he does not have any concerns with the expanded lightwell.

Commissioner Wilson was supportive of the changes. She said she appreciated the reduction in the roof heights and the lighting. She was also concerned about the two oaks on Lot C and the work that would be done underneath them. She said the view of the pavilion from Lot A blocked the view rather than enhanced it. She said the applicant had done very well responding to the comments provided at the previous two meetings.

Vice Chair Breen said the site visit was very helpful. She said she appreciated the changes made and said that the lighting changes were great. She said the project had very little offsite impact, so she was not as concerned with the formality of the center of the campus and no one would see the fountains. She said the Commission would have a lot more issues with the project if it were visible from the street. She said she personally would embrace the wildness, not have all the lines, and not have a pavilion out amidst the oaks and wildland. She said she is concerned about the garage sitting entirely under the canopy of the 200-year-old oaks and said the building should be moved because she does not see how those trees will not be harmed.

She said the things that affect people's lives in Portola Valley are lighting and sound, and the lighting should not be pervasive or cross property lines. She asked the applicant to consider, as they develop the final landscape plan, how they will use the Plantanus and if the Blue Oaks would survive in that area. She said the oaks are spectacular, and she would not want to see other trees competing with them. She appreciated the attempt at screening for the neighbors, but not at the expense of the oaks.

Chair Ross thanked the applicant for the responses to their previous comments. He said the changes are all in the right direction. He said the most visible the project will ever be is if the owner decides to sell one of the houses and that new owner will be part of their neighborhood. He said the project feels like a little country village surrounded by wilderness. He said he would prefer seeing the pavilion located more toward the structures. He said they may want to consider reducing the number of pool lights, even though it has no offsite impact. He said he is not concerned about the water fountains because they will have no offsite impact. He shares the other commissioners' concerns about the garages under the dripline. He said he knows it is possible to take care of the oaks during the construction, although it takes a lot of attention and a lot of commitment from the contractor. He said he would want to see an extremely protective approach on the logistics plan. He said the equipment wells on the roof were a big improvement and are the best approach to reduce the offsite impacts. He suggested providing a description or statement of intent regarding a master control system for lighting and equipment in the final application. He asked the applicant how long the temporary irrigation would be in place on Lot B. The applicant said it would depend on the season, but it is an approximate five-year process.

Chair Ross called for a short break.

(6) APPROVAL OF MINUTES: October 10, 2016. Vice Chair Breen moved to approve the October 10, 2016, minutes as submitted. Seconded by Commissioner Sill, the motion passed 4-0.

(5) COMMISSION AND STAFF REPORTS:

Chair Ross and Vice Chair Breen met with The Priory a couple of weeks ago. The vendor had mistakenly shipped a cinder color instead of the approved gray color on the track. The applicant liked the color and asked for the designated ASCC members' reconsideration and approval, which was granted. They also looked at and approved the final version of the scoreboard. Per Commissioner Sill's question, Chair Ross said the scoreboard would be visible from the road but would not be illuminated except during events.

Chair Ross announced that Public Works Director Young sent a final memo regarding the signage on Windy Hill to the Town Council last night and it was adopted.

Planning Director Pedro said the ASCC Commissioner terms are four years and three commissioners' terms will expire in January 2017 – Danna Breen, Dave Ross, and Al Sill. She said the vacancies will be advertised beginning in November. She said she will send the commissioners an email reminding them to reapply. She said the Council is scheduled to make the appointments at their meeting on December 14, 2016.

(4) CONTINUATION OF NEW BUSINESS

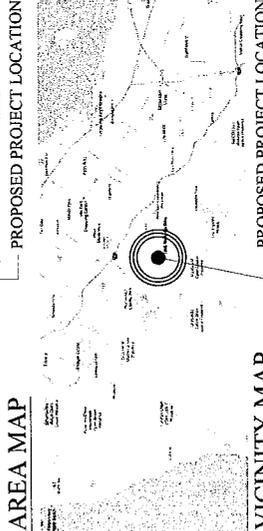
(b) Preliminary Review/Study Session of Conceptual Design of New Clubhouse, Renovation of the Historic Roadhouse, and Site Improvements,

**PROJECT SCOPE - LOT A**

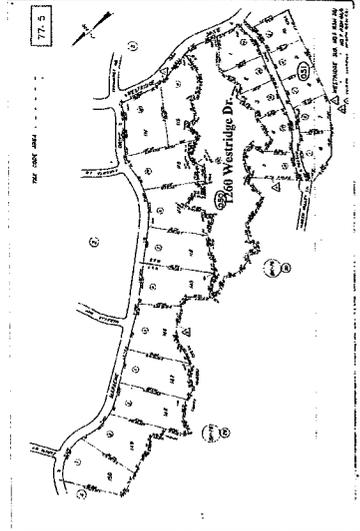
LOT A IS BEING DEVELOPED ALONG WITH LOT B AND LOT C TO FORM VILLA DEL PRATO. EACH LOT IS TO BE SUBMITTED AND APPROVED INDIVIDUALLY AS A SINGLE FAMILY RESIDENCE. LOT A IS BEING SUBMITTED SEPARATELY AS A SINGLE FAMILY RESIDENCE. LOT A WILL FUNCTION AS THE POOL HOUSE FOR THE COMBINED PROJECT.

LOT A SCOPE OF WORK WILL INCLUDE:  
 THE REMOVAL OF ALL EXISTING STRUCTURES AND SITE WORK.  
 THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE (POOL HOUSE), AN OPEN AIR PAVILION AND SWIMMING POOL.  
 THE CONSTRUCTION OF A DETACHED GARAGE.  
 NEW LANDSCAPING.

**AREA MAP**



**VICINITY MAP**



**ASSESSOR'S MAP**

**RECEIVED**  
 NOV 10 2016  
 TOWN OF PORTOLA VALLEY

**PROJECT DATA - LOT A**

OWNER: Paula and Bandel Carano Living Trust  
 ADDRESS: 523 University Avenue, Suite 1300 Palo Alto, CA 94301  
 ZONING: R-E 2.5A  
 USE AND OCCUPANCY: R-3/U  
 PARCEL ID: 4005485  
 TYPE OF CONSTRUCTION: VB  
 HOA: NO

LOT A SIZE, GROSS: 179,949 SQ. FT. (4.13 ACRES)  
 LOT A SIZE, NET: 179,949 SQ. FT. (4.13 ACRES)  
 (SEE CIVIL DRAWING SHEET C-2.1 FOR PARCEL DIMENSIONS)

MINIMUM SETBACKS (PER SEC 18.48 010):  
 FRONT 50 FEET  
 SIDE 20 FEET  
 REAR 20 FEET  
 HEIGHT LIMIT (MAX) 28 FEET

**SHEET INDEX - LOT A**

- COVER SHEET
- BUILD IT GREEN CHECKLIST
- LOT A OVERALL SITE PLAN
- LOT A EXISTING STRUCTURES STATUS PLAN
- LOT A SITE PLAN
- LOT A IMPERVIOUS SURFACE PLAN
- LOT A EXTERIOR LIGHTING PLAN
- LOT A EXTERIOR LIGHTING SPECIFICATIONS
- LOT A CONCEPTUAL PLANTING PLAN
- LOT A TREE STATUS PLAN
- LOT A TREE SURVEY INDEX
- POOL HOUSE MECHANICAL EQUIPMENT
- LOT A AREA CALCULATIONS
- POOL HOUSE FLOOR PLANS
- GARAGE AND PAVILION PLANS AND ELEVS
- POOL HOUSE EXTERIOR ELEVATIONS
- CONTROL SYSTEM SPEC SHEETS
- ASCC TITLE SHEET
- ASCC OVERALL SITE PLAN
- ASCC GRADING AND DRAINAGE PLAN
- ASCC EROSION CONTROL PLAN
- ASCC EROSION CONTROL DETAILS
- TOPOGRAPHIC SURVEY
- TOPOGRAPHIC SURVEY
- ASCC EARTHWORKS EXHIBIT LOT A
- CONSTRUCTION STAGING TITLE SHEET
- CONSTRUCTION STAGING DEMOLITION PLAN
- CONSTRUCTION STAGING DEMOLITION PLAN
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION STAGING EROSION CONTROL PLAN
- CONSTRUCTION STAGING EROSION CONTROL DETAILS

**PROJECT SQUARE FOOTAGE - LOT A**

PROPOSED SQUARE FOOTAGE BREAKDOWN:

LOT A	PROPOSED SQ FT	PREV. PROPOSED SQ FT
RESIDENCE (POOL HOUSE)	2,039	2,098
BASEMENT (POOL HOUSE)	0	0
GARAGE	988	988
SECOND UNIT	0	751
TOTAL	3,027	3,837

PROPOSED PROJECT COVERAGE TABLE:

LOT A	ALLOWED SQ FT	PROPOSED SQ FT	PREV. PROPOSED SQ FT
AMFA (ADJUSTED MAX FLOOR AREA)	7,638	3,027 (2,039 + 988)	3,837
85%	6,492	2,439* (2,039 + 400)	2,498*
AMIS (ADJUSTED MAX IMPERVIOUS SURFACE)	13,713	10,463	9,555

\*INCLUDES 400 SQ. FT. ALLOWED FOR REQUIRED DETACHED GARAGE

**PROJECT TEAM**

ARCHITECT:

ANDREW SKURMAN ARCHITECTS  
 3654 SACRAMENTO STREET  
 SAN FRANCISCO, CA 94118  
 PHONE: 415.440.4480  
 FAX: 415.440.4488  
 CONTACT: ANDREW SKURMAN  
 EMAIL: ANDREW@SKURMAN.COM  
 CONTACT: SUZETTE SMITH  
 EMAIL: SUZETTE@SKURMAN.COM

LANDSCAPE ARCHITECT:

THOMAS KLOPE ASSOCIATES, INC.  
 5150 EL CAMINO REAL  
 BUILDING B, SUITE 20  
 LOS ALTOS, CA 94022  
 PHONE: 650.691.1000  
 CONTACT: THOMAS KLOPE  
 EMAIL: TOM@KLOPE.COM  
 CONTACT: PETER MURRAY  
 EMAIL: PETER@KLOPE.COM

CIVIL ENGINEER:

LEA & BRAZE ENGINEERING, INC.  
 2495 INDUSTRIAL PARKWAY WEST  
 HAYWARD, CA 94545  
 OFFICE: 510.887.4085  
 CONTACT: JIM TOBY  
 EMAIL: JTTOBY@LEABRAZE.COM  
 CONTACT: ALEX KWOK  
 EMAIL: ALEX@LEABRAZE.COM

SEPT 26 2016 ASCC SUBMITTAL  
 NOV 10 2016 ASCC SUBMITTAL

**Villa Del Prato - LOT A**

1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CA 94028

NOT FOR CONSTRUCTION

Andrew Skurman Architects

365 Sacramento Street  
 San Francisco, CA 94118





**THOMAS  
KLOPF  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

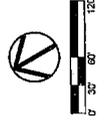
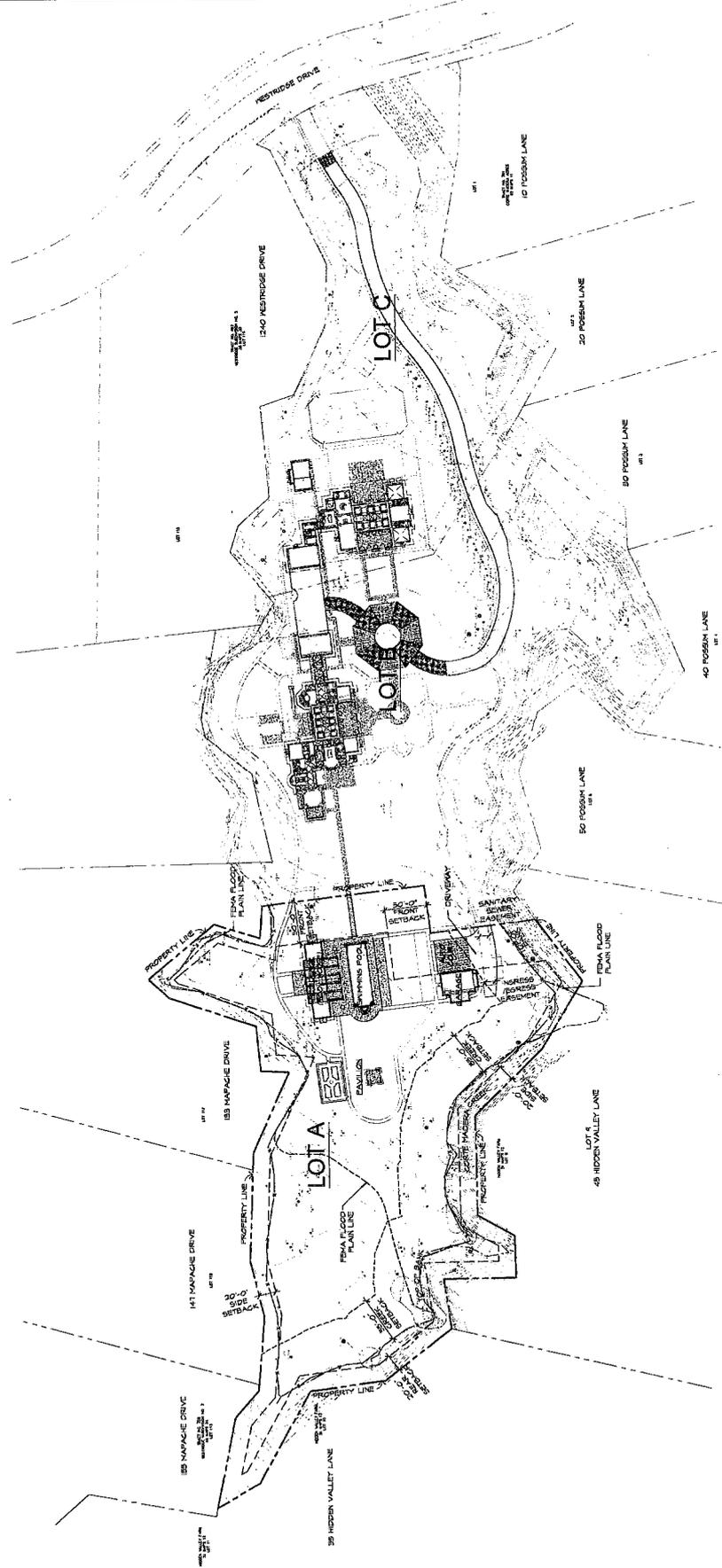
318 ELSAMING REAL  
ESTATE GROUP  
1001 S. TOWN, CA 94027  
TEL: 650.951.1889  
FAX: 650.951.1888  
WWW.TKLA.COM  
CALIFORNIA R.L.A.# 21327

**VILLA DEL  
PRATO**  
1280 WESTBRIDGE DRIVE  
PORTOLA VALLEY,  
CALIFORNIA

**LOT A  
OVERALL SITE  
PLAN**

DATE: 11/10/18  
DRAWN: PM KM  
CHECKED: TK RM  
SCALE: 1" = 60'

LA.1





**THOMAS  
KLOPE**  
ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS

119 BELMONT BLVD  
SANTA ANA, CA 92701  
TEL: 714.841.1882  
WWW.TKLA.COM

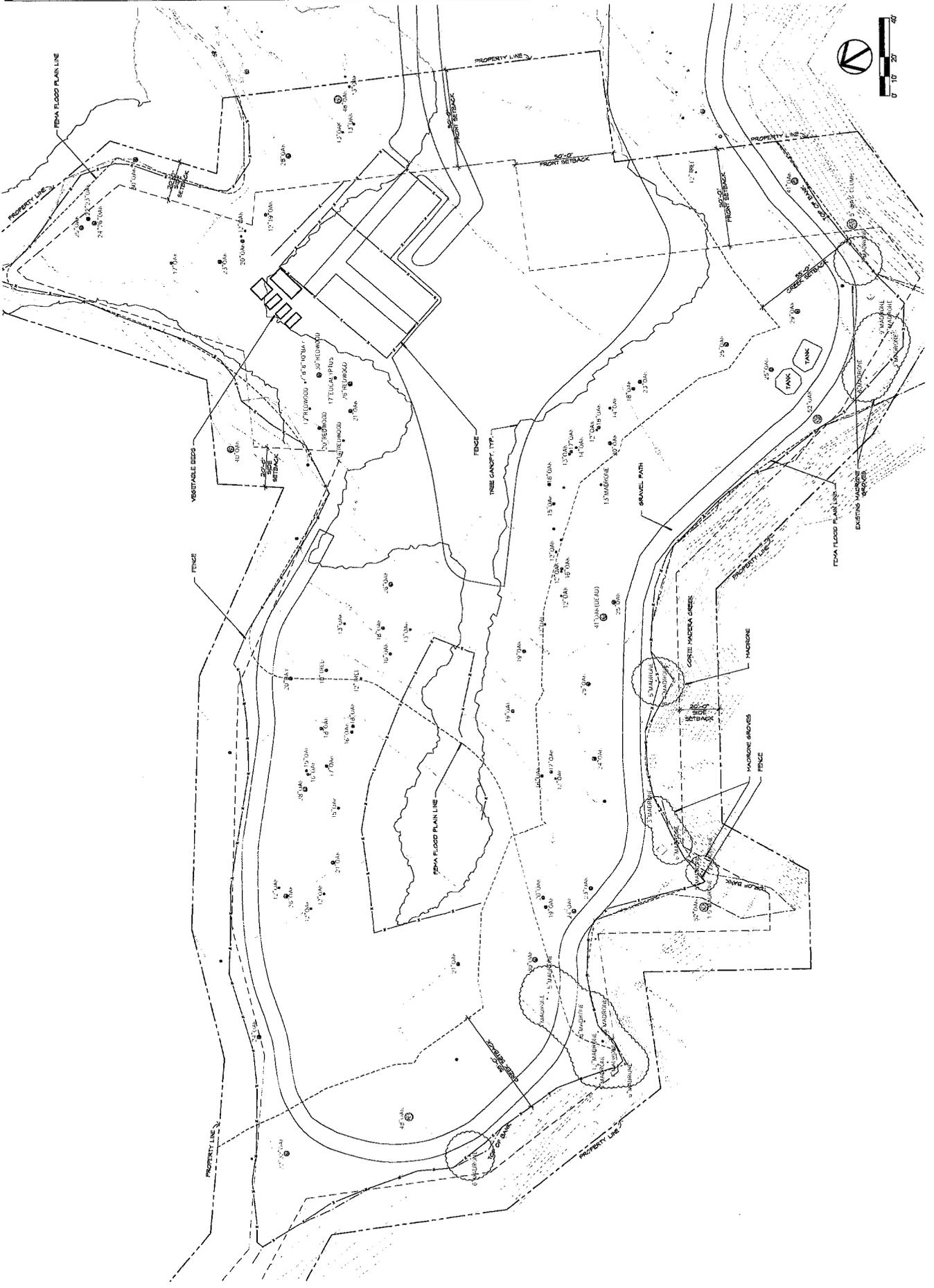
CALIFORNIA S.E.A. # 3137

**VILLA DEL  
PRATO**  
1281 VESTRIDGE DRIVE  
PORTOLA VALLEY,  
CALIFORNIA

**LOT A  
EXISTING  
STRUCTURES  
STATUS PLAN**

DATE: 11/01/16  
DRAWN: PH/AM  
CHECKED: TR/PH  
SCALE: 1" = 20'-0"

LA.1.1





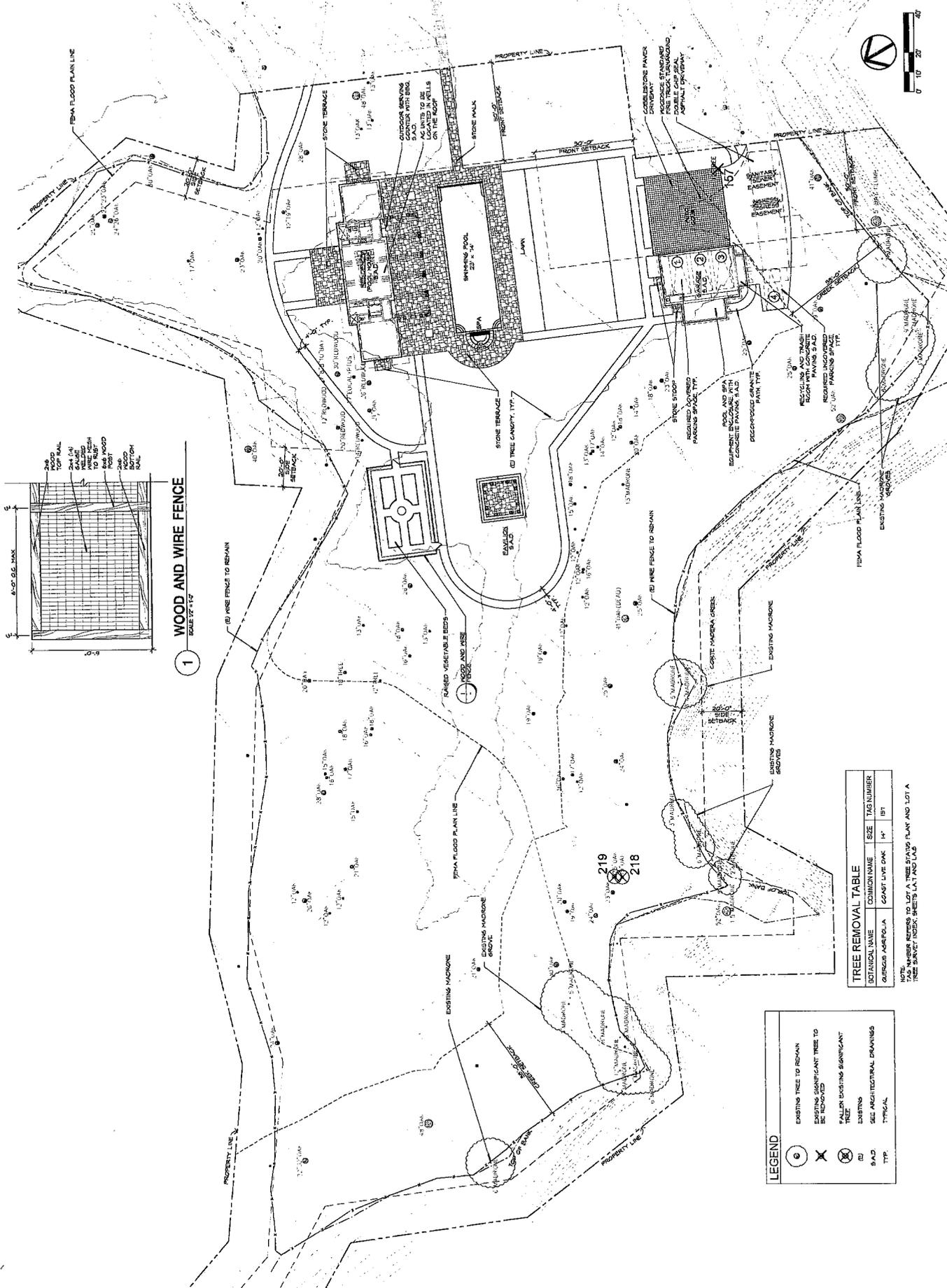
**THOMAS  
KLOPF  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS  
2185 BELMONT BLVD.  
SUITE 100, SAN ANTONIO, TX 78204  
TEL: 214-343-1000  
WWW.TKASSOCIATES.COM  
CALIFORNIA REG. # 2237

**VILLA DEL  
PRATO**  
1288 VESTROSE DRIVE  
PORTOLA VALLEY,  
CALIFORNIA

**LOT A  
SITE PLAN**

DATE: 11/01/08  
DRAWN: PK, MK  
CHECKED: TK, PK  
SCALE: 1" = 20'-0"

**LA.2**



**1 WOOD AND WIRE FENCE**  
SCALE 1/2" = 1'-0"

**TREE REMOVAL TABLE**

BOTANICAL NAME	COMMON NAME	SIZE	TAG NUMBER
QUERCUS AGRIFFOLIA	COAST LIVE OAK	14'	BT1

NOTE: NUMBER REFERS TO LOT A TREE STATUS PLAN AND LOT A TREE SURVEY INDEX SHEETS LA.1 AND LA.2

**LEGEND**

(6)	EXISTING TREE TO REMAIN
(X)	EXISTING SIGNIFICANT TREE TO BE REMOVED
(X)	*ALL OTHER EXISTING SIGNIFICANT TREES
(R)	EXISTING
S.A.D.	SEE ARCHITECTURAL DRAWINGS
TYP.	TYPICAL





**THOMAS  
KLOPPE  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS  
1105 SERRANO BLVD.  
SUITE 200  
PORTOLA VALLEY, CA 94028  
TEL: 650.941.1888  
FAX: 650.941.1888  
WWW.TKAS.COM  
CALIFORNIA RLA # 3237

**VILLA DEL  
PRATO**  
1280 WESTRIDGE DRIVE  
PORTOLA VALLEY,  
CALIFORNIA

DATE: REVISION:

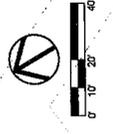
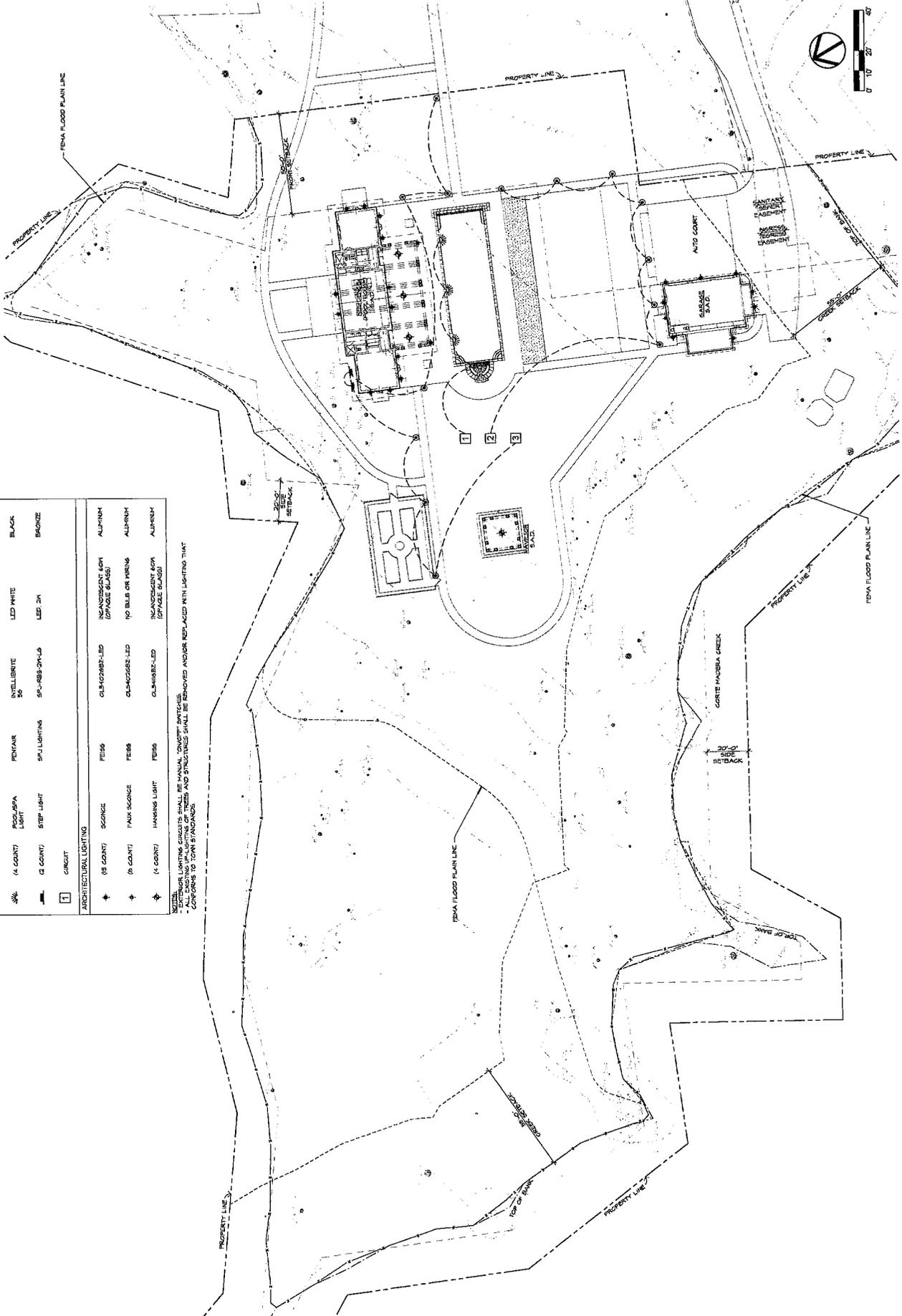
**LOT A  
EXTERIOR  
LIGHTING PLAN**

DATE: 11/01/16  
DRAWN: PH, RM  
CHECKED: TK, PH  
SCALE: 1" = 30.0'

LA.4

SYMBOL	QUANTITY	ITEM	BRAND	MODEL	LAMP TYPE	FINISH
<b>LANDSCAPE LIGHTING</b>						
⊙	(4 COUNT)	PATH LIGHT	FX LUMINAIRE	HC	LED	ANTIQUE BRONZE
⊙	(4 COUNT)	POLE MOUNTED LIGHT	POYFAK	INTELLIBRITE 25	LED WHITE	BLACK
⊙	(2 COUNT)	STEP LIGHT	SK LIGHTING	SK-1855 2M-L	LED 2K	BRONZE
<b>ARCHITECTURAL LIGHTING</b>						
+	(8 COUNT)	SCENIC	FEISS	GLH022852-LED	INCANDESCENT 60W (OPTIONAL GLASS)	ALUMINUM
+	(8 COUNT)	PAVILION SCENIC	FEISS	GLH402682-LED	NO BULB OR MESH	ALUMINUM
+	(4 COUNT)	HANGING LIGHT	FEISS	GLH18182-LED	INCANDESCENT 60W (OPTIONAL GLASS)	ALUMINUM

**NOTES:**  
1. EXTERIOR LIGHTING FIXTURES SHALL BE MINIMAL "DOWNT" FIXTURES.  
2. ALL FIXTURES AND STRUCTURES SHALL BE REMOVED AND/OR REPLACED WITH LIGHTING THAT CONFORMS TO TOWN STANDARDS.









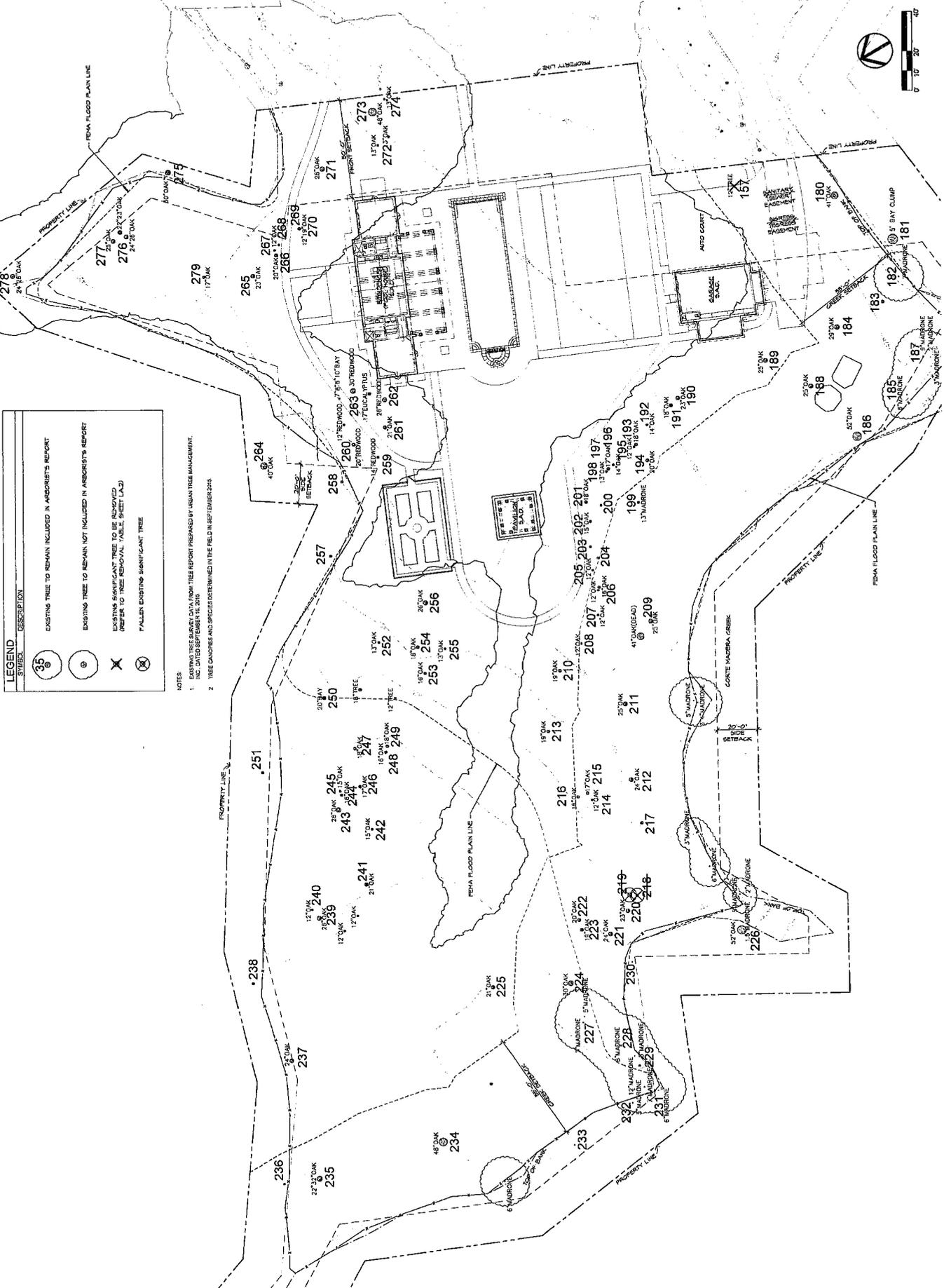
**THOMAS KLOPF ASSOCIATES, INC.**  
 LANDSCAPE ARCHITECTS  
 3132 BELLEVUE REAL  
 ESTATE ASSOCIATES  
 1000 WESTRIDGE DRIVE  
 PORTOLA VALLEY,  
 CALIFORNIA 94028  
 TEL: 650.951.1088  
 FAX: 650.951.1089  
 WWW.TKLA.COM  
 CALIFORNIA R.L.A.# 3337

**VILLA DEL PRATO**  
 1280 WESTRIDGE DRIVE  
 PORTOLA VALLEY,  
 CALIFORNIA

**LOT A  
 TREE STATUS  
 PLAN**

DATE: 10/10/19  
 DRAWN: PHM/ML  
 CHECKED: TK/PH  
 SCALE: 1" = 20'-0"

LA.7



**LEGEND**

SYMBOL	DESCRIPTION
⊙	EXISTING TREE TO REMAIN INCLUDED IN ARBORIST'S REPORT
⊗	EXISTING TREE TO REMAIN NOT INCLUDED IN ARBORIST'S REPORT
⊗	EXISTING SIGNIFICANT TREE TO BE REMOVED (REFER TO TREE REMOVAL TABLE SHEET LA.2)
⊗	FALLEN EXISTING SIGNIFICANT TREE

**NOTES**

- EXISTING TREE SURVEY DATA FROM TREE REPORT PREPARED BY URBAN TREE MANAGEMENT, INC. DATED SEPTEMBER 16, 2015
- TREE CANOPIES AND SPECIES DETERMINED IN THE FIELD IN SEPTEMBER 2015



DATE: REVISION











SEPT 28, 2016 ASCC SUBMITTAL  
 OCT 13, 2016 ASCC SUBMITTAL  
 NOV 18, 2016 ASCC SUBMITTAL

# Villa Del Prato - LOT A

1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CA 94028

NOT FOR  
 CONSTRUCTION

Andrew Skurman  
 Architects



3654 Sacramento Street  
 San Francisco, CA 94118  
 tel (415) 440-4480  
 fax (415) 440-4488

Sheet Title

LOT A  
 RESIDENCE (POOL HOUSE)  
 EXT. ELEVATIONS

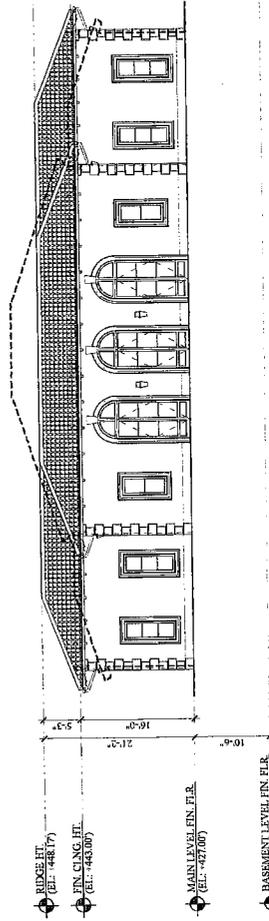
Project No.

Scale

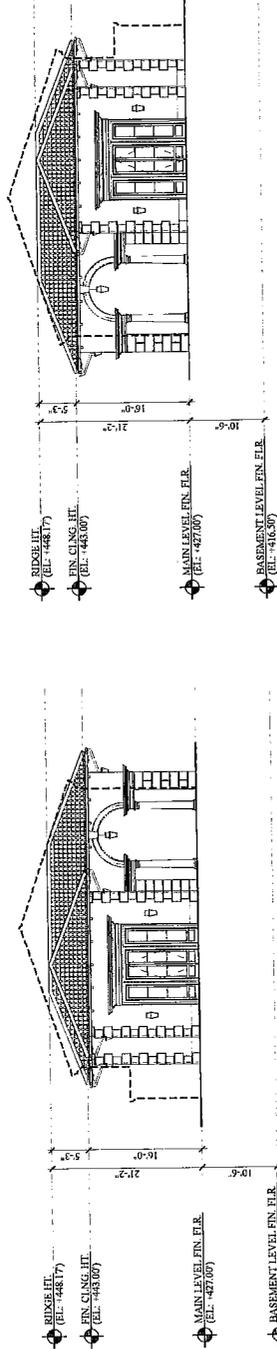
Date

A3.1

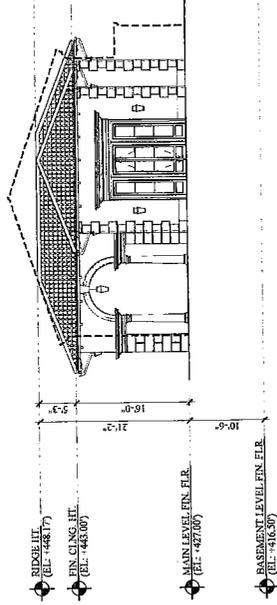
PREVIOUS ASCC DESIGN  
 APRIL 25 2016



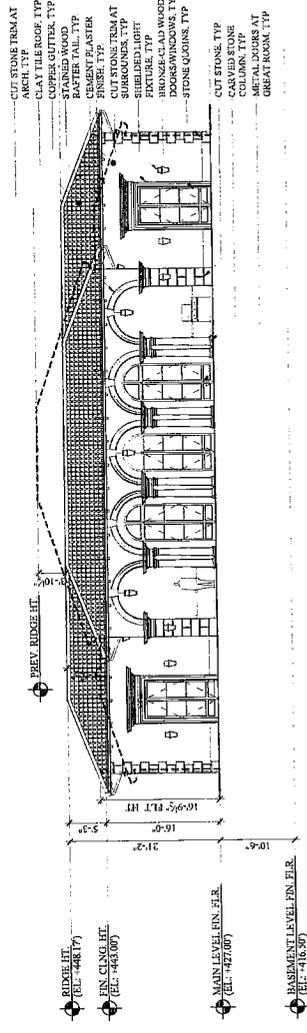
4 RESIDENCE (PH) NORTH ELEVATION  
 A3.1 SCALE: 1/8" = 1'-0"



3 RESIDENCE (PH) WEST ELEVATION  
 A3.1 SCALE: 1/8" = 1'-0"



2 RESIDENCE (PH) EAST ELEVATION  
 A3.1 SCALE: 1/8" = 1'-0"



1 RESIDENCE (PH) SOUTH ELEVATION  
 A3.1 SCALE: 1/8" = 1'-0"

- CUT STONE TRIM AT ROOF LINE
- CUT TILE FLOOR TYP
- COPPER GUTTER TYP
- STAINED WOOD RAFTER TAIL TYP
- CUT STONE TRIM AT SURROUNDERS TYP
- CUT STONE TRIM AT BRANZE-CLAD WOOD FIXTURE TYP
- DOORS/WINDOWS TYP
- STONE QUOINS TYP
- CUT STONE TYP
- BRANZE-CLAD WOOD COLUMN TYP
- METAL DOORS AT GREAT ROOM TYP

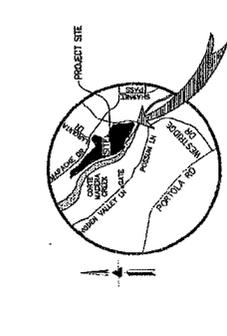




**LEA & BRAZE ENGINEERING, INC.**  
 522 UNIVERSITY AVENUE, SUITE #130  
 PORTOLA VALLEY, CA 94028  
 (415) 947-1300  
 (415) 947-1301  
 (415) 947-1302  
 (415) 947-1303  
 (415) 947-1304  
 (415) 947-1305  
 (415) 947-1306  
 (415) 947-1307  
 (415) 947-1308  
 (415) 947-1309  
 (415) 947-1310

**LOT A RESIDENCE (POOL HOUSE)**  
**VILLA DEL PRATO**  
**PORTOLA VALLEY, CALIFORNIA**  
 SAN MATEO COUNTY  
 APR. 07 - 08-200

**"A.S.C.C." TITLE SHEET**  
 JOB NO. 214657  
 DATE: 11.10.10  
 SCALE: AS SHOWN  
 SHEET NO. C-10  
 TOTAL SHEETS: 11 OF 12  
 DESIGN BY: AIL  
 DRAWN BY: AIL



**OWNER'S INFORMATION**  
 OWNER: DANIEL CARANO  
 522 UNIVERSITY AVENUE, SUITE #130  
 PORTOLA VALLEY, CA 94028  
 APR. 07 - 08-200

- REFERENCES**
- THIS GRADING AND DRAINAGE PLAN IS SUBMITTAL AS INCORPORATED INTO THE PERMITS FOR THE PROJECT, INC. ENTITLED: "RESIDENCE AT 1260 WESTRIDGE DRIVE, PORTOLA VALLEY, CA 94028".
  - SITE PLAN BY TAYLOR LOWBARDO ARCHITECTS, ENTITLED: "VILLA DEL PRATO".
  - SOIL REPORT BY MURRAY ENGINEERS, INC., ENTITLED: "SOIL TECHNICAL REPORT FOR VILLA DEL PRATO, PORTOLA VALLEY, CA".
  - LANDSCAPE PLAN BY THOMAS KLOPE ASSOCIATES, INC., ENTITLED: "VILLA DEL PRATO".
- THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SUBJECT MATTER AS ACCORDING TO THEM, BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

**NOTES**

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE INDICATIONS.

EXISTING UTILITIES ARE SHOWN AT GRADE AND FINISH ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

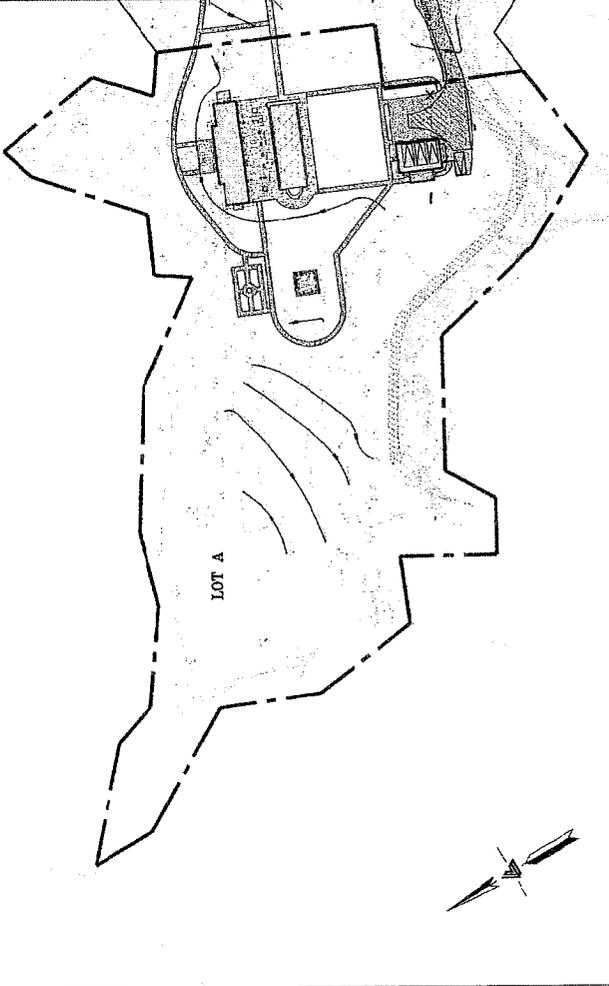
**EASEMENT NOTE**

EASEMENTS SHOWN FOR TITLE REPORTS ON SHEET NO. 214657, DATED JUNE 23, 2010, ARE TO BE MAINTAINED AT THE INTERSECTION OF WESTRIDGE DRIVE AND WESTRIDGE DRIVE.

**BENCHMARK NOTE**

THE BENCHMARK FOR THIS PROJECT IS THE 3.0" BRASS DISK IN MONUMENT, WELL STAMPED "A.S.C.C. BENCHMARK" AT THE INTERSECTION OF WESTRIDGE DRIVE AND WESTRIDGE DRIVE. ELEVATION = 1461.7 (VERO 1928) - SHOWN ON SHEET S14.

# "A.S.C.C." 1260 WESTRIDGE DRIVE - LOT A PORTOLA VALLEY, CALIFORNIA



**REINFORCING WALL NOTES**

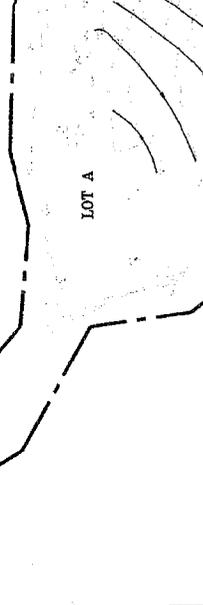
- TYPICAL REPRESENTS FINISHED EARTH GRADE OR PAVEMENT ELEVATION AT TOP OF WALL. NOT ACTUAL TO BE MAINTAINED AT BOTTOM OF WALL. NOT INCLUDING ALL FOUNDATION GRADES INDICATED ON THESE PLANS REFER TO FOUNDATION GRADES INDICATED ON THESE PLANS. NOT INCLUDING FOUNDATION GRADES, ETC.
- PAVEMENTS SHOWN IN BRACKETS SHOW AS (P.V.) DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, REBAR, AND DIMENSIONS.
- DETAILS FOR DETAILS WALL ELEVATIONS, SUBDRAINAGE, INTERLOCKING FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. REFER TO THE WALLS. COLORS OF SECOND FINISH MATERIALS AS NECESSARY (NOT SET INTO THE WALLS).
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE CURB/RAMP (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS INDICATED FROM FACE OF WALL PER JOB.

**ESTIMATED EARTHWORK QUANTITIES**

ITEM	CUBIC YARDS	TOTAL CUBIC YARDS		
		WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL
CUT	45	450	330	780
FILL	0	0	330	330
EXPORT	0	0	330	330

**NOTES:**  
 GRADING QUANTITIES REPRESENT BANK AND GRADE. IT DOES NOT INCLUDE ANY SLOPING OR SURFACE FILLING. QUANTITIES ARE BASED ON THE ASSUMPTIONS, STRUCTURE, DIMENSIONS OR FINISHES ON THIS DRAWING. QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY THE CONTRACTOR TO VERIFY QUANTITIES OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

- LEGEND**
- | EXISTING | PROPOSED | DESCRIPTION              |
|----------|----------|--------------------------|
| ---      | ---      | BOUNDARY                 |
| ---      | ---      | PROPERTY LINE            |
| ---      | ---      | RETAINING WALL           |
| ---      | ---      | RAINWATER TROUGH         |
| ---      | ---      | SEWER LINE               |
| ---      | ---      | TIGHTLINE                |
| ---      | ---      | STORM DRAIN LINE         |
| ---      | ---      | SANITARY SEWER LINE      |
| ---      | ---      | WATER LINE               |
| ---      | ---      | GAS LINE                 |
| ---      | ---      | PRESSURE LINE            |
| ---      | ---      | JOINT TRENCH             |
| ---      | ---      | SET BACK LINE            |
| ---      | ---      | CONCRETE VALLEY GUTTER   |
| ---      | ---      | EARTHEN SWALE            |
| ---      | ---      | CATCH BASIN              |
| ---      | ---      | JUNCTION BOX             |
| ---      | ---      | AREA DRAIN               |
| ---      | ---      | CURB INLET               |
| ---      | ---      | STORM DRAIN MANHOLE      |
| ---      | ---      | FIRE HYDRANT             |
| ---      | ---      | REINFORCED CONCRETE PIPE |
| ---      | ---      | SANITARY SEWER MANHOLE   |
| ---      | ---      | STREET SIGN              |
| ---      | ---      | SPOT ELEVATION           |
| ---      | ---      | FLOW DIRECTION           |
| ---      | ---      | DEMOLISH/REMOVE          |
| ---      | ---      | BENCHMARK                |
| ---      | ---      | CONTOURS                 |
| ---      | ---      | TREE TO BE REMOVED       |



**ABBREVIATIONS**

AS	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
AE	AREA EARTH
AM	AREA MANHOLE
AN	AREA NUMBER
AO	AREA OVER
AP	AREA PAVEMENT
AR	AREA REINFORCED
AS	AREA SANITARY
AT	AREA TRENCH
AV	AREA VALLEY
AW	AREA WATER
AX	AREA X
AY	AREA Y
AZ	AREA Z
BA	AREA B
BB	AREA BB
BC	AREA BC
BD	AREA BD
BE	AREA BE
BF	AREA BF
BG	AREA BG
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BJ	AREA BJ
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BR	AREA BR
BS	AREA BS
BT	AREA BT
BU	AREA BU
BV	AREA BV
BW	AREA BW
BX	AREA BX
BY	AREA BY
BZ	AREA BZ
CA	AREA CA
CB	AREA CB
CC	AREA CC
CD	AREA CD
CE	AREA CE
CF	AREA CF
CG	AREA CG
CH	AREA CH
CI	AREA CI
CJ	AREA CJ
CK	AREA CK
CL	AREA CL
CM	AREA CM
CN	AREA CN
CO	AREA CO
CP	AREA CP
CQ	AREA CQ
CR	AREA CR
CS	AREA CS
CT	AREA CT
CU	AREA CU
CV	AREA CV
CW	AREA CW
CX	AREA CX
CY	AREA CY
CZ	AREA CZ
DA	AREA DA
DB	AREA DB
DC	AREA DC
DD	AREA DD
DE	AREA DE
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DH	AREA DH
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DV	AREA DV
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KZ	AREA KZ
LA	AREA LA
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LD	AREA LD
LE	AREA LE
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OQ	AREA OQ
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SJ	AREA SJ
SK	AREA SK
SL	AREA SL
SM	AREA SM
SN	AREA SN
SO	AREA SO
SP	AREA SP
SQ	AREA SQ
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SW	AREA SW
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TG	AREA TG
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TN	AREA TN
TO	AREA TO



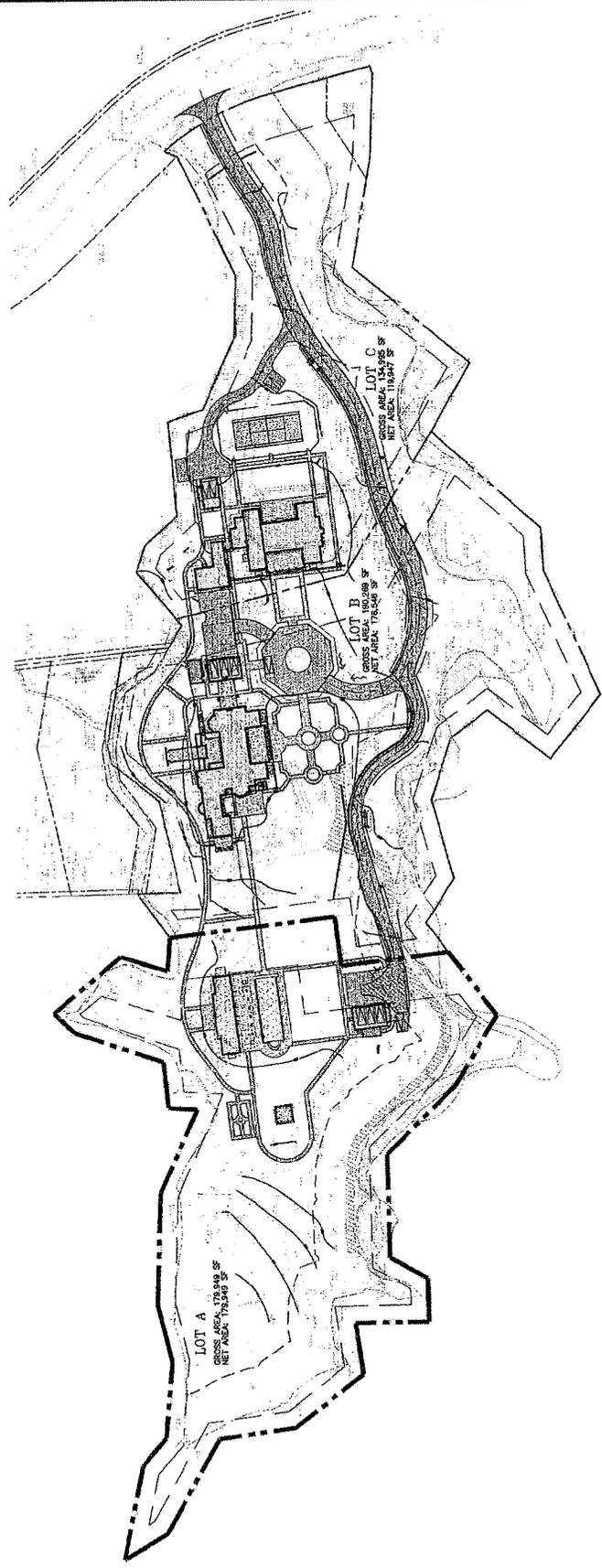
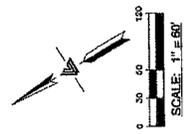
**LEA & BRAZEE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 2455 HIGHLAND BLVD., SUITE 200  
 SACRAMENTO, CALIFORNIA 95833  
 (916) 987-1338  
 (916) 987-1339  
 WWW.LEABRAZEE.COM

**LOT A RESIDENCE**  
**VILLA DEL PRATO**  
 (POOL HOUSE)  
**PORTELA VALLEY, CALIFORNIA**  
 SAN MATEO COUNTY  
 APR: 07-055-206

**"A.S.C.C."  
 OVERALL SITE PLAN**

DATE	11.20.11
SCALE	1"=60'
DESIGNER	AK
DRAWN BY	AK
SHEET NO.	

**C-2-0**  
 2 OF 5 SHEETS







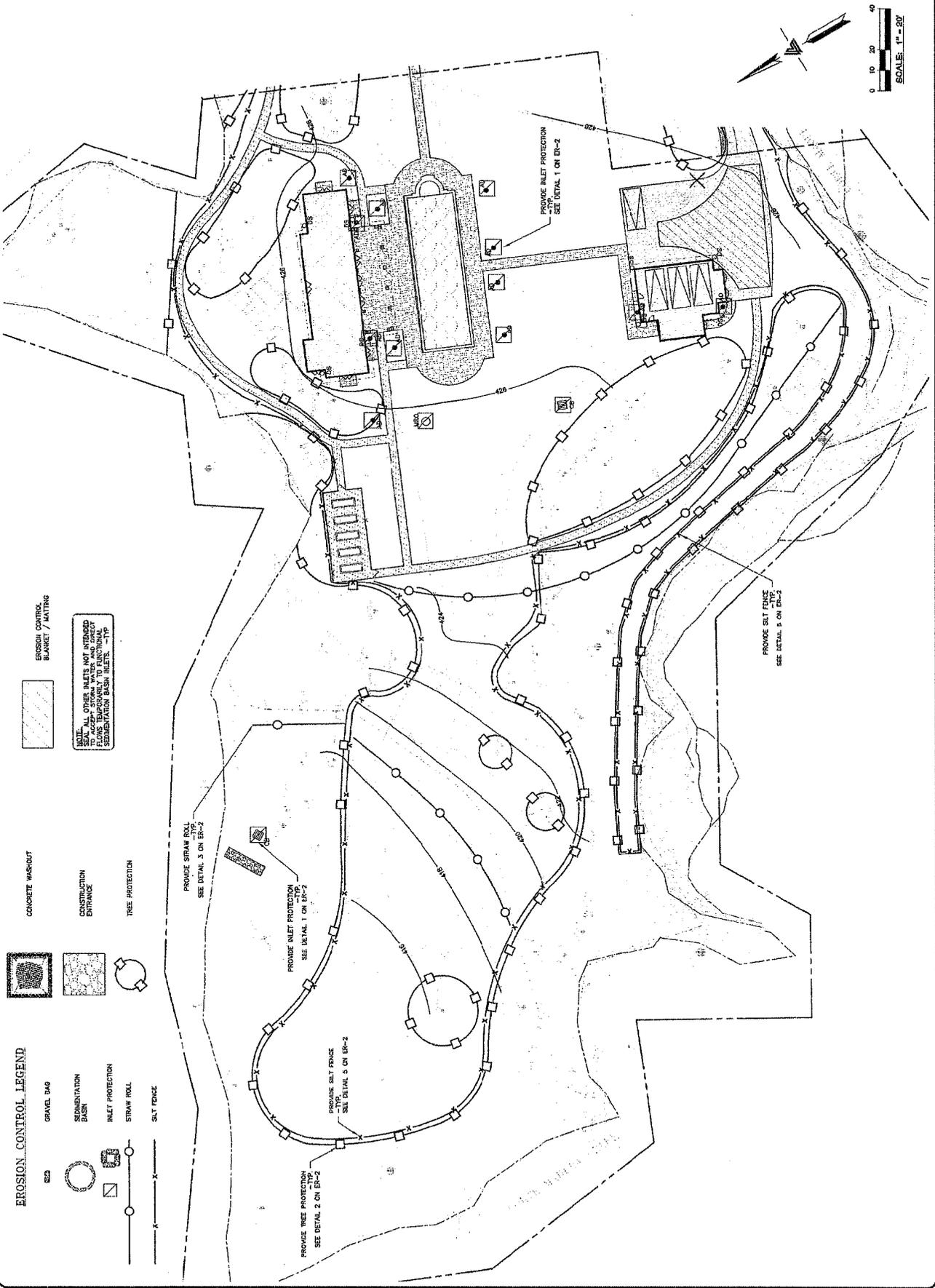
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 2425 REDWOOD DRIVE  
 SAN JOSE, CALIFORNIA 95131  
 (408) 267-4066  
 (408) 267-3019  
 WWW.LCBRAZE.COM

**LOT A RESIDENCE**  
**VILLA DEL PRATO**  
 (POOL HOUSE)  
**PORTOLA VALLEY, CALIFORNIA**  
 SAN MATEO COUNTY  
 APR. 07-050-205

**"A.S.C.C." EROSION CONTROL PLAN**

DATE:	11.10.14
SCALE:	1"=20'
DRAWN BY:	AL
CHECKED BY:	AL
DESIGNED BY:	AL
SHEET NO.:	4
TOTAL SHEETS:	5

**EA-1**  
 4 of 5 SHEETS



**EROSION CONTROL LEGEND**

- GRAVEL BAG
- SEDIMENTATION BASIN
- INLET PROTECTION
- STRAW ROLL
- SALT FENCE

- CONCRETE WASHOUT
- CONSTRUCTION ENTRANCE
- TREE PROTECTION

EROSION CONTROL BLANKET / MATTING

**NOTE:** ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECTLY TO SEDIMENTATION BASIN INLETS. TYP.

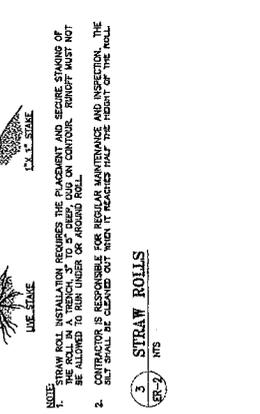
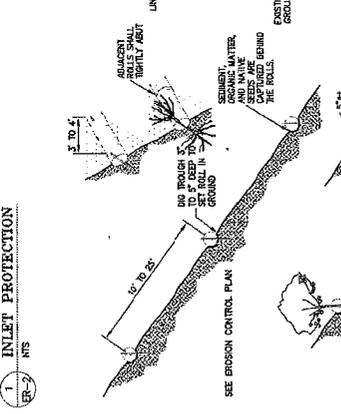
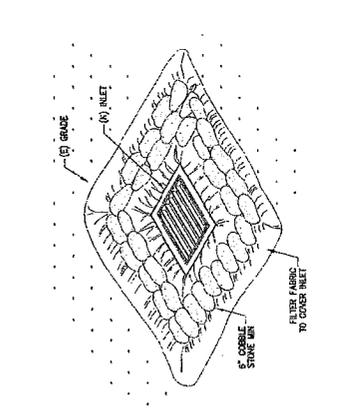
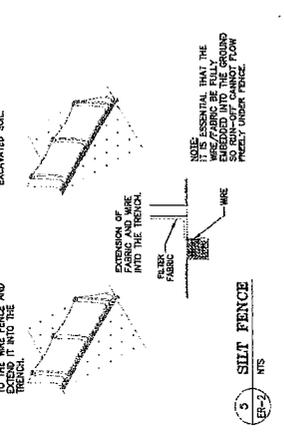
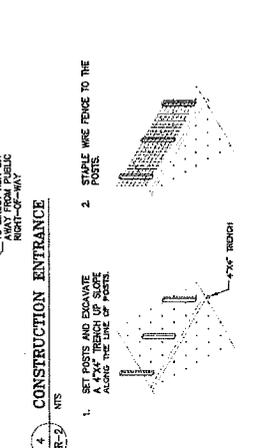
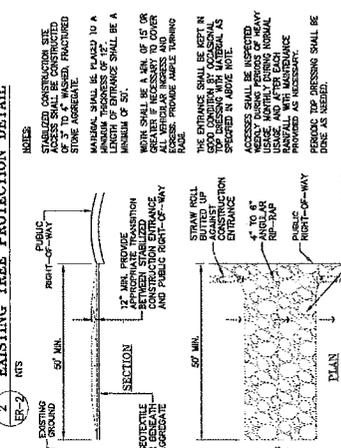
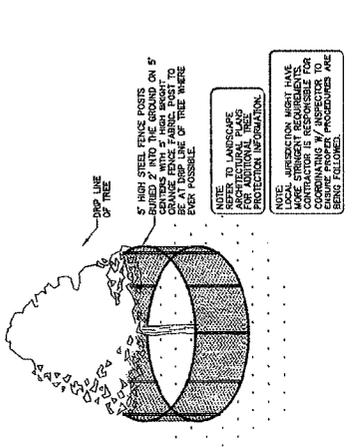


LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERING AND SURVEYING  
 2455 S. MOUNTAIN VIEW AVENUE  
 ANAHEIM, CALIFORNIA 92805  
 (714) 941-1328  
 WWW.LEABRAZE.COM

LOT A RESIDENCE  
 (POOL HOUSE)  
 VILLA DEL PRATO  
 PORFOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APRIL 077-050-208

"A.S.C.C." EROSION CONTROL DETAILS  
 SHEET NO. 1 OF 3

DATE	11.10.18
SCALE	AS NOTED
DESIGN BY	AK
DRAWN BY	AK
SHEET NO.	1 OF 3



**1 INLET PROTECTION**  
 1. 5' HIGH STEEL FENCE POSTS TO BE BUILT 2' INTO THE GROUND ON 5' X 5' CONCRETE CURB. FENCE FABRIC TO BE AT TOP LINE OF THE WHERE EVER POSSIBLE.  
 NOTE: REFER TO LANDSCAPE ARCHITECTURE FOR ADDITIONAL PROTECTION INFORMATION.  
 NOTE: CONTRACTOR MUST HAVE CONTRACTOR RESPONSIBLE FOR EROSION CONTROL MEASURES BEING FOLLOWED.

**2 EXISTING TREE PROTECTION DETAIL**  
 12' MIN. PROVIDE PROTECTION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.  
 12' MIN. PROVIDE PROTECTION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.  
 12' MIN. PROVIDE PROTECTION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.  
 12' MIN. PROVIDE PROTECTION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.

**3 STRAW ROLL**  
 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAPLING OF THE ROLL IN A TRENCH 3" TO 5" DEEP, OUT ON CONTOUR. RIMPOST MUST NOT BE ALLOWED TO RUN UNDER OR ABOVE ROLL.  
 2. CONTRACTOR'S RESPONSIBILITY FOR REGULAR MAINTENANCE AND REPAIRS. THE ROLL SHALL BE SECURED TO THE CURB OR TO THE ADJACENT SIDEWALK.

**4 CONSTRUCTION ENTRANCE**  
 1. SET POSTS AND EXCAVATE TO THE WIRE FENCE AND ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 2. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 4. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 5. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 6. BACKFILL AND COMPACT THE EXCAVATED SOIL.

**5 SILT FENCE**  
 1. SET POSTS AND EXCAVATE TO THE WIRE FENCE AND ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 2. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 4. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 5. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 6. BACKFILL AND COMPACT THE EXCAVATED SOIL.

**6 STRAW ROLL**  
 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAPLING OF THE ROLL IN A TRENCH 3" TO 5" DEEP, OUT ON CONTOUR. RIMPOST MUST NOT BE ALLOWED TO RUN UNDER OR ABOVE ROLL.  
 2. CONTRACTOR'S RESPONSIBILITY FOR REGULAR MAINTENANCE AND REPAIRS. THE ROLL SHALL BE SECURED TO THE CURB OR TO THE ADJACENT SIDEWALK.

**7 CONSTRUCTION ENTRANCE**  
 1. SET POSTS AND EXCAVATE TO THE WIRE FENCE AND ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 2. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 4. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 5. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 6. BACKFILL AND COMPACT THE EXCAVATED SOIL.

**8 SILT FENCE**  
 1. SET POSTS AND EXCAVATE TO THE WIRE FENCE AND ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 2. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 4. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
 5. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXCAVATED SOIL.  
 6. BACKFILL AND COMPACT THE EXCAVATED SOIL.

**EROSION CONTROL NOTES - CONTINUED:**  
 24. ADVISE THE OWNER AND OTHER TOWN OFFICIALS THAT THE MATERIALS MUST BE STORED IN A MANNER THAT PREVENTS THEM FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING AREAS. MATERIALS SHOULD BE STORED IN A MANNER THAT PREVENTS THEM FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING AREAS. MATERIALS SHOULD BE STORED IN A MANNER THAT PREVENTS THEM FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING AREAS. MATERIALS SHOULD BE STORED IN A MANNER THAT PREVENTS THEM FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING AREAS.

**EROSION CONTROL MEASURES:**  
 1. THE OWNER/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.  
 2. THE INTENTION OF THIS PLAN IS FOR EROSION CONTROL AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE CALIFORNIA EROSION CONTROL ACT AND THE CALIFORNIA STORM WATER QUALITY CONTROL ACT.  
 3. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION CONTROL MEASURES AND REPORTING TO THE TOWN ENGINEER. THE TOWN ENGINEER SHALL BE RESPONSIBLE FOR MONITORING EROSION CONTROL MEASURES AND REPORTING TO THE TOWN ENGINEER. THE TOWN ENGINEER SHALL BE RESPONSIBLE FOR MONITORING EROSION CONTROL MEASURES AND REPORTING TO THE TOWN ENGINEER.

**PERIODIC MAINTENANCE:**  
 1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:  
 A. DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.  
 B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.  
 C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.  
 D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL CONDITION WITHIN 24 HOURS OF EACH STORM TO A DEPTH OF 1" FOOT.  
 E. SEDIMENT TRAPPED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT REEJECT.  
 F. RILLS AND GULLIES MUST BE REPAIRED.  
 G. GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.  
 H. STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER PLACEMENT AND MAINTENANCE. THE SEDIMENT DEPTH REACHED MUST BE THE HEIGHT OF THE ROLL.  
 I. SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.  
 J. CONSTRUCTION ENTRANCE SHALL BE REGRAVELLED AS NECESSARY FOLLOWING EACH STORM. SEDIMENT MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION.

**REFERENCES:**  
 1. CALIFORNIA FEDERAL WATER QUALITY CONTROL BOARD'S BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION.  
 2. CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION.  
 3. CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION.  
 4. CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION.

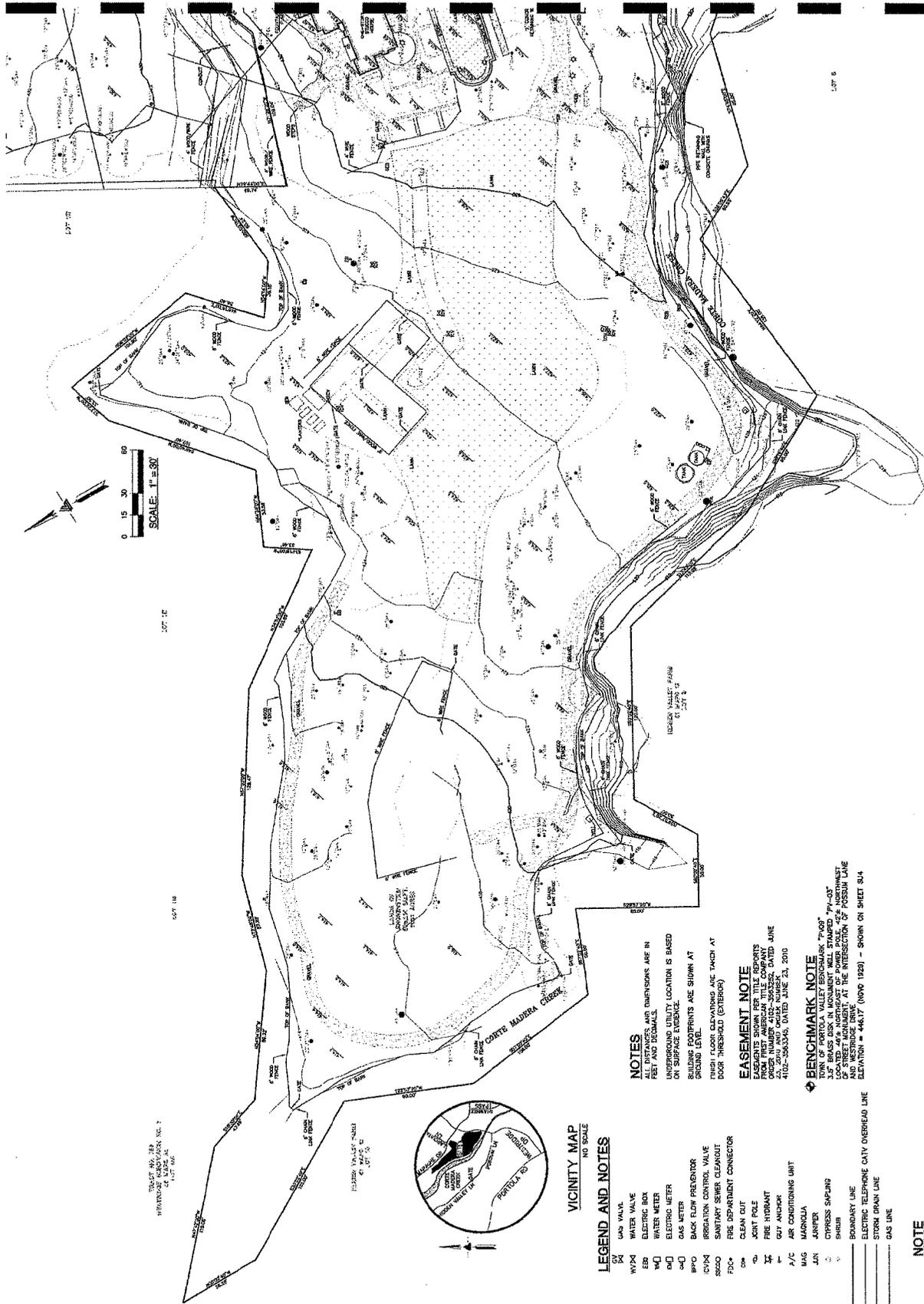


**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS AND SURVEYORS  
 3400 MARINA AVENUE, SUITE 200  
 SAN DIEGO, CALIFORNIA 92108  
 (619) 591-4388  
 (619) 591-4389  
 WWW.LEABRAZE.COM

**VILLA DEL PRATO**  
**1260 WESTRIDGE DRIVE**  
**PORTOLA VALLEY, CALIFORNIA**  
 SAN MATEO COUNTY  
 APR. 07-050-200

**TOPOGRAPHIC SURVEY**

DATE	06-23-10
SCALE	AS NOTED
JOB NO.	2142822
REVISIONS BY	
DATE	
DESIGN BY	
DRAWN BY	
SHEET NO.	1
TOTAL SHEETS	2



**NOTES**  
 1. ALL DIMENSIONS AND DIMENSIONS ARE IN FEET AND DECIMALS.  
 2. UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.  
 3. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.  
 4. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (ENTRIES).

**EASEMENT NOTE**  
 EASEMENT SURVEY FOR TITLE REPORTS FROM FIRST AMERICAN TITLE COMPANY, 2000 WINDY CREEK DRIVE, SUITE 4102-3565346, DATED JUNE 21, 2010.

**BENCHMARK NOTE**  
 TOWN OF PORTOLA VALLEY BENCHMARK "7869" (784-07) IS A BENCHMARK SET BY THE TOWN OF PORTOLA VALLEY, CALIFORNIA, LOCATED 74.8' NORTHWEST OF POWER POLE #24, NORTHWEST CORNER OF THE INTERSECTION OF POSSUM LANE AND WESTRIDGE DRIVE. BENCHMARK ELEVATION = 446.17' (NVD 1929) - SHOWN ON SHEET 8/4.

**LEGEND AND NOTES**

- WV GAS VALVE
- WB WATER VALVE
- EB ELECTRIC BOX
- WM WATER METER
- EM ELECTRIC METER
- GM GAS METER
- BPV BACK FLOW PREVENTOR
- CVV SANITARY SEWER CLEANOUT
- SVV SANITARY SEWER CLEANOUT
- FCV FIRE DEPARTMENT CONNECTOR
- CP CLEAN OUT
- JOINT POLE
- FP FIRE HYDRANT
- GH GUY AND/OR
- AC AIR CONDITIONING UNIT
- MAG MANHOLE
- JN JUNCTION
- CS CYPRESS SAPLING
- SHR SHRUB
- BL BOUNDARY LINE
- EL ELECTRIC TELEPHONE CANY OVERHEAD LINE
- SI STORM DRAIN LINE
- GL GAS LINE

**NOTE**  
 DIMENSIONS SHOWN ARE BASED ON SURVEY FROM SITE AND SURVEY 11/7/75





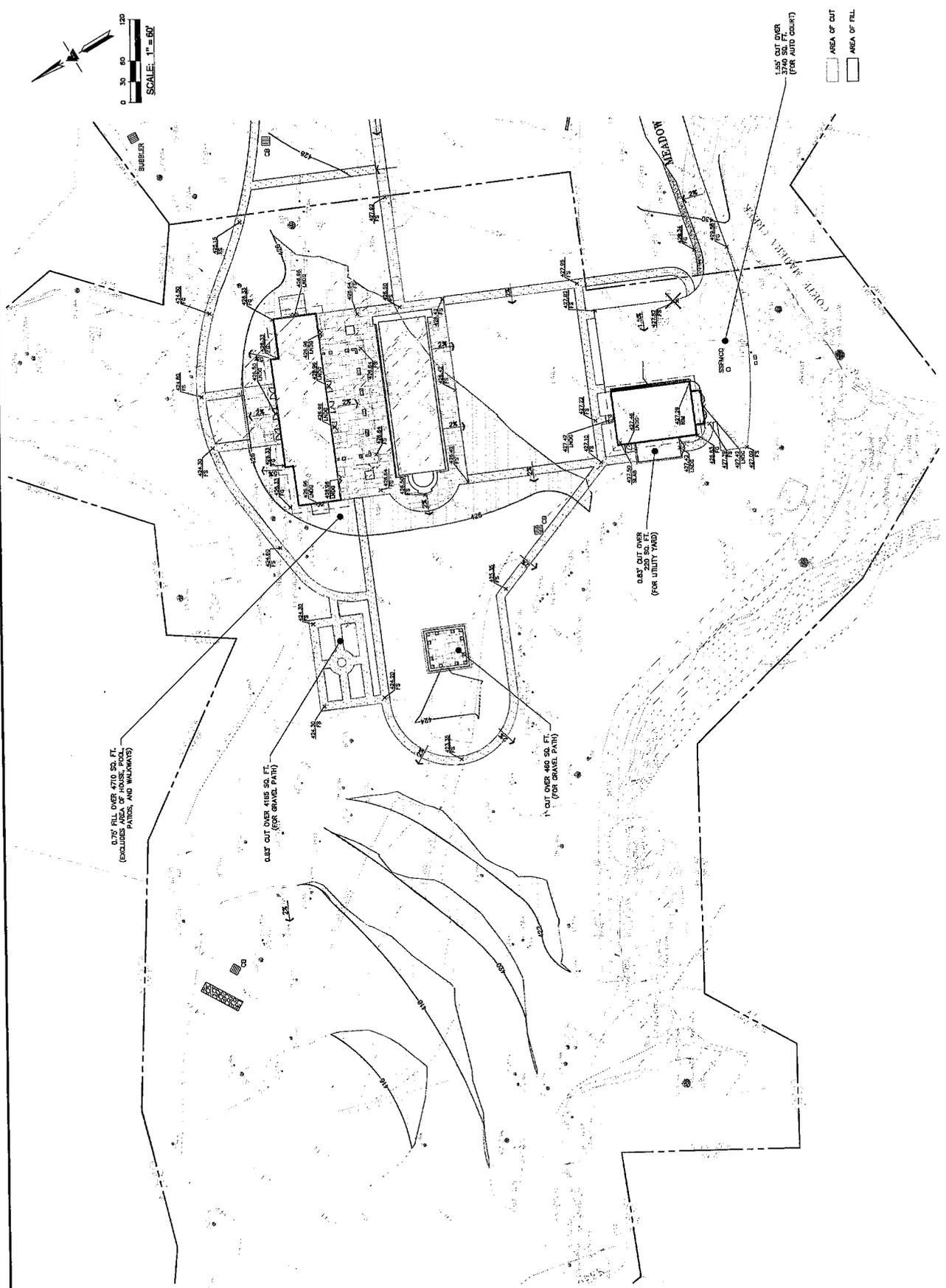
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS  
 2955 KINGSLEY PARK WEST  
 SERRANO AVENUE REGION  
 PORTOLA VALLEY, CA 94567  
 (925) 936-1338  
 (925) 936-1338  
 WWW.LEABRAZE.COM

1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY,  
 CALIFORNIA  
 SAN MATEO COUNTY  
 APN: 077-050-200

"A.S.C.C."  
 EARTHWORKS EXHIBIT  
 LOT A

REVISIONS	BY
DATE	11-19-18
SCALE	
DESIGN BY	JK
DRAWN BY	JT
SHEET NO.	

**EX-1**  
 1 OF 1 SHEETS



0.75' FILL OVER 470 SQ. FT.  
 (EXCLUDES AREA OF HOUSE, POOL,  
 PATIOS, AND WALKWAYS)

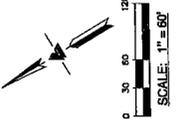
0.82' CUT OVER 418 SQ. FT.  
 (FOR GRAVEL PATH)

1' CUT OVER 460 SQ. FT.  
 (FOR GRAVEL PATH)

0.82' CUT OVER  
 200 SQ. FT.  
 (FOR UTILITY YARD)

1.50' CUT OVER  
 (FOR AUTO COURT)

AREA OF CUT  
 AREA OF FILL













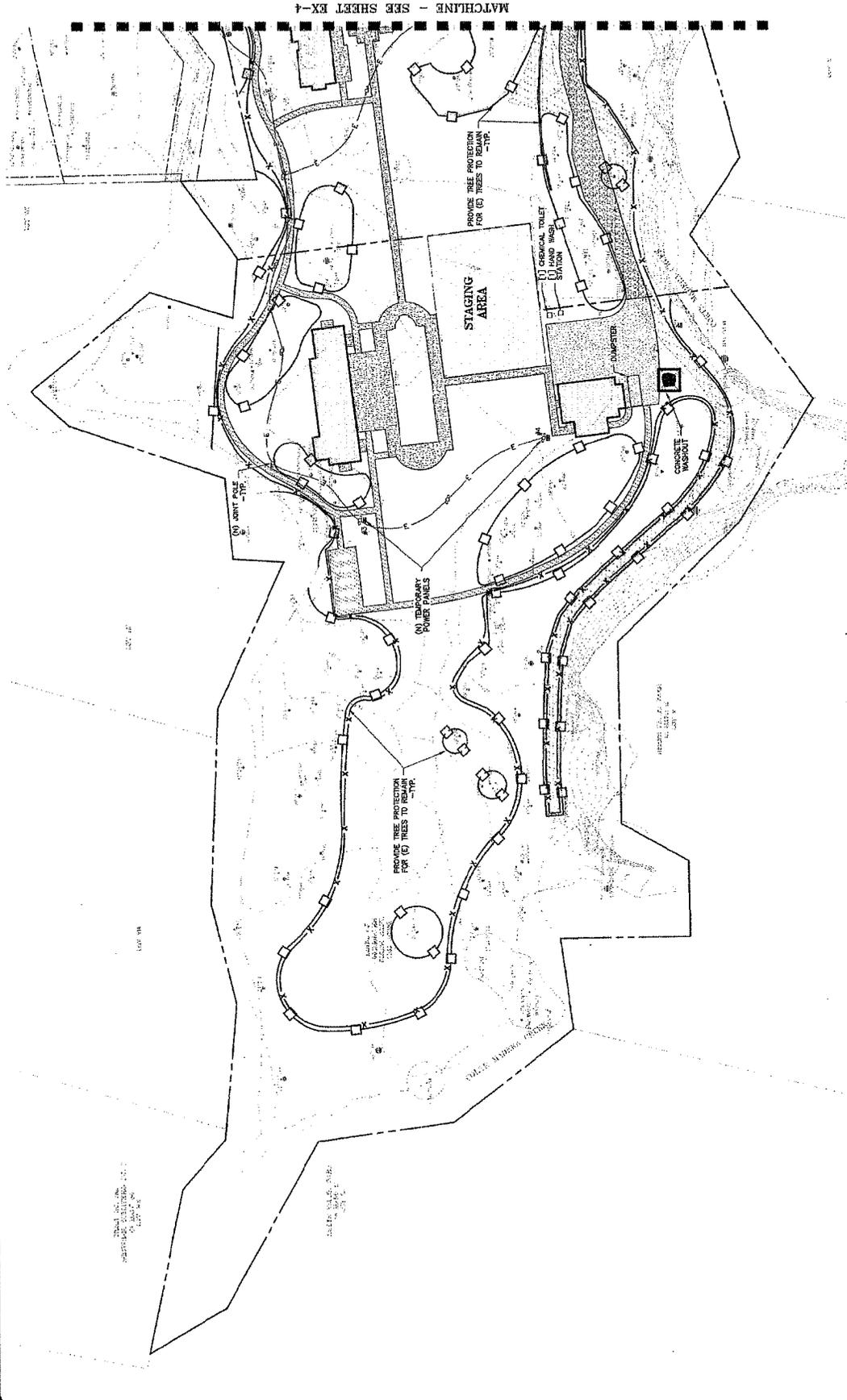
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 5405 ALBERTA DRIVE  
 PORTOLA VALLEY, CA 94028  
 (415) 947-1200  
 WWW.LEABRAZE.COM

**VILLA DEL PRATO**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 MAPS: 077-050-206

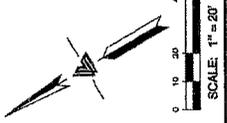
**CONSTRUCTION STAGING PLAN**

DATE:	11.19.13
SCALE:	1"=20'
PROJECT NO.:	2140057
DESIGN BY:	JLW
DATE:	11.19.13
REVISION:	
NO.	
DATE:	
BY:	

**EX-5**  
 SHEET NO. 5 OF 7



MATCHLINE - SEE SHEET EX-4



**HATCH LEGEND**  
 4" CLASS 2 BASE ROCK OVER STABILIZATION FABRIC

**NOTE:**  
 IMPROVEMENTS SHOWN FOR REFERENCE ONLY.

**ALL FEATURES SHOWN ARE TO BE INSTALLED BY EACH PHASE OF WORK TO PROVIDE AMPLE PARKING AND MATERIAL STORAGE. NO PARKING OR STORAGE OF MATERIAL IS ALLOWED ON WESTRIDGE DRIVE.**





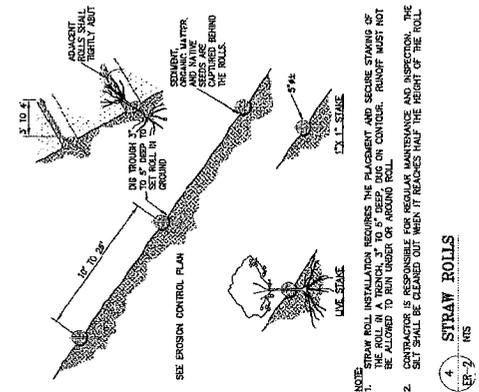
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 1500 S. GARDEN AVENUE, SUITE 100  
 ANAHEIM, CALIFORNIA 92805  
 (714) 933-8888  
 WWW.LEABRAZE.COM

**VILLA DEL PRATO**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA

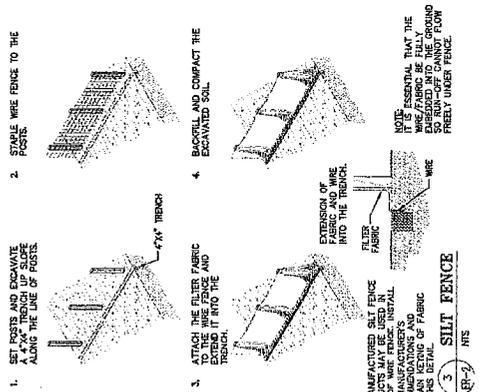
**EROSION CONTROL  
 DETAILS**

DATE	11.15.14
JOB NO.	2140027
SCALE	AS NOTED
DRAWN BY	AK
CHECKED BY	AK
SHEET NO.	5/11

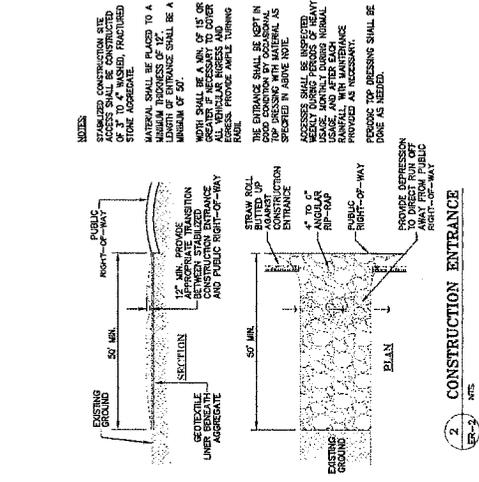
**ER-2**  
 7 OF 7 SHEETS



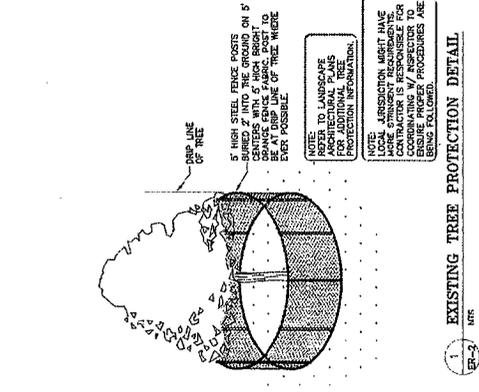
**NOTE:** STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAPLING OF THE ROLL IN A TRENCH, 3\"/>



**NOTE:** MANUFACTURERS ONLY FENCE PRODUCTS MAY BE USED IN EXCESSIVE SLOPES PROVIDED THAT IT IS NOT BURIED INTO THE GROUND SO RUNOFF CANNOT FLOW PAST IT UNDER FORCE.



**NOTES:** EXCAVATED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED TO 3\"/>



**NOTE:** TO LANDSCAPE ARCHITECTURAL PLANS FOR TREE PROTECTION INFORMATION.

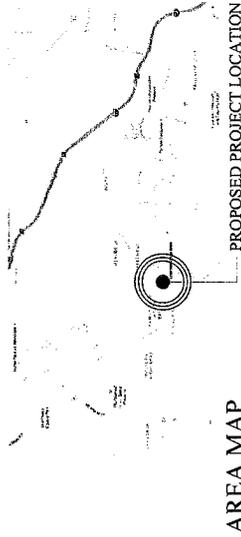
**NOTE:** LOCAL JURISDICTION MIGHT HAVE OTHER TREE PROTECTION PROCEDURES. COORDINATING W/ INSPECTOR TO VERIFY THAT PROCEDURES ARE BEING FOLLOWED.

**PROJECT SCOPE - LOT B**

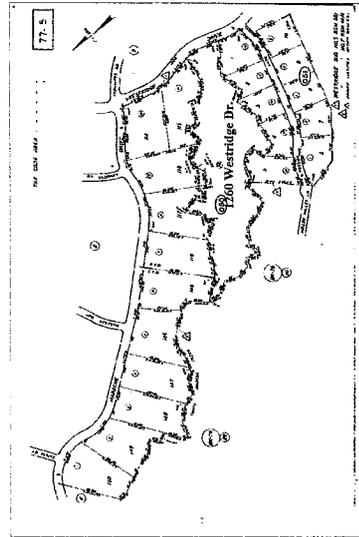
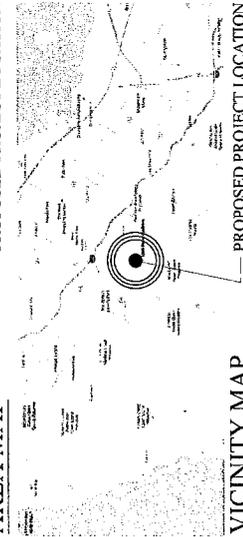
LOT B IS BEING DEVELOPED ALONG WITH LOT A AND LOT C TO FORM VILLA DEL PRATO. EACH LOT IS TO BE SUBMITTED AND APPROVED INDIVIDUALLY AS A SINGLE FAMILY RESIDENCE. LOT B IS BEING SUBMITTED SEPARATELY AS A SINGLE FAMILY RESIDENCE. LOT B WILL FUNCTION AS THE MAIN HOUSE FOR THE COMBINED PROJECT.

LOT A SCOPE OF WORK WILL INCLUDE:  
 THE REMOVAL OF ALL EXISTING STRUCTURES AND SITE WORK.  
 THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.  
 THE CONSTRUCTION OF A DETACHED GARAGE.  
 NEW LANDSCAPING.

**AREA MAP**



**VICINITY MAP**



**RECEIVED**  
 NOV 10 2016  
 TOWN OF PORTOLA VALLEY

**PROJECT DATA - LOT B**

**OWNER:** Paula and Bandal Carano Living Trust  
**ADDRESS:** 525 University Avenue, Suite 1300  
 Palo Alto, CA 94301  
**ZONING:** R-E 2.5A  
**ASSESSOR'S PARCEL #:** 077-050-200  
**USE AND OCCUPANCY:** R-3/U  
**PARCEL ID:** 4005485  
**TYPE OF CONSTRUCTION:** VB  
**HOA:** NO

**LOT B SIZE, GROSS:** 190,269 SQ. FT. (4.37 ACRES)  
**LOT B SIZE, NET:** 176,546 SQ. FT. (4.05 ACRES)  
 (SEE CIVIL DRAWING SHEET C-2.1 FOR PARCEL DIMENSIONS)

**MINIMUM SETBACKS (PER SEC 18.48.010):**  
 FRONT 50 FEET  
 SIDE 20 FEET  
 REAR 20 FEET  
**HEIGHT LIMIT (MAX):** 28 FEET

**SHEET INDEX - LOT B**

A1.0	COVER SHEET
A1.1	BUILD IT GREEN CHECKLIST
LB.1	LOT B OVERALL SITE PLAN
LB.1.1	LOT B EXISTING STRUCTURES STATUS PLAN
LB.2	LOT B SITE PLAN
LB.3	LOT B IMPERVIOUS SURFACE PLAN
LB.4	LOT B EXTERIOR LIGHTING SPECIFICATIONS
LB.5	LOT B CONCEPTUAL PLANTING PLAN
LB.6	LOT B TREE STATUS PLAN
LB.7	LOT B TREE SURVEY INDEX
LB.8	LOT B TREE SURVEY INDEX
A2.0	MAIN HOUSE MECHANICAL EQUIPMENT
A2.0A	LOT B AREA CALCULATIONS
A2.1	MAIN HOUSE MAIN LEVEL PLAN
A2.2	MAIN HOUSE BASEMENT LEVEL PLAN
A2.3	MAIN HOUSE ROOF PLAN
A4.1	MAIN HOUSE EXTERIOR ELEVATIONS
C-1.0	CONTROL SYSTEM SPEC SHEETS
C-2.0	ASCC TITLE SHEET
C-2.1	ASCC OVERALL SITE PLAN
C-2.2	ASCC GRADING AND DRAINAGE PLAN
ER-1	ASCC EROSION CONTROL PLAN
ER-2	ASCC EROSION CONTROL DETAILS
1	TOPOGRAPHIC SURVEY
2	ASCC EARTHWORKS EXHIBIT LOT B
EX-1	CONSTRUCTION STAGING TITLE SHEET
EX-2	CONSTRUCTION STAGING DEMOLITION PLAN
EX-3	CONSTRUCTION STAGING DEMOLITION PLAN
EX-4	CONSTRUCTION STAGING PLAN
EX-5	CONSTRUCTION STAGING PLAN
ER-1	CONSTRUCTION STAGING EROSION CONTROL PLAN
ER-2	CONSTRUCTION STAGING EROSION CONTROL DETAILS

**PROJECT SQUARE FOOTAGE - LOT B**

PROPOSED SQUARE FOOTAGE BREAKDOWN:

LOT B	PROPOSED SQ. FT.	PREV. PROPOSED SQ. FT.
RESIDENCE (MAIN HOUSE)	6,150	6,553
BASEMENT (MAIN HOUSE)	6,144	6,175
GARAGE	969	969
SECOND UNIT	0	0
TOTAL	13,263	13,697

PROPOSED PROJECT COVERAGE TABLE:

LOT B	ALLOWED SQ. FT.	PROPOSED SQ. FT.	PREV. PROPOSED SQ. FT.
AMFA (ADJUSTED MAX FLOOR AREA)	7,714	7,119 (6150 +969)	7,522
85%	6,557	6,550* (6150 +400)	6,953
AMIS (ADJUSTED MAX IMPERVIOUS SURFACE)	14,042	13,431	12,355

\*INCLUDES 400 SQ. FT. FOR REQUIRED DETACHED GARAGE

**PROJECT TEAM**

**ARCHITECT:** ANDREW SKURMAN ARCHITECTS  
 3654 SACRAMENTO STREET  
 SAN FRANCISCO, CA 94118  
 PHONE: 415.440.4480  
 FAX: 415.440.4488  
 CONTACT: ANDREW SKURMAN  
 EMAIL: ANDREW@SKURMAN.COM  
 CONTACT: SUZETTE SMITH  
 EMAIL: SUZETTE@SKURMAN.COM

**LANDSCAPE ARCHITECT:** THOMAS KLOPE ASSOCIATES, INC.  
 5150 EL CAMINO REAL  
 BUILDING B, SUITE 20  
 LOS ALTOS, CA 94022  
 PHONE: 650.691.1000  
 CONTACT: THOMAS KLOPE  
 EMAIL: TOM@KLOPE.COM  
 CONTACT: PETER MURRAY  
 EMAIL: PETER@KLOPE.COM

**CIVIL ENGINEER:** LEA & BRAZE ENGINEERING, INC.  
 2495 INDUSTRIAL PARKWAY WEST  
 HAYWARD, CA 94545  
 OFFICE: 510.887.4085  
 CONTACT: JIM TOBY  
 EMAIL: JTBY@LEABRAZE.COM  
 CONTACT: ALEX KWOK  
 EMAIL: ALEX@LEABRAZE.COM

**Villa Del Prato - LOT B**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CA 94028

NOT FOR CONSTRUCTION

Andrew Skurman Architects



3654 Sacramento Street  
 San Francisco, CA 94118  
 Tel: (415) 440-4480  
 Fax: (415) 440-4488

LOT B PROJECT INFORMATION

Sheet No. **A1.0**  
 Date: 9/20/2016

SEPT. 26, 2016 / ASCC SUBMITTAL  
 OCT. 11, 2016 / ASCC SUBMITTAL  
 NOV. 10, 2016 / ASCC SUBMITTAL







**THOMAS  
KLOPE  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

1100 SILVERADO RAIL  
BUILDING SUITE 1100  
10000 N. CENTRAL  
EXP. SUITE 1100  
DALLAS, TEXAS 75243  
TEL: 972.951.1000  
FAX: 972.951.1004  
CALIFORNIA: 916.438.3330

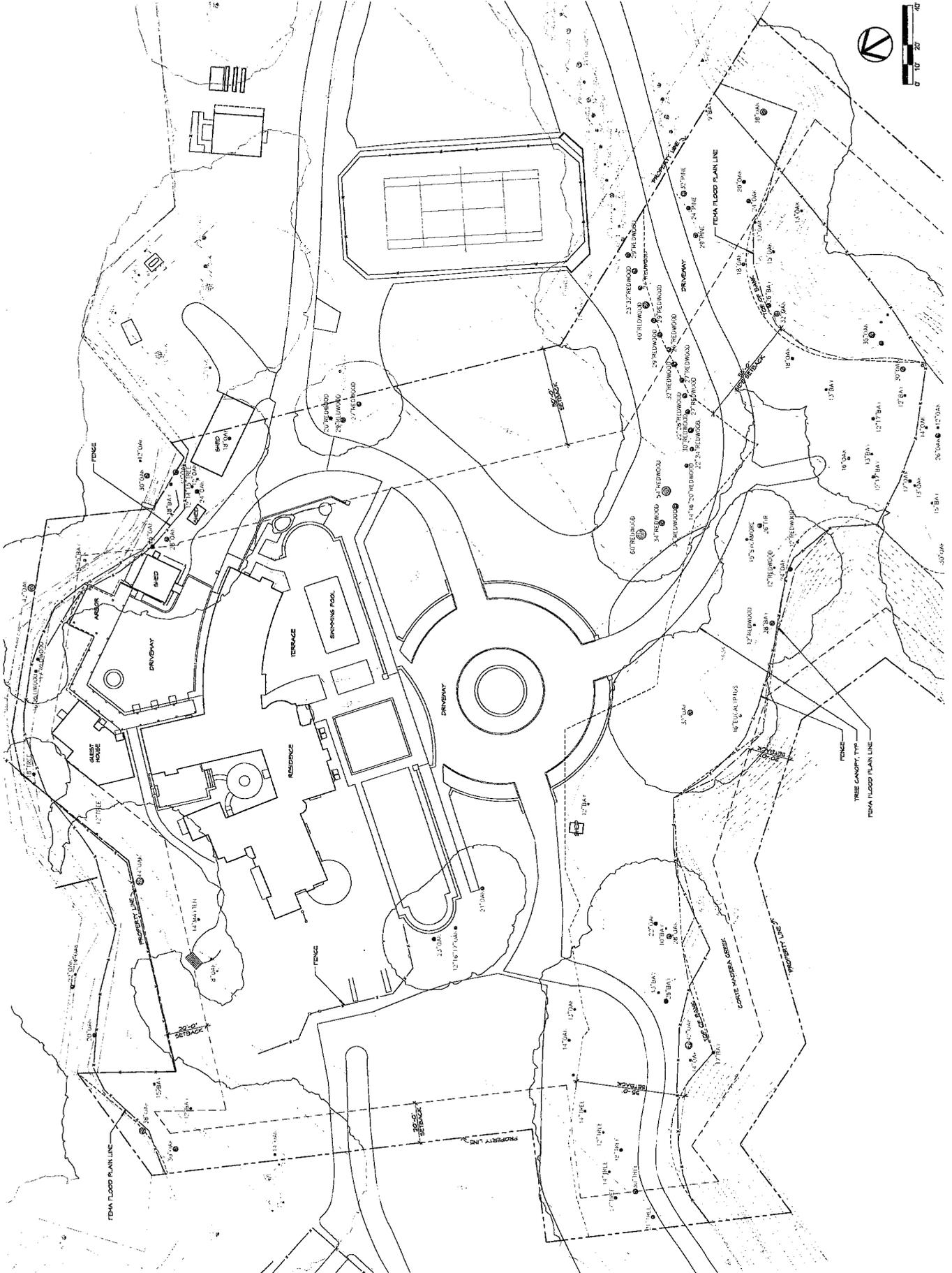
**VILLA DEL  
PRATO**  
10000 SILVERADO DRIVE  
PORTOLA VALLEY,  
CALIFORNIA

DATE: REVISION:

**LOT B  
EXISTING  
STRUCTURES  
STATUS PLAN**

DATE: 11/18/10  
DRAWN: PH/OM  
CHECKED: TK/PM  
SCALE: 1" = 20.0'

**LB.1.1**









**VILLA DEL PRATO**  
 1111 S. AVENUE 111, BUILDING NUMBER 23  
 LOS ANGELES, CA 90045  
 P: 310.491.1114  
 F: 310.491.1114  
 WWW.TKASOCIATES.COM  
 CALIFORNIA REG. # 9333

**LOT B  
 EXTERIOR  
 LIGHTING PLAN**

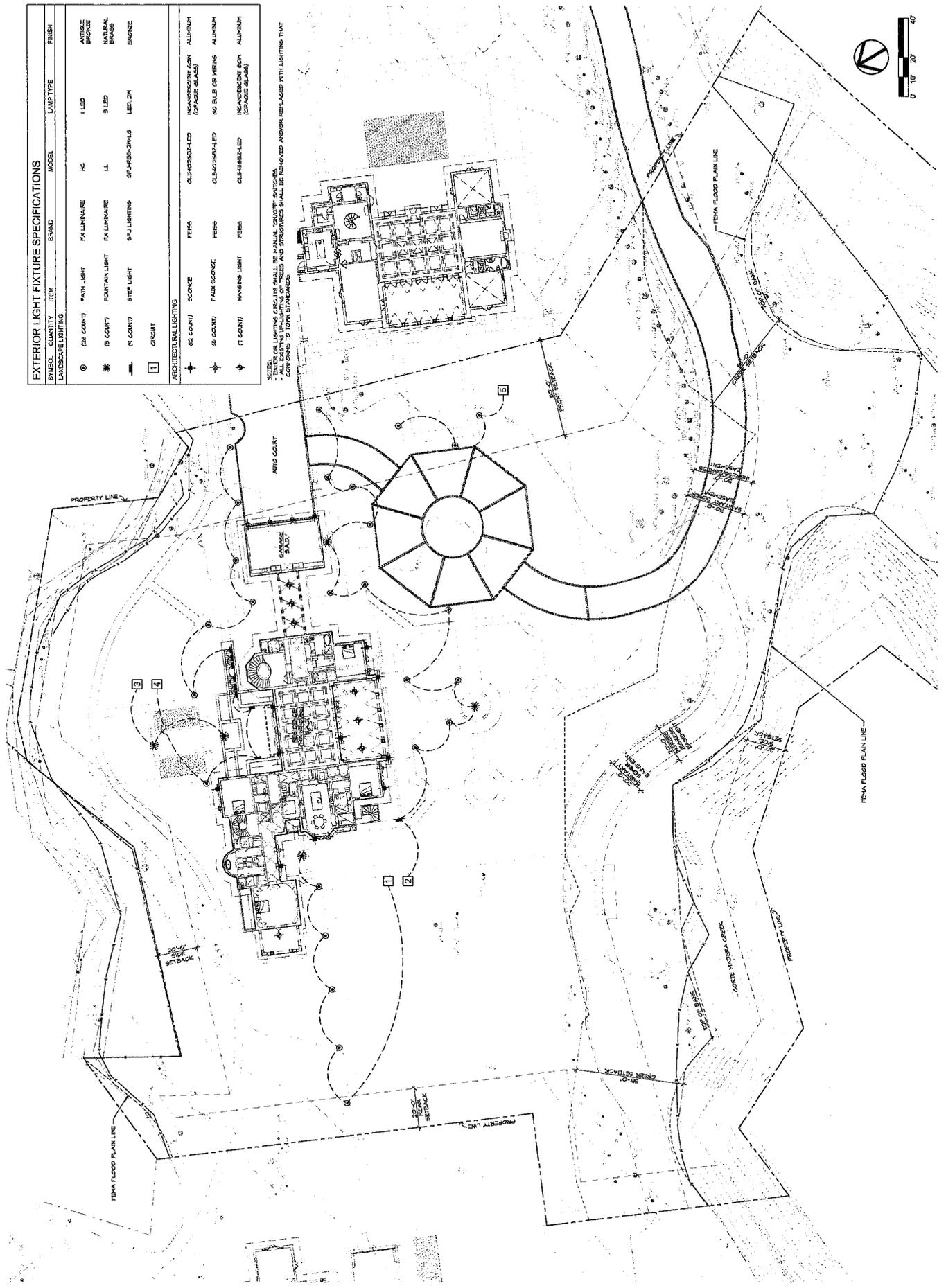
DATE: 11/07/18  
 DRAWN: RM RM  
 CHECKED: TK PM  
 SCALE: 1" = 20'-0"

**LB.4**

**EXTERIOR LIGHT FIXTURE SPECIFICATIONS**

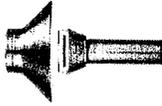
SYMBOL	QUANTITY	ITEM	BRAND	MODEL	LAMP TYPE	FINISH	
<b>LANDSCAPE LIGHTING</b>							
⊙	(28 COUNT)	PATH LIGHT	TK LANDSCAPE	LC	1 LED	ANTIQUE BRONZE	
⊙	(8 COUNT)	FOUNTAIN LIGHT	TK LANDSCAPE	LL	9 LED	NATURAL BRASS	
⊙	(1 COUNT)	STEP LIGHT	SPL LIGHTING	SPL-4800-24-LS	LED 2IN	BRONZE	
1		<b>CIRCUIT</b>					
<b>ARCHITECTURAL LIGHTING</b>							
+	(8 COUNT)	SCULPTURE	FEISS	CL-402682-LED	INCANDESCENT 60W	ALUMINUM (OPPOSITE SIDE)	
+	(8 COUNT)	FAUX SCULPTURE	FEISS	CL-402682-LED	NO BULB OR WIRING	ALUMINUM	
+	(1 COUNT)	MANSION LIGHT	FEISS	CL-448824-LED	INCANDESCENT 60W	ALUMINUM (OPPOSITE GLASS)	

**NOTES:**  
 - ALL EXISTING LIGHTING FIXTURES SHALL BE MANUAL, QUANTITY: 20/24/28/32/36/40/44/48/52/56/60/64/68/72/76/80/84/88/92/96/100/104/108/112/116/120/124/128/132/136/140/144/148/152/156/160/164/168/172/176/180/184/188/192/196/200/204/208/212/216/220/224/228/232/236/240/244/248/252/256/260/264/268/272/276/280/284/288/292/296/300/304/308/312/316/320/324/328/332/336/340/344/348/352/356/360/364/368/372/376/380/384/388/392/396/400/404/408/412/416/420/424/428/432/436/440/444/448/452/456/460/464/468/472/476/480/484/488/492/496/500/504/508/512/516/520/524/528/532/536/540/544/548/552/556/560/564/568/572/576/580/584/588/592/596/600/604/608/612/616/620/624/628/632/636/640/644/648/652/656/660/664/668/672/676/680/684/688/692/696/700/704/708/712/716/720/724/728/732/736/740/744/748/752/756/760/764/768/772/776/780/784/788/792/796/800/804/808/812/816/820/824/828/832/836/840/844/848/852/856/860/864/868/872/876/880/884/888/892/896/900/904/908/912/916/920/924/928/932/936/940/944/948/952/956/960/964/968/972/976/980/984/988/992/996/1000  
 - ALL EXISTING SIGNAGE OF TREES AND STRUCTURES SHALL BE REMOVED AND/OR REPLACED WITH LIGHTING THAT CONFORMS TO TOWN STANDARDS.



**EXLUMBAR®**  
LED Path Lights

These lights are perfect for providing illumination in walkways, patios, and other areas where you need a soft, steady glow. The built-in rechargeable battery allows you to use them in areas where there is no power.



**HC: Path Light**

Number of LED: 1  
 Maximum Voltage: 120V AC  
 Minimum Voltage: 120V AC  
 Power: 1.5W  
 Dimensions: 1.5" x 1.5" x 1.5"

Features:  
 • Rechargeable battery  
 • Weather-resistant  
 • Easy to install  
 • No wiring required

Materials:  
 • Polycarbonate  
 • Aluminum  
 • Steel

Finish:  
 • White  
 • Black  
 • Bronze

Weight:  
 • 0.1 lbs

Shipping Weight:  
 • 0.2 lbs

Country of Origin:  
 • China

Warranty:  
 • 1 Year

Notes:  
 • See installation instructions for details.  
 • Do not touch the lens when the light is hot.  
 • Do not use in areas with high humidity or salt air.

**PATH LIGHT**

**EXLUMBAR®**  
LED Underwater Lights

These lights are perfect for providing illumination in pools, spas, and other areas where you need a soft, steady glow. The built-in rechargeable battery allows you to use them in areas where there is no power.



**LL: Underwater Light**

Number of LED: 1  
 Maximum Voltage: 120V AC  
 Minimum Voltage: 120V AC  
 Power: 1.5W  
 Dimensions: 1.5" x 1.5" x 1.5"

Features:  
 • Rechargeable battery  
 • Weather-resistant  
 • Easy to install  
 • No wiring required

Materials:  
 • Polycarbonate  
 • Aluminum  
 • Steel

Finish:  
 • White  
 • Black  
 • Bronze

Weight:  
 • 0.1 lbs

Shipping Weight:  
 • 0.2 lbs

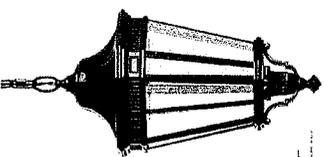
Country of Origin:  
 • China

Warranty:  
 • 1 Year

Notes:  
 • See installation instructions for details.  
 • Do not touch the lens when the light is hot.  
 • Do not use in areas with high humidity or salt air.

**FOUNTAIN LIGHT**

**FEISS**  
CLASSIC LED 1-LIGHT LED PENDANT



Number of LED: 1  
 Maximum Voltage: 120V AC  
 Minimum Voltage: 120V AC  
 Power: 1.5W  
 Dimensions: 1.5" x 1.5" x 1.5"

Features:  
 • Rechargeable battery  
 • Weather-resistant  
 • Easy to install  
 • No wiring required

Materials:  
 • Polycarbonate  
 • Aluminum  
 • Steel

Finish:  
 • White  
 • Black  
 • Bronze

Weight:  
 • 0.1 lbs

Shipping Weight:  
 • 0.2 lbs

Country of Origin:  
 • China

Warranty:  
 • 1 Year

Notes:  
 • See installation instructions for details.  
 • Do not touch the lens when the light is hot.  
 • Do not use in areas with high humidity or salt air.

**HANGING LIGHT**

**Forever Bright**  
LED Underwater Lights



Number of LED: 1  
 Maximum Voltage: 120V AC  
 Minimum Voltage: 120V AC  
 Power: 1.5W  
 Dimensions: 1.5" x 1.5" x 1.5"

Features:  
 • Rechargeable battery  
 • Weather-resistant  
 • Easy to install  
 • No wiring required

Materials:  
 • Polycarbonate  
 • Aluminum  
 • Steel

Finish:  
 • White  
 • Black  
 • Bronze

Weight:  
 • 0.1 lbs

Shipping Weight:  
 • 0.2 lbs

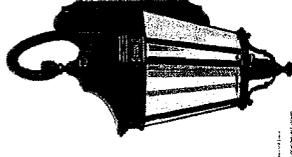
Country of Origin:  
 • China

Warranty:  
 • 1 Year

Notes:  
 • See installation instructions for details.  
 • Do not touch the lens when the light is hot.  
 • Do not use in areas with high humidity or salt air.

**STEP LIGHT**

**FEISS**  
CLASSIC LED 1-LIGHT LED PENDANT



Number of LED: 1  
 Maximum Voltage: 120V AC  
 Minimum Voltage: 120V AC  
 Power: 1.5W  
 Dimensions: 1.5" x 1.5" x 1.5"

Features:  
 • Rechargeable battery  
 • Weather-resistant  
 • Easy to install  
 • No wiring required

Materials:  
 • Polycarbonate  
 • Aluminum  
 • Steel

Finish:  
 • White  
 • Black  
 • Bronze

Weight:  
 • 0.1 lbs

Shipping Weight:  
 • 0.2 lbs

Country of Origin:  
 • China

Warranty:  
 • 1 Year

Notes:  
 • See installation instructions for details.  
 • Do not touch the lens when the light is hot.  
 • Do not use in areas with high humidity or salt air.

**SCONCE**

**THOMAS KLOPE ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

1200 VESTRIDGE DRIVE  
LOS ANGELES, CA 90021  
TEL: 310.441.1888  
WWW.TKASOCIATES.COM

**VILLA DEL PRATO**  
1200 VESTRIDGE DRIVE  
LOS ANGELES, CALIFORNIA

**LOT B EXTERIOR LIGHTING SPECIFICATIONS**

DATE: 11/01/16  
 DRAWN: PM/RI  
 CHECKED: TK/PM  
 SCALE:

**LB.5**

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_



**THOMAS  
KLOPE  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

1510 16<sup>TH</sup> AVENUE, SUITE 100  
LOS ANGELES, CA 90044  
TEL: 310.441.1811  
FAX: 310.441.1812  
WWW.TKASSOCIATES.COM

CALIFORNIA: S.B. 678 1/23/01

**VILLA DEL PRATO**  
PORTOLA DRIVE  
PORTOLA VALLE, CA  
CALIFORNIA

**LOT B  
CONCEPTUAL  
PLANTING PLAN**

DATE: 11/09/18  
DRAWN: PH, OM  
CHECKED: TK, PM  
SCALE: 1" = 20'-0"

**LB.6**

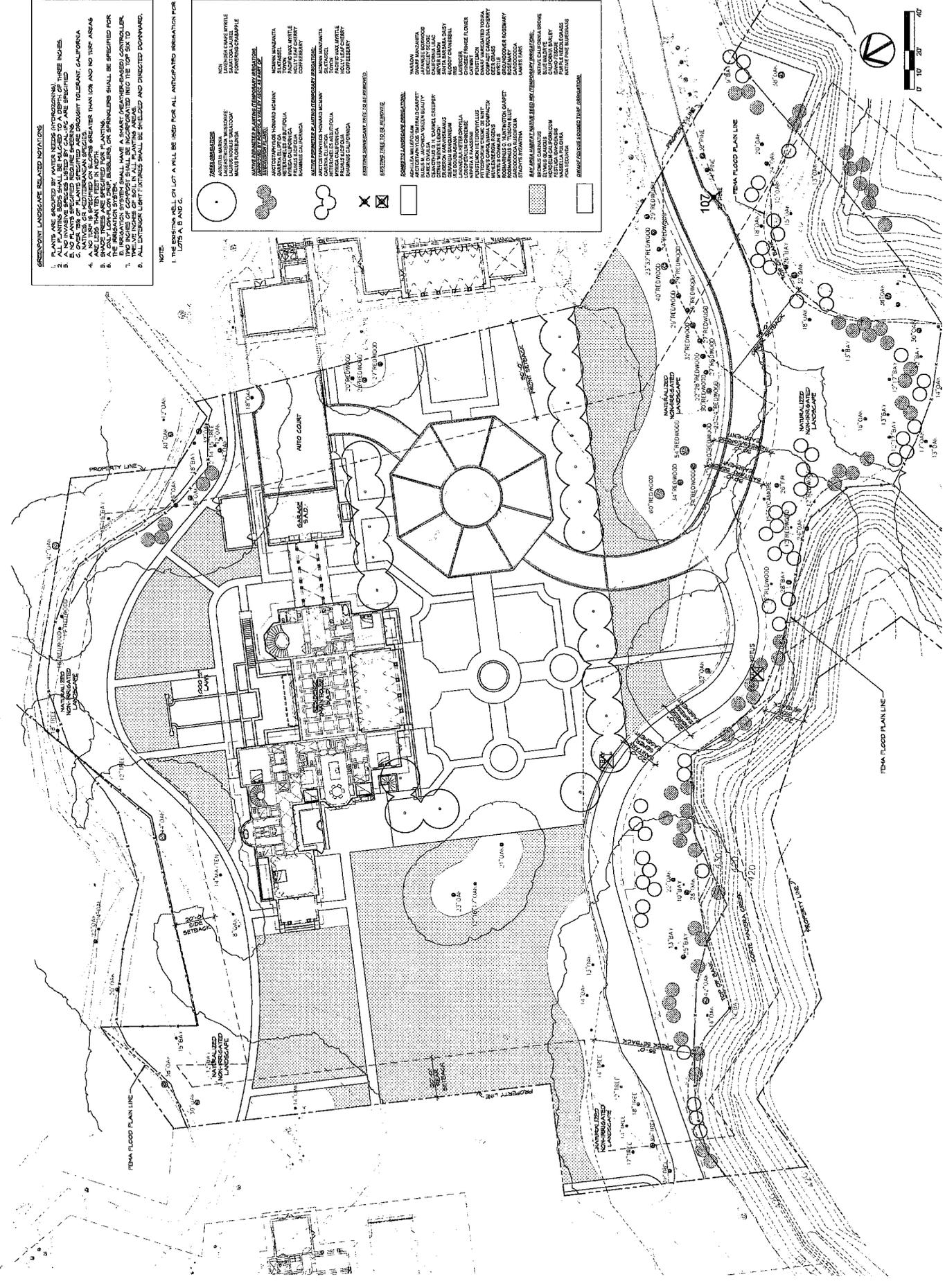
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_

- GENERAL LANDSCAPE RELATED NOTATIONS**
- PLANTS ARE SPECIFIED BY PLANT NAME (COMMON NAME), PLANT SIZE (IN PARENTHESES), AND PLANTING METHOD (BY CALIFORNIA OR OTHERWISE SPECIFIED).
  - ALL PLANTS ARE TO BE PLANTED IN THE SPECIFIED PLANTING METHOD.
  - ALL PLANTS ARE TO BE PLANTED IN THE SPECIFIED PLANTING METHOD.
  - ALL PLANTS ARE TO BE PLANTED IN THE SPECIFIED PLANTING METHOD.
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  - ALL PLANTS ARE TO BE PLANTED IN THE SPECIFIED PLANTING METHOD.
  - ALL PLANTS ARE TO BE PLANTED IN THE SPECIFIED PLANTING METHOD.

**NOTE:**  
1. THE EXISTING WELL ON LOT A WILL BE USED FOR ALL ANTICIPATED IRRIGATION FOR LOTS A, B AND C.

**PLANTING LEGEND**

	12' REDWOOD
	18' REDWOOD
	24' REDWOOD
	30' REDWOOD
	36' REDWOOD
	42' REDWOOD
	48' REDWOOD
	54' REDWOOD
	60' REDWOOD
	66' REDWOOD
	72' REDWOOD
	78' REDWOOD
	84' REDWOOD
	90' REDWOOD
	96' REDWOOD
	102' REDWOOD
	108' REDWOOD
	114' REDWOOD
	120' REDWOOD
	126' REDWOOD
	132' REDWOOD
	138' REDWOOD
	144' REDWOOD
	150' REDWOOD
	156' REDWOOD
	162' REDWOOD
	168' REDWOOD
	174' REDWOOD
	180' REDWOOD
	186' REDWOOD
	192' REDWOOD
	198' REDWOOD
	204' REDWOOD
	210' REDWOOD
	216' REDWOOD
	222' REDWOOD
	228' REDWOOD
	234' REDWOOD
	240' REDWOOD
	246' REDWOOD
	252' REDWOOD
	258' REDWOOD
	264' REDWOOD
	270' REDWOOD
	276' REDWOOD
	282' REDWOOD
	288' REDWOOD
	294' REDWOOD
	300' REDWOOD
	306' REDWOOD
	312' REDWOOD
	318' REDWOOD
	324' REDWOOD
	330' REDWOOD
	336' REDWOOD
	342' REDWOOD
	348' REDWOOD
	354' REDWOOD
	360' REDWOOD
	366' REDWOOD
	372' REDWOOD
	378' REDWOOD
	384' REDWOOD
	390' REDWOOD
	396' REDWOOD
	402' REDWOOD
	408' REDWOOD
	414' REDWOOD
	420' REDWOOD
	426' REDWOOD
	432' REDWOOD
	438' REDWOOD
	444' REDWOOD
	450' REDWOOD
	456' REDWOOD
	462' REDWOOD
	468' REDWOOD
	474' REDWOOD
	480' REDWOOD
	486' REDWOOD
	492' REDWOOD
	498' REDWOOD
	504' REDWOOD
	510' REDWOOD
	516' REDWOOD
	522' REDWOOD
	528' REDWOOD
	534' REDWOOD
	540' REDWOOD
	546' REDWOOD
	552' REDWOOD
	558' REDWOOD
	564' REDWOOD
	570' REDWOOD
	576' REDWOOD
	582' REDWOOD
	588' REDWOOD
	594' REDWOOD
	600' REDWOOD
	606' REDWOOD
	612' REDWOOD
	618' REDWOOD
	624' REDWOOD
	630' REDWOOD
	636' REDWOOD
	642' REDWOOD
	648' REDWOOD
	654' REDWOOD
	660' REDWOOD
	666' REDWOOD
	672' REDWOOD
	678' REDWOOD
	684' REDWOOD
	690' REDWOOD
	696' REDWOOD
	702' REDWOOD
	708' REDWOOD
	714' REDWOOD
	720' REDWOOD
	726' REDWOOD
	732' REDWOOD
	738' REDWOOD
	744' REDWOOD
	750' REDWOOD
	756' REDWOOD
	762' REDWOOD
	768' REDWOOD
	774' REDWOOD
	780' REDWOOD
	786' REDWOOD
	792' REDWOOD
	798' REDWOOD
	804' REDWOOD
	810' REDWOOD
	816' REDWOOD
	822' REDWOOD
	828' REDWOOD
	834' REDWOOD
	840' REDWOOD
	846' REDWOOD
	852' REDWOOD
	858' REDWOOD
	864' REDWOOD
	870' REDWOOD
	876' REDWOOD
	882' REDWOOD
	888' REDWOOD
	894' REDWOOD
	900' REDWOOD
	906' REDWOOD
	912' REDWOOD
	918' REDWOOD
	924' REDWOOD
	930' REDWOOD
	936' REDWOOD
	942' REDWOOD
	948' REDWOOD
	954' REDWOOD
	960' REDWOOD
	966' REDWOOD
	972' REDWOOD
	978' REDWOOD
	984' REDWOOD
	990' REDWOOD
	996' REDWOOD
	1002' REDWOOD
	1008' REDWOOD
	1014' REDWOOD
	1020' REDWOOD
	1026' REDWOOD
	1032' REDWOOD
	1038' REDWOOD
	1044' REDWOOD
	1050' REDWOOD
	1056' REDWOOD
	1062' REDWOOD
	1068' REDWOOD
	1074' REDWOOD
	1080' REDWOOD
	1086' REDWOOD
	1092' REDWOOD
	1098' REDWOOD
	1104' REDWOOD
	1110' REDWOOD
	1116' REDWOOD
	1122' REDWOOD
	1128' REDWOOD
	1134' REDWOOD
	1140' REDWOOD
	1146' REDWOOD
	1152' REDWOOD
	1158' REDWOOD
	1164' REDWOOD
	1170' REDWOOD
	1176' REDWOOD
	1182' REDWOOD
	1188' REDWOOD
	1194' REDWOOD
	1200' REDWOOD
	1206' REDWOOD
	1212' REDWOOD
	1218' REDWOOD
	1224' REDWOOD
	1230' REDWOOD
	1236' REDWOOD
	1242' REDWOOD
	1248' REDWOOD
	1254' REDWOOD
	1260' REDWOOD
	1266' REDWOOD
	1272' REDWOOD
	1278' REDWOOD
	1284' REDWOOD
	1290' REDWOOD
	1296' REDWOOD
	1302' REDWOOD
	1308' REDWOOD
	1314' REDWOOD
	1320' REDWOOD
	1326' REDWOOD
	1332' REDWOOD
	1338' REDWOOD
	1344' REDWOOD
	1350' REDWOOD
	1356' REDWOOD
	1362' REDWOOD
	1368' REDWOOD
	1374' REDWOOD
	1380' REDWOOD
	1386' REDWOOD
	1392' REDWOOD
	1398' REDWOOD
	1404' REDWOOD
	1410' REDWOOD
	1416' REDWOOD
	1422' REDWOOD
	1428' REDWOOD
	1434' REDWOOD
	1440' REDWOOD
	1446' REDWOOD
	1452' REDWOOD
	1458' REDWOOD
	1464' REDWOOD
	1470' REDWOOD
	1476' REDWOOD
	1482' REDWOOD
	1488' REDWOOD
	1494' REDWOOD
	1500' REDWOOD





**THOMAS  
KLOPE  
ASSOCIATES, INC.**  
LANDSCAPING ARCHITECTS

1318 EL CAMINO REAL  
BUILDING 20, SUITE 200  
SAN ANTONIO, TEXAS 78208  
TEL: 214.591.1888  
WWW.TKASSOCIATES.COM  
CALIFORNIA REG. # 2147

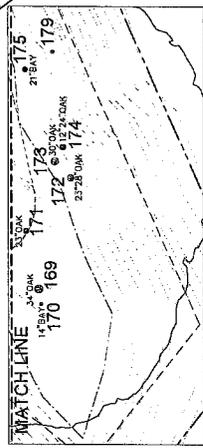
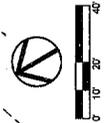
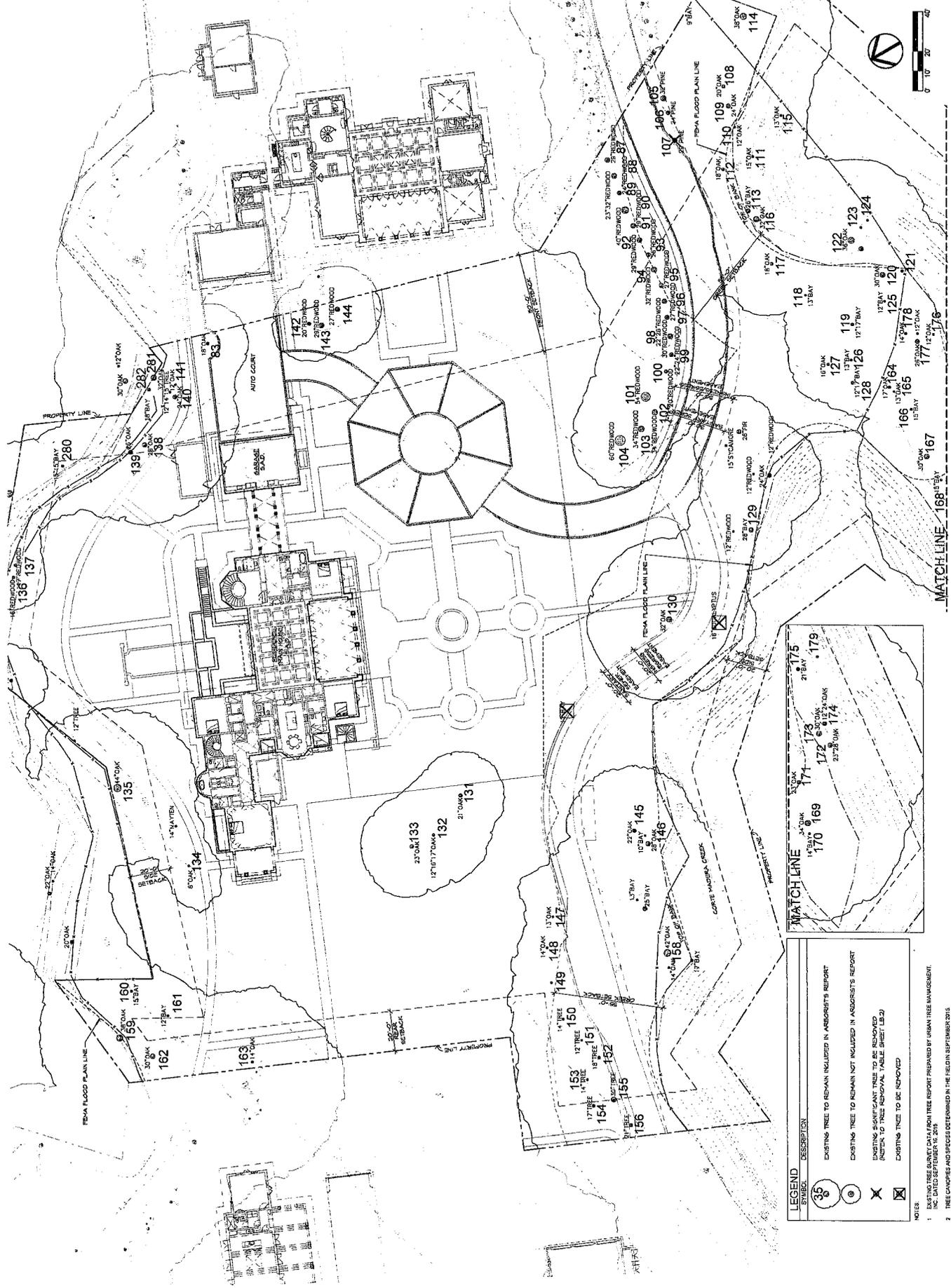
**VILLA DEL  
PRATO**  
1200 MERRIFIELD DRIVE  
PORTOLA VALLEY,  
CALIFORNIA

DATE: REVISION:

**LOT B  
TREE STATUS  
PLAN**

DATE: 11/08/18  
DRAWN: PJI/KM  
CHECKED: TK/PK  
SCALE: 1" = 20'

**LB.7**



SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN INCLUDED IN ARBORIST'S REPORT
	EXISTING TREE TO REMAIN NOT INCLUDED IN ARBORIST'S REPORT
	EXISTING SIGNIFICANT TREE TO BE REMOVED (REFER TO TREE REMOVAL LABEL SHEET LB.2)
	EXISTING TREE TO BE REMOVED

**NOTES:**  
 1. EXISTING TREE SURVEY DATA FROM TREE REPORT PREPARED BY GUYAN TREE MANAGEMENT, INC. DATED SEPTEMBER 16, 2015.  
 2. TREE CANOPIES AND SPECIES DETERMINED IN THE FIELD IN SEPTEMBER 2015.





SHEET NO. 2016 - ASSC SUBMITTAL  
 SET 12. 2016 - ASSC SUBMITTAL  
 NOT TO SCALE - ASSC SUBMITTAL

**Villa Del Prado - LOT B**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CA 94028

NOT FOR  
 CONSTRUCTION

Andrew Skurman  
 Architects



3654 Sacramento Street  
 San Francisco, CA 94118  
 Tel (415) 440-4480  
 Fax (415) 440-4488

Sheet Title

LOT B  
 AREA  
 CALCULATIONS

Project No.

Sheet No.

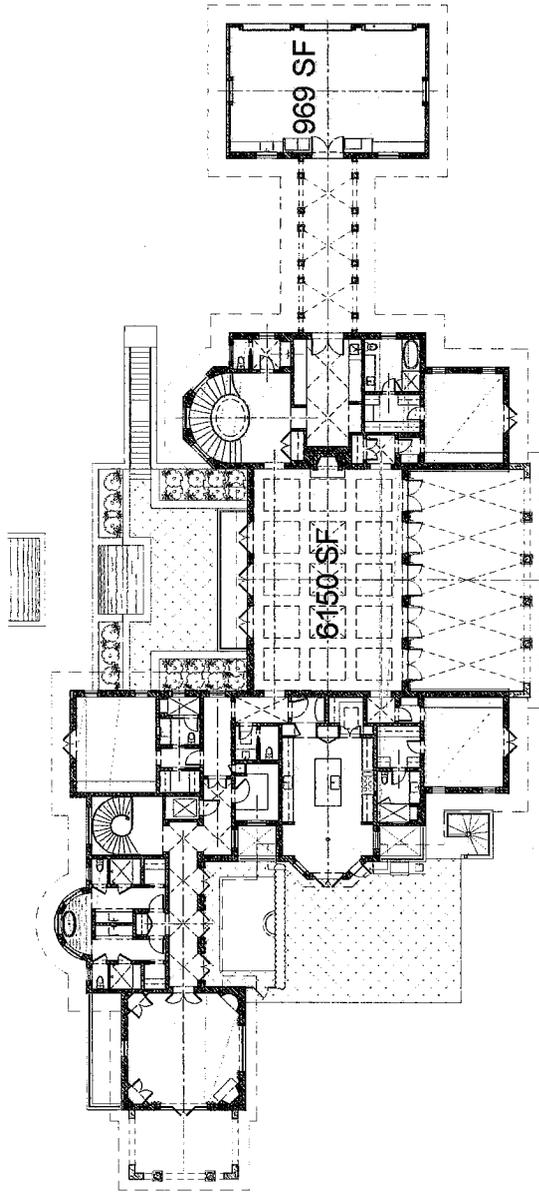
Scale

AS NOTED

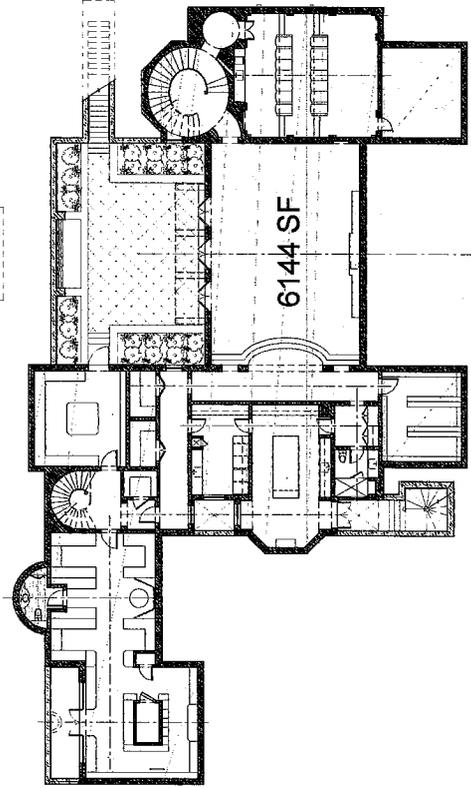
Date

9/24/2016

**A2.0A**



2 RESIDENCE (MH) MAIN LEVEL ENCLOSED AREA  
 (A2.0A) SCALE: 3/32" = 1'-0"



1 RESIDENCE (MH) BASEMENT LEVEL ENCLOSED AREA  
 (A2.0A) SCALE: 3/32" = 1'-0"

PROJECT  
 NORTH  
 N

















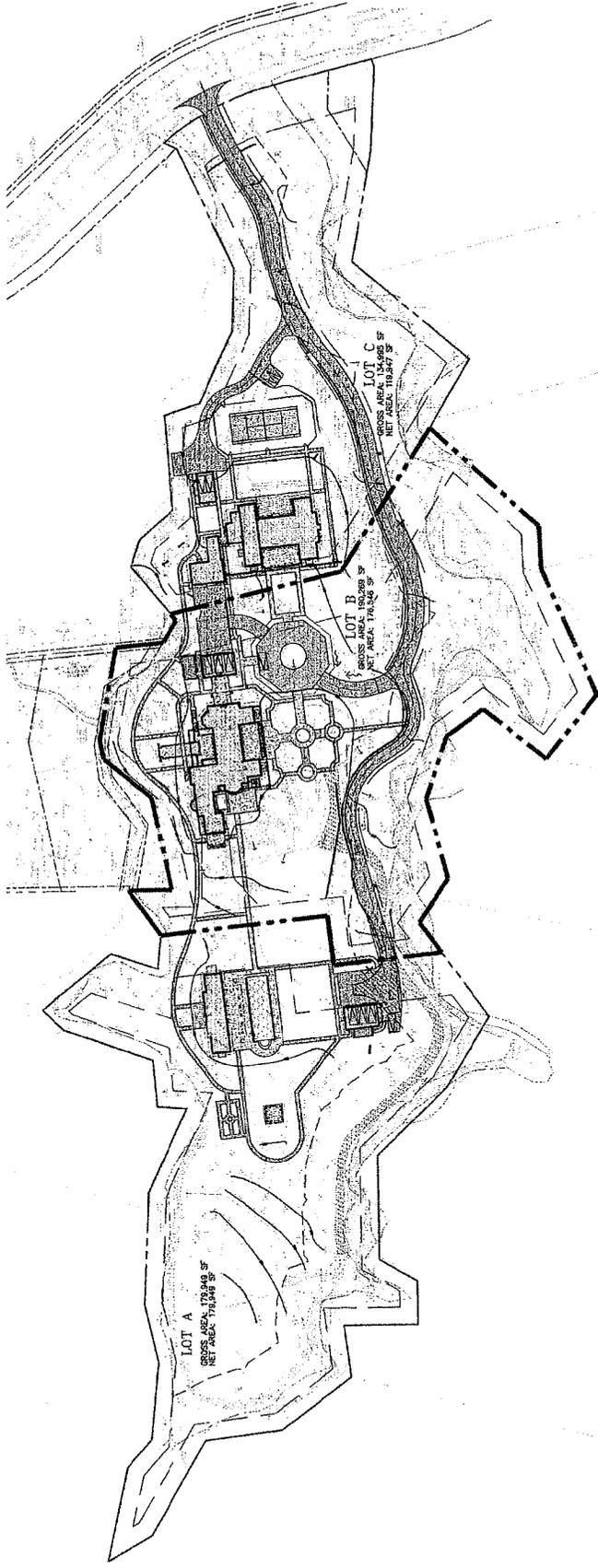
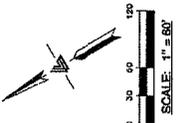
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 2455 AREA RESERVE  
 2017 BUCKLEY BLVD. # 300  
 HUNTERSBURG, CALIFORNIA 95030  
 (916) 987-3818  
 (916) 987-1338  
 WWW.LEABRAZE.COM

**LOT B RESIDENCE**  
 VILLA DEL PRATO  
 (MAIN HOUSE)  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 077-050-204

**"A.S.C.C."  
 OVERALL SITE PLAN**

DATE	11.10.15
JOB NO.	2140027
REVISIONS	B*
SCALE	1"=60'
DRAWN BY	JAN
CHECKED BY	ALL
SHEET NO.	

**C-2-0**  
 7 OF 5 SHEETS





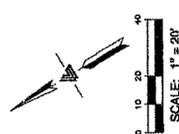
LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS  
2005 NORTHLINE AVENUE WEST  
SUNNYVALE, CA 95088  
TEL: (925) 891-1338  
FAX: (925) 891-1353  
WWW.LEA-BRAZE.COM

LOT B RESIDENCE  
(MAIN HOUSE)  
VILLA DEL PRATO  
PORTOLA VALLEY, CALIFORNIA  
SAN MATEO COUNTY  
APN: 077-000-205

# GRADING & DRAINAGE PLAN "A.S.C.C."

DATE	11.10.11
SCALE	1"=20'
DRAWN BY	AM
CHECKED BY	ATL
SHEET NO.	12-B
DATE	11.10.11
SCALE	1"=20'
DRAWN BY	AM
CHECKED BY	ATL

C-21  
3 OF 5 SHEETS





**LEA & GRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS  
 SACRAMENTO REGION  
 3077 GROSSLECK BLVD., #100  
 SACRAMENTO, CA 95833  
 (916) 887-1068  
 (916) 887-1069  
 (916) 887-1068  
 WWW.LEAENGINEERING.COM

**LOT B RESIDENCE  
 (MAIN HOUSE)  
 VILLA DEL PRATO  
 PORTOLA VALLEY, CALIFORNIA**  
 SAN MATEO COUNTY  
 MAP: 077-005-208  
 (7) (11) (18) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)

**"A.S.C.C." EROSION CONTROL PLAN**

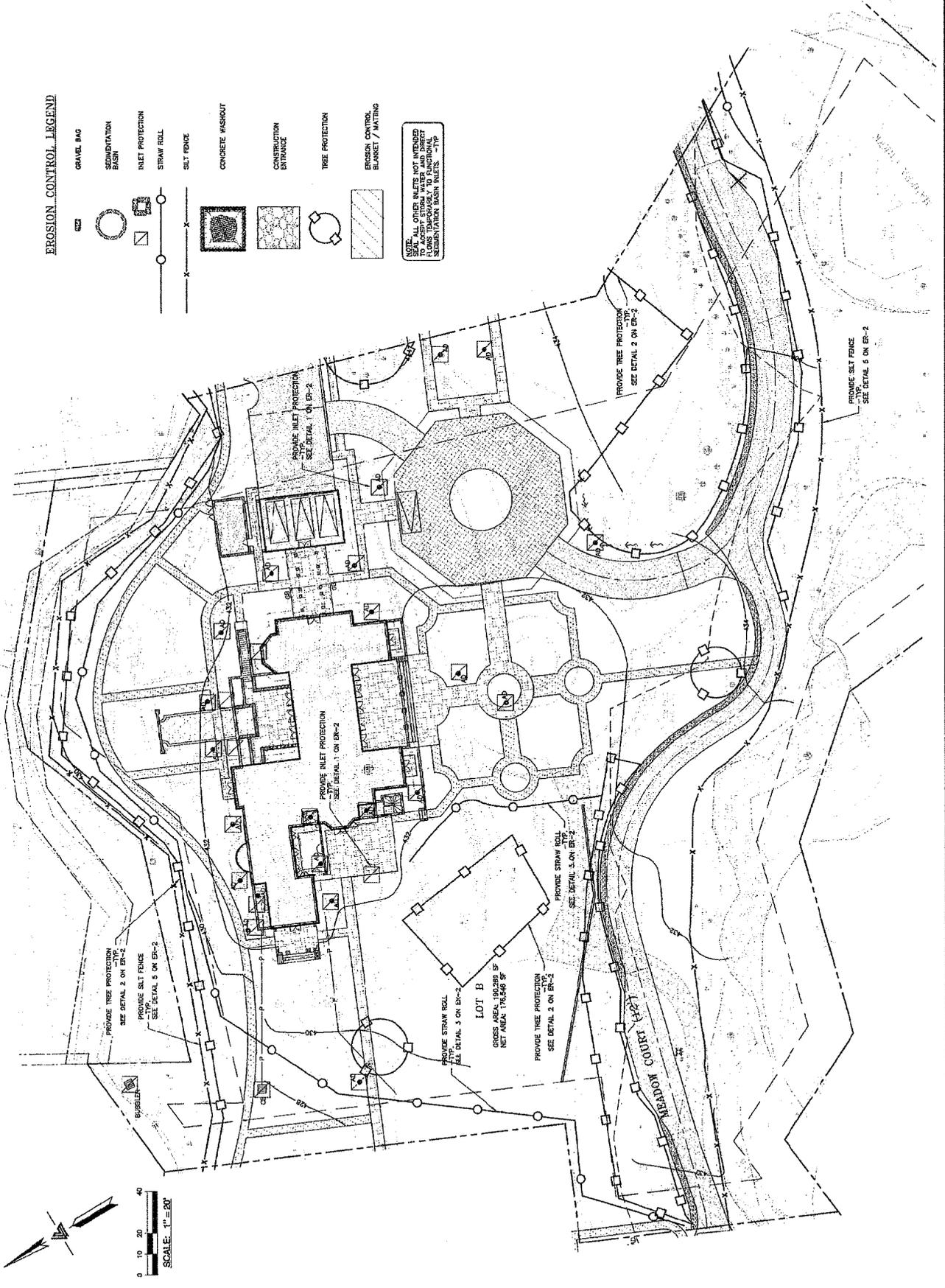
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SCALE:	1"=20'
DRAWN BY:	AK
CHECKED BY:	ATL
SHEET NO.:	ER-1

4 OF 5 SHEETS

**EROSION CONTROL LEGEND**

- GRAVEL BAG
- SEDIMENTATION BASIN
- INLET PROTECTION
- STRAW ROLL
- SILT FENCE
- CONCRETE WASHOUT
- CONSTRUCTION ENTRANCE
- TREE PROTECTION
- EROSION CONTROL BLANKET / MATING

**NOTE:** ALL OTHER INLET PROTECTIONS TO ACCEPT STORM WATER AND DIRECT FLOWS THROUGHOUT TO FUNCTIONAL SEDIMENTATION BASIN (S.D. 11-1).





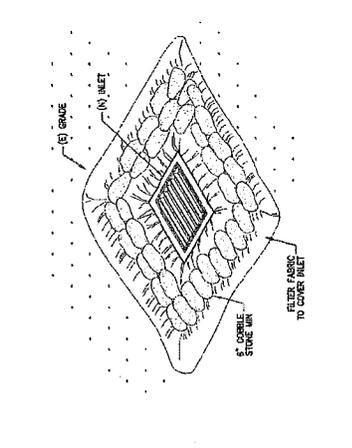
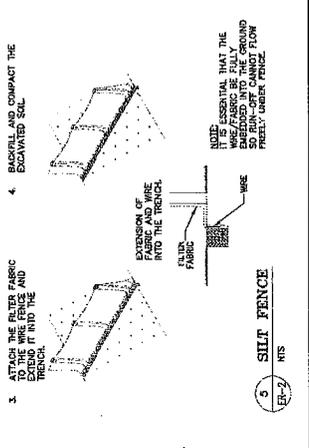
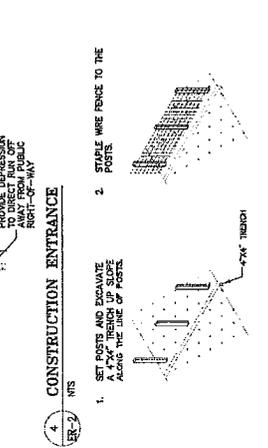
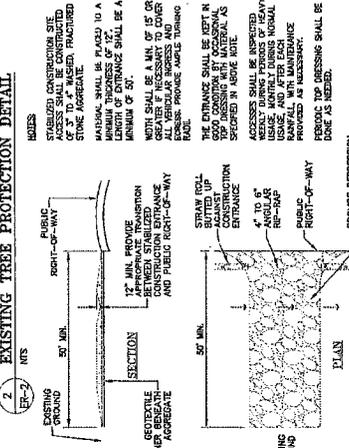
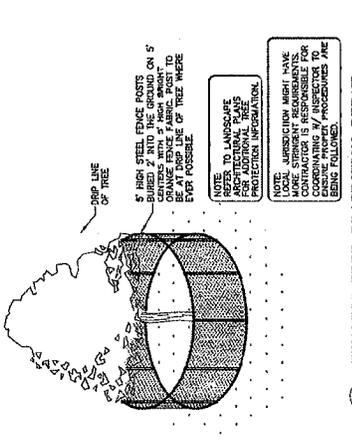
LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS - LAND SURVEYORS  
2022 OAKLAND BLVD., SUITE 200  
MIRAMONTE, CALIFORNIA 91365  
(818) 357-2923  
WWW.LEABRAZE.COM

LOT B RESIDENCE  
(MAIN HOUSE)  
VILLA DEL PRATO  
PORTOLA VALLEY, CALIFORNIA  
SAN MATEO COUNTY  
APN 077-000-207

"A.S.C.C." EROSION CONTROL DETAILS

DATE:	11.13.18
SCALE:	AS NOTED
DESIGNER:	AK
DRAWN BY:	AIL
SHEET NO.:	2140207
REV. NO.:	BY
REV. NO.:	REV. NO.

EA-2  
5 OF 5 SHEETS



**1. PURPOSE:**  
The purpose of this plan is to provide for the control of erosion and sedimentation during the construction of the project. The plan shall include measures to prevent erosion and sedimentation from the construction site. The plan shall include measures to prevent erosion and sedimentation from the construction site. The plan shall include measures to prevent erosion and sedimentation from the construction site.

**2. EROSION CONTROL NOTES:**  
1. IT SHALL BE THE OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNING AGENCY FOR THE CONSTRUCTION OF THE PROJECT.  
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION CONTROL MEASURES AND REPORTING TO THE LOCAL GOVERNING AGENCY.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ALL EROSION CONTROL MEASURES AS NECESSARY.  
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL MEASURES AT THE END OF THE CONSTRUCTION PERIOD.

**3. STRAW ROLLS:**  
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLLS.  
2. THE CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE ROLLS SHALL BE CLEANED OUT WHEN THEY REACH THE POINT OF THE WALL.  
3. STRAW ROLLS SHALL BE PLACED AT THE POINT OF THE WALL.  
4. STRAW ROLLS SHALL BE PLACED AT THE POINT OF THE WALL.

**4. CONSTRUCTION ENTRANCE:**  
1. SET POSTS AND EXCAVATE ALONG THE LINE OF POSTS.  
2. ATTACH THE FILTER FABRIC TO THE EXCAVATED SOIL.  
3. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
4. EXTENSION OF THE FILTER FABRIC INTO THE TRENCH.  
5. WEAVE THE FILTER FABRIC UNDER THE TRENCH.

**5. SILT FENCE:**  
1. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.  
2. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.  
3. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.  
4. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.

**6. PERIODIC MAINTENANCE:**  
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:  
A. DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.  
B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.  
C. SEDIMENT TRAPS, BERMES, AND SWALES TO BE INSPECTED AFTER EACH RAINFALL EVENT.  
D. SEDIMENT TRAPS SHALL BE CLEANED OUT WHEN THEY REACH THE POINT OF THE WALL.  
E. SWALES SHALL BE CLEANED OUT WHEN THEY REACH THE POINT OF THE WALL.  
F. FILLS AND GULLIES MUST BE REPAIRED.  
G. SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE CHANNEL BAY.  
H. STRAW ROLLS SHALL BE CLEANED OUT WHEN THEY REACH THE POINT OF THE WALL.  
I. SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND REPAIR AS NEEDED.  
J. CONSTRUCTION ENTRANCE SHALL BE REPAIRED AS NECESSARY FOLLOWING RAINFALL EVENTS.  
K. ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION.

**7. REFERENCES:**  
1. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL.  
2. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION.

**8. ADDITIONAL NOTES:**  
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNING AGENCY.  
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION CONTROL MEASURES AND REPORTING TO THE LOCAL GOVERNING AGENCY.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ALL EROSION CONTROL MEASURES AS NECESSARY.  
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL MEASURES AT THE END OF THE CONSTRUCTION PERIOD.

**9. NOTES:**  
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLLS.  
2. THE CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE ROLLS SHALL BE CLEANED OUT WHEN THEY REACH THE POINT OF THE WALL.  
3. STRAW ROLLS SHALL BE PLACED AT THE POINT OF THE WALL.  
4. STRAW ROLLS SHALL BE PLACED AT THE POINT OF THE WALL.

**10. CONSTRUCTION ENTRANCE:**  
1. SET POSTS AND EXCAVATE ALONG THE LINE OF POSTS.  
2. ATTACH THE FILTER FABRIC TO THE EXCAVATED SOIL.  
3. BACKFILL AND COMPACT THE EXCAVATED SOIL.  
4. EXTENSION OF THE FILTER FABRIC INTO THE TRENCH.  
5. WEAVE THE FILTER FABRIC UNDER THE TRENCH.

**11. SILT FENCE:**  
1. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.  
2. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.  
3. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.  
4. SILT FENCE SHALL BE PLACED AT THE POINT OF THE WALL.

ER-2  
5 OF 5 SHEETS

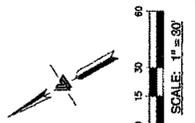
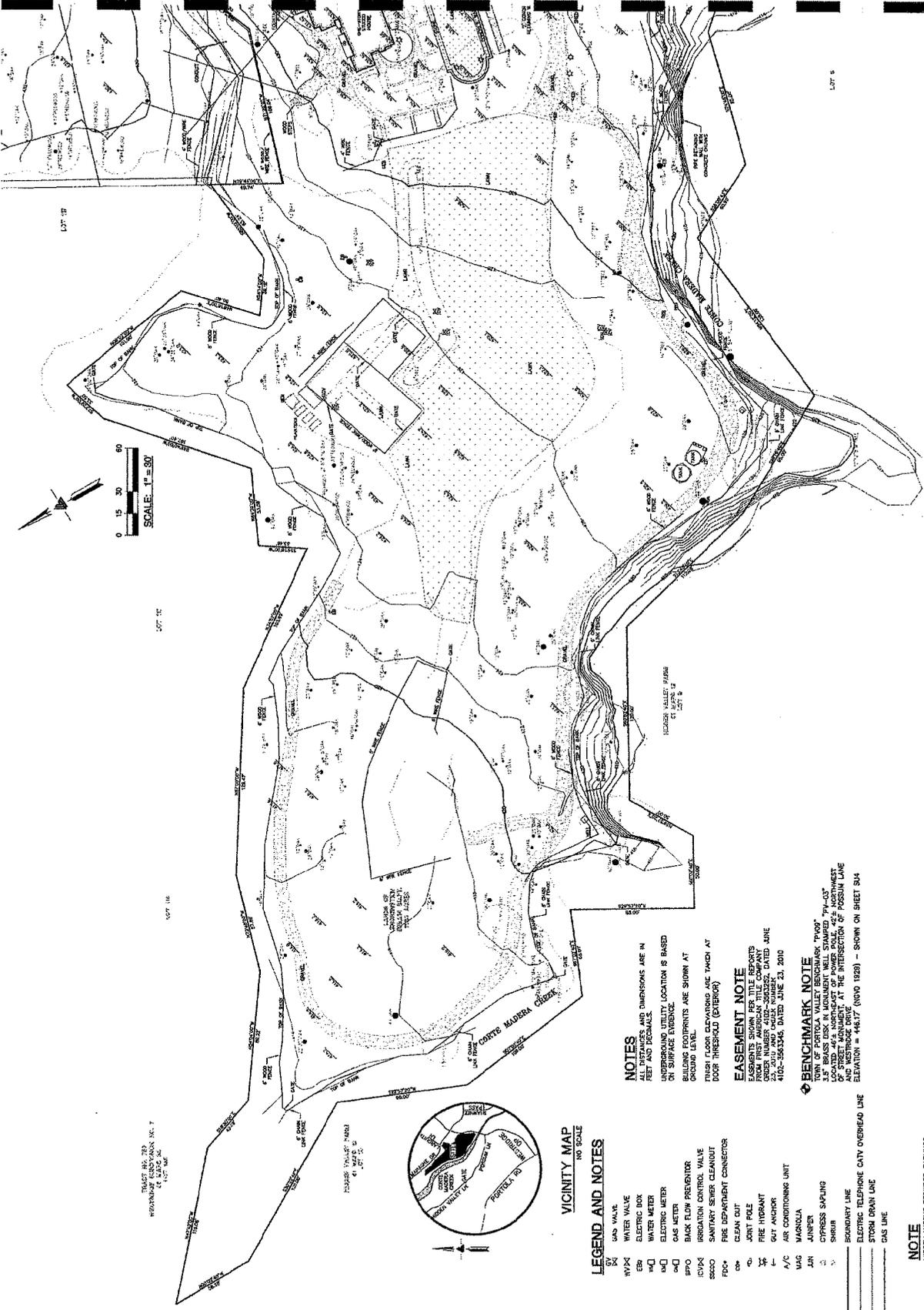


**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS AND SURVEYORS  
 2545 HAY AREA BECOM ROAD  
 HAYWARD, CALIFORNIA 94504  
 (916) 837-0808  
 (916) 837-0818  
 (916) 837-0819  
 (916) 837-0820  
 (916) 837-0821  
 (916) 837-0822  
 (916) 837-0823  
 WWW.LEA-BRAZE.COM

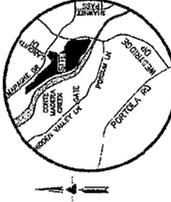
**VILLA DEL PRATO**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APN: 037-05-205

**TOPOGRAPHIC SURVEY**

DESIGN BY	AS NOTED
DRAWN BY	
SHEET NO.	1
DATE	0 24 12
JOB NO.	210027
REVISIONS	
BY	
DATE	
SCALE	AS NOTED



TRACT 842, 723  
 WITHIN SECTION 34, T4S, R2E, S4E  
 1/27, 5E



**LEGEND AND NOTES**

- LEGEND AND NOTES**
- SW GAS VALVE
  - WVX WATER WALK
  - EB ELECTRIC BOX
  - WM WATER METER
  - EM ELECTRIC METER
  - GM GAS METER
  - EPD BULK FLOW PREVENTOR
  - ICVX IRRIGATION CONTROL VALVE
  - SSCX SANITARY SEWER CLEANOUT
  - FRCX FIRE DEPARTMENT CLEANOUT
  - CPX CLEAN OUT
  - JOX JOINT BOX
  - HPX FIRE HYDRANT
  - EXX EXISTING
  - FXX EXISTING
  - ACX AIR CONDITIONING UNIT
  - VAG VENTILATOR
  - LAN LAMP
  - SHX SHOWER
  - CPX CYPRESS SAPPING
  - BLX BENCH MARK
  - BOUNDARY LINE
  - ELECTRIC TELEPHONE CITY OVERHEAD LINE
  - STORM DRAIN LINE
  - GAS LINE

**NOTES**

UNDERGROUND UTILITY LOCATIONS ARE IN FEET AND DECIMALS  
 BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL  
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

**EASEMENT NOTE**

FROM FIRST AMERICAN TITLE COMPANY  
 ORDER NUMBER 4102-200252, DATED JUNE 4102-2543245, DATED JUNE 23, 2010

**BENCHMARK NOTE**

TOWN OF PORTOLA VALLEY BENCHMARK "PVP09" IS A 4" X 4" BENCH MARK SET BY THE TOWN OF PORTOLA VALLEY AND IS LOCATED AT THE INTERSECTION OF POSSUM LANE AND MADRID AVENUE. ELEVATION = 446.17' (NGVD 1928) - SHOWN ON SHEET S04

**NOTE**

UNDEVELOPED AREAS SHOWN ON THIS MAP ARE NOT TO BE CONSIDERED AS PART OF THE PROJECT. THESE AREALS ARE SHOWN FOR REFERENCE ONLY.



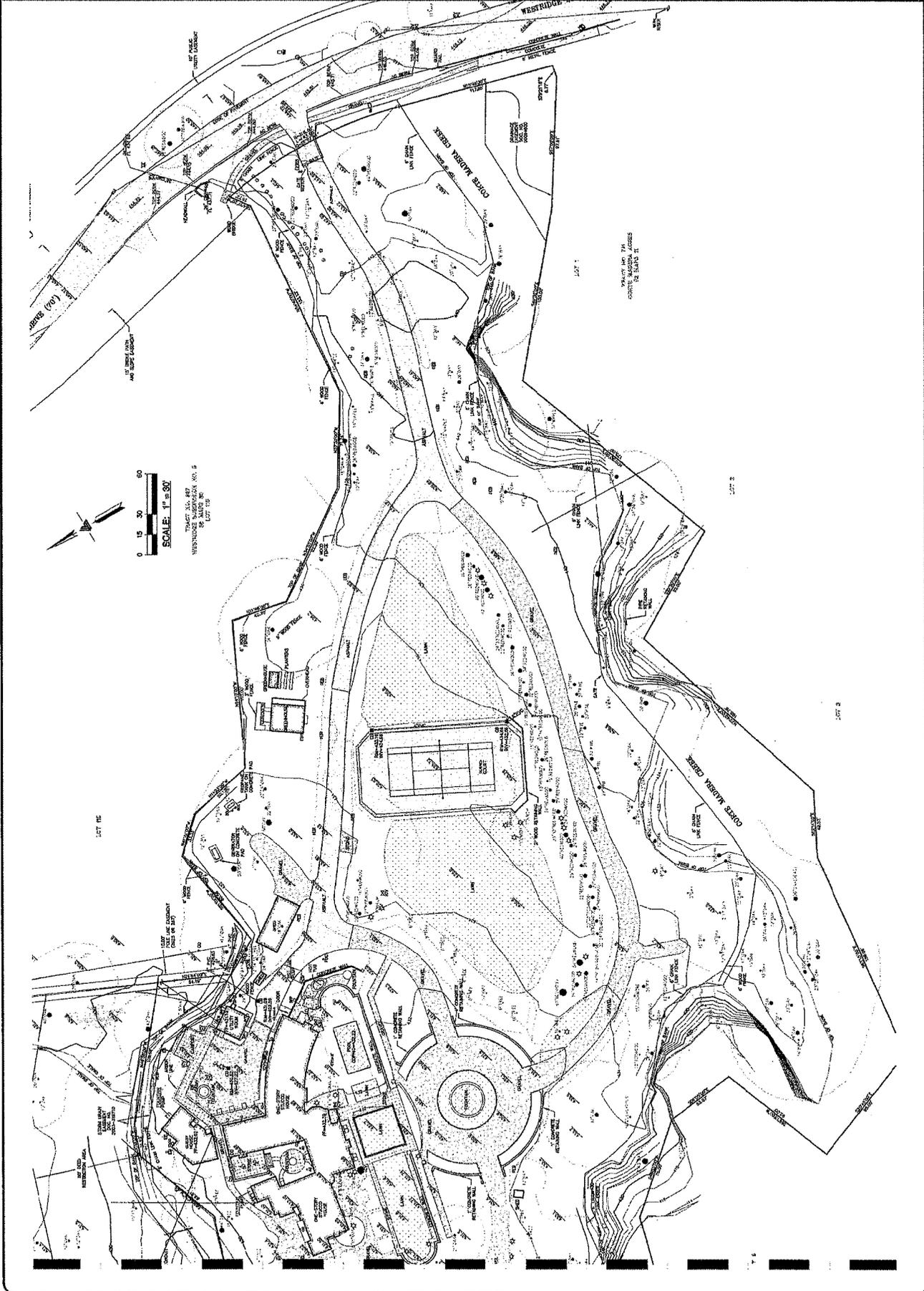
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - AND SURVEYORS  
 2400 INDUSTRIAL PARK WEST  
 HAWAII, CALIFORNIA 94706  
 3077 BOYD AVE. #100  
 SAN JOSE, CA 95128  
 (415) 251-7200  
 (415) 251-7201  
 WWW.LEABRAZE.COM

**VILLA DEL PRATO**  
 1260 WESTIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 APR. 03-05-205  
 SAN MATEO COUNTY

**TOPOGRAPHIC SURVEY**

JOB NO.	240027
DATE	04-05-2005
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	
APPROVED BY	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
APPROVED BY	
DATE	

7 OF 3 SHEETS  
**2**  
 SHEET NO.







LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS  
 4000 S. RAYBURN AVENUE  
 SUITE 100  
 PORTOLA VALLEY, CA 94556  
 (925) 887-3078  
 (925) 887-4078  
 (925) 887-3078  
 FAX (925) 887-3078  
 WWW.LEA-BRAZE.COM

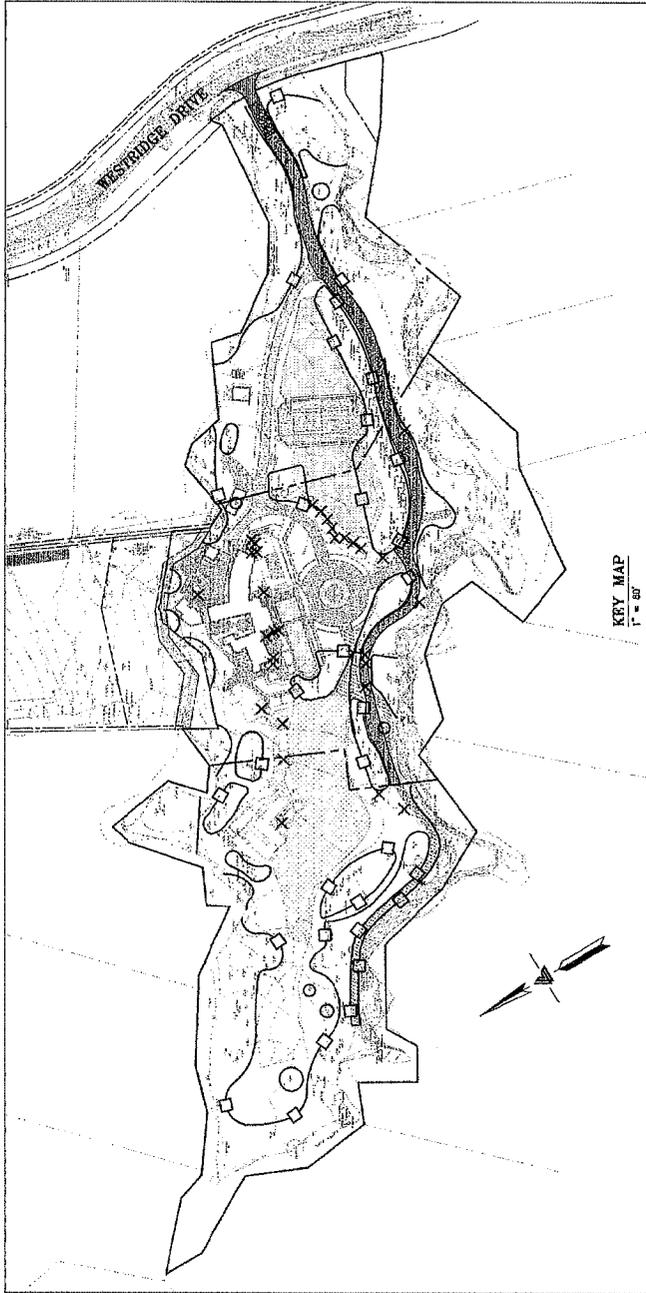
VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07 - 08-00

TITLE SHEET

DESIGN BY:	AL
DRAWN BY:	AL
SCALE:	AS NOTED
JOB NO.:	210057
DATE:	11.19.14
REVISIONS:	
NO.	DESCRIPTION
1	
2	
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EX-1  
 SHEET NO.  
 OF 7 SHEETS

# CONSTRUCTION STAGING & DEMOLITION EXHIBIT 1260 WESTRIDGE DRIVE PORTOLA VALLEY, CALIFORNIA



**LEGEND**

EXISTING	DEMOLISHED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	OVERHEAD UTILITY LINE
---	---	SUBORDIN LINE
---	---	TORQUE LINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	FIRE HYDRANT
---	---	JOINT POLE
---	---	PULL BOX
---	---	FLOW DIRECTION
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	PARKING SPACE
---	---	SILT FENCE
---	---	TREE PROTECTION

**ABBREVIATIONS**

AB	ABOVE
AC	ADDRESS
AD	ADDITIONAL
AE	ADDRESS
AF	ADDRESS
AG	ADDRESS
AH	ADDRESS
AI	ADDRESS
AJ	ADDRESS
AK	ADDRESS
AL	ADDRESS
AM	ADDRESS
AN	ADDRESS
AO	ADDRESS
AP	ADDRESS
AQ	ADDRESS
AR	ADDRESS
AS	ADDRESS
AT	ADDRESS
AU	ADDRESS
AV	ADDRESS
AW	ADDRESS
AX	ADDRESS
AY	ADDRESS
AZ	ADDRESS
BA	BEARING
BB	BENCH MARK
BC	BENCH MARK
BD	BENCH MARK
BE	BENCH MARK
BF	BENCH MARK
BG	BENCH MARK
BH	BENCH MARK
BI	BENCH MARK
BJ	BENCH MARK
BK	BENCH MARK
BL	BENCH MARK
BM	BENCH MARK
BN	BENCH MARK
BO	BENCH MARK
BP	BENCH MARK
BQ	BENCH MARK
BR	BENCH MARK
BS	BENCH MARK
BT	BENCH MARK
BU	BENCH MARK
BV	BENCH MARK
BW	BENCH MARK
BX	BENCH MARK
BY	BENCH MARK
BZ	BENCH MARK
CA	CATCH BASIN
CB	CATCH BASIN
CC	CATCH BASIN
CD	CATCH BASIN
CE	CATCH BASIN
CF	CATCH BASIN
CG	CATCH BASIN
CH	CATCH BASIN
CI	CATCH BASIN
CJ	CATCH BASIN
CK	CATCH BASIN
CL	CATCH BASIN
CM	CATCH BASIN
CN	CATCH BASIN
CO	CATCH BASIN
CP	CATCH BASIN
CQ	CATCH BASIN
CR	CATCH BASIN
CS	CATCH BASIN
CT	CATCH BASIN
CU	CATCH BASIN
CV	CATCH BASIN
CW	CATCH BASIN
CX	CATCH BASIN
CY	CATCH BASIN
CZ	CATCH BASIN
DA	DEMOLITION
DB	DEMOLITION
DC	DEMOLITION
DD	DEMOLITION
DE	DEMOLITION
DF	DEMOLITION
DG	DEMOLITION
DH	DEMOLITION
DI	DEMOLITION
DJ	DEMOLITION
DK	DEMOLITION
DL	DEMOLITION
DM	DEMOLITION
DN	DEMOLITION
DO	DEMOLITION
DP	DEMOLITION
DQ	DEMOLITION
DR	DEMOLITION
DS	DEMOLITION
DT	DEMOLITION
DU	DEMOLITION
DV	DEMOLITION
DW	DEMOLITION
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FS	FOUNDATION
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FU	FOUNDATION
FV	FOUNDATION
FW	FOUNDATION
FX	FOUNDATION
FY	FOUNDATION
FZ	FOUNDATION
GA	GRADE
GB	GRADE
GC	GRADE
GD	GRADE
GE	GRADE
GF	GRADE
GG	GRADE
GH	GRADE
GI	GRADE
GJ	GRADE
GK	GRADE
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GT	GRADE
GU	GRADE
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GY	GRADE
GZ	GRADE
HA	HIGHWAY
HB	HIGHWAY
HC	HIGHWAY
HD	HIGHWAY
HE	HIGHWAY
HF	HIGHWAY
HG	HIGHWAY
HH	HIGHWAY
HI	HIGHWAY
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IJ	INTERSECTION
IK	INTERSECTION
IL	INTERSECTION
IM	INTERSECTION
IN	INTERSECTION
IO	INTERSECTION
IP	INTERSECTION
IQ	INTERSECTION
IR	INTERSECTION
IS	INTERSECTION
IT	INTERSECTION
IU	INTERSECTION
IV	INTERSECTION
IW	INTERSECTION
IX	INTERSECTION
IY	INTERSECTION
IZ	INTERSECTION
JA	JUNCTION
JB	JUNCTION
JC	JUNCTION
JD	JUNCTION
JE	JUNCTION
JF	JUNCTION
JG	JUNCTION
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LT	LANDING
LU	LANDING
LV	LANDING
LW	LANDING
LX	LANDING
LY	LANDING
LZ	LANDING
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MB	MANHOLE
MC	MANHOLE
MD	MANHOLE
ME	MANHOLE
MF	MANHOLE
MG	MANHOLE
MH	MANHOLE
MI	MANHOLE
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MK	MANHOLE
ML	MANHOLE
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NM	NORTH ARROW
NN	NORTH ARROW
NO	NORTH ARROW
NP	NORTH ARROW
NQ	NORTH ARROW
NR	NORTH ARROW
NS	NORTH ARROW
NT	NORTH ARROW
NU	NORTH ARROW
NV	NORTH ARROW
NW	NORTH ARROW
NX	NORTH ARROW
NY	NORTH ARROW
NZ	NORTH ARROW
OA	OVERHEAD UTILITY
OB	OVERHEAD UTILITY
OC	OVERHEAD UTILITY
OD	OVERHEAD UTILITY
OE	OVERHEAD UTILITY
OF	OVERHEAD UTILITY
OG	OVERHEAD UTILITY
OH	OVERHEAD UTILITY
OI	OVERHEAD UTILITY
OJ	OVERHEAD UTILITY
OK	OVERHEAD UTILITY
OL	OVERHEAD UTILITY
OM	OVERHEAD UTILITY
ON	OVERHEAD UTILITY
OO	OVERHEAD UTILITY
OP	OVERHEAD UTILITY
OQ	OVERHEAD UTILITY
OR	OVERHEAD UTILITY
OS	OVERHEAD UTILITY
OT	OVERHEAD UTILITY
OU	OVERHEAD UTILITY
OV	OVERHEAD UTILITY
OW	OVERHEAD UTILITY
OX	OVERHEAD UTILITY
OY	OVERHEAD UTILITY
OZ	OVERHEAD UTILITY
PA	PARKING AREA
PB	PARKING AREA
PC	PARKING AREA
PD	PARKING AREA
PE	PARKING AREA
PF	PARKING AREA
PG	PARKING AREA
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PJ	PARKING AREA
PK	PARKING AREA
PL	PARKING AREA
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PR	PARKING AREA
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PT	PARKING AREA
PU	PARKING AREA
PV	PARKING AREA
PW	PARKING AREA
PX	PARKING AREA
PY	PARKING AREA
PZ	PARKING AREA
QA	QUANTITY
QB	QUANTITY
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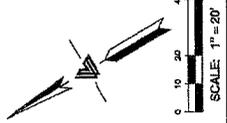
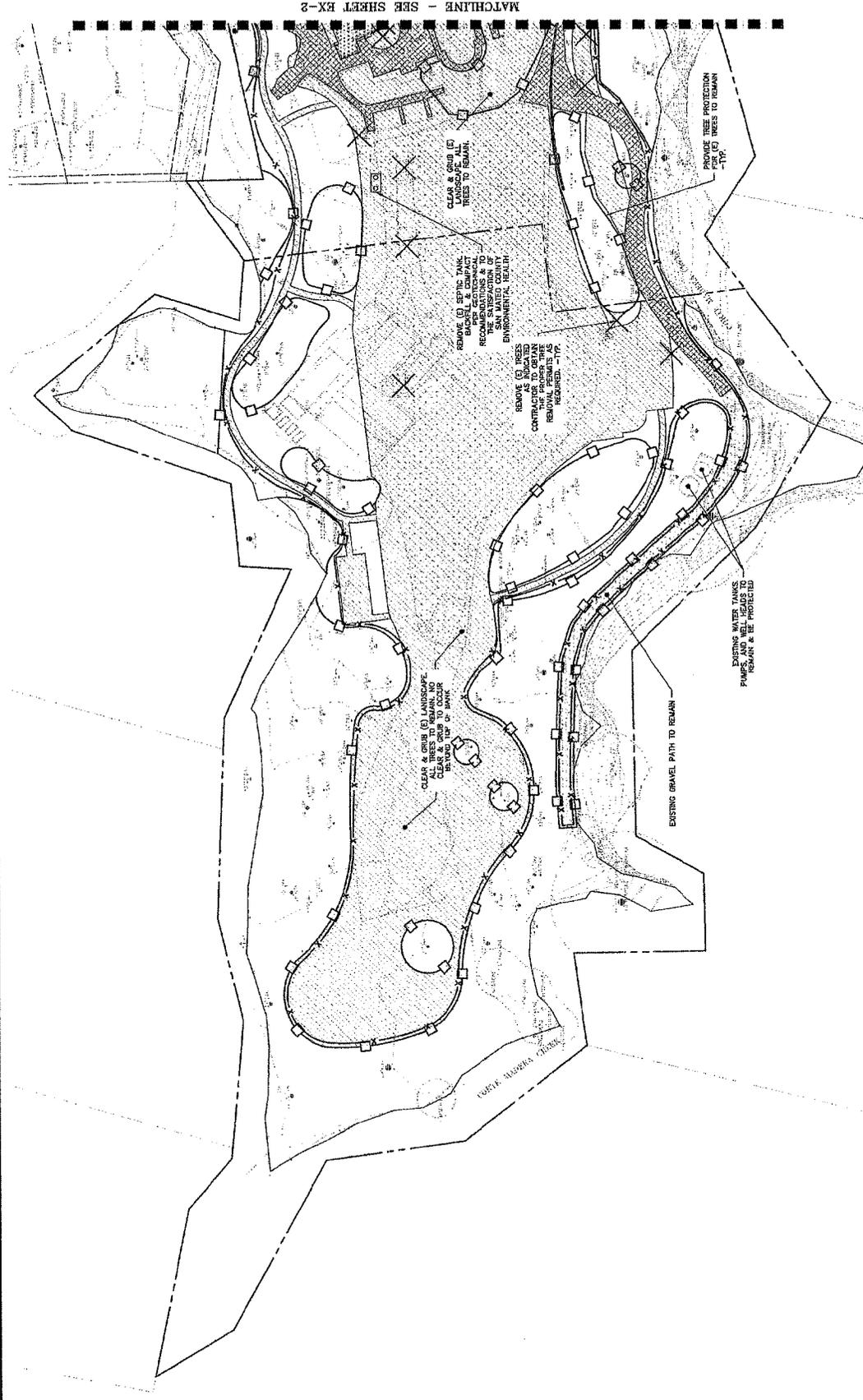
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 2425 REDWOOD BLVD. # 200  
 SAN FRANCISCO, CA 94133  
 (415) 771-3000  
 WWW.LEABRAZE.COM

**VILLA DEL PRATO**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 NPN: 077-050-203

**DEMOLITION PLAN**

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**EX-3**  
 3 OF 7 SHEETS



**HATCH LEGEND**

- [Hatched pattern: diagonal lines /] REMOVE (O) IMPROVEMENTS
- [Hatched pattern: diagonal lines \] CLEAR & GRUB AREAS FOR (O) CONSTRUCTION. REMOVE ALL UTILITIES UNLESS OTHERWISE NOTED.
- [Hatched pattern: cross-hatch] REMOVE (O) EXISTING CONTRACTOR TO OBTAIN REMOVE PERMITS AS REQUIRED - TYP
- [Hatched pattern: diagonal lines /] CLEAR & GRUB (O) LANDSCAPE ALL TREES TO REMAIN. NOT CHANGING THE LOCATION OF BANK

**NOTE:**

- REMOVE ALL LANDSCAPE IRRIGATION ON SITE.
- REMOVE ALL EXISTING AND PROPOSED DRAIN LINES.
- REMOVE ALL EXISTING AND PROPOSED DRAIN CONDUITS. CONDUITS MAY REMAIN OR BE ABANDONED IN PLACE IN ACCORDANCE WITH THE SAN MATEO COUNTY PERMITS.
- REMOVE ALL ON-SITE STORM DRAIN IMPROVEMENTS.
- REMOVE ALL SINKS, IMPROVEMENTS ON SITE.
- REMOVE ALL EXISTING AND PROPOSED SEPTIC TANKS. A SEPARATE PERMIT IS REQUIRED BY SAN MATEO COUNTY ENVIRONMENTAL HEALTH.
- REMOVE ALL EXISTING AND PROPOSED WELLS EXCEPT WHERE THEY CONFLICT W/ PROPOSED BUILDINGS OR UTILITIES. A SEPARATE PERMIT IS REQUIRED BY SAN MATEO COUNTY.



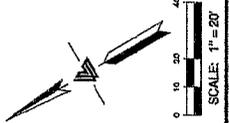
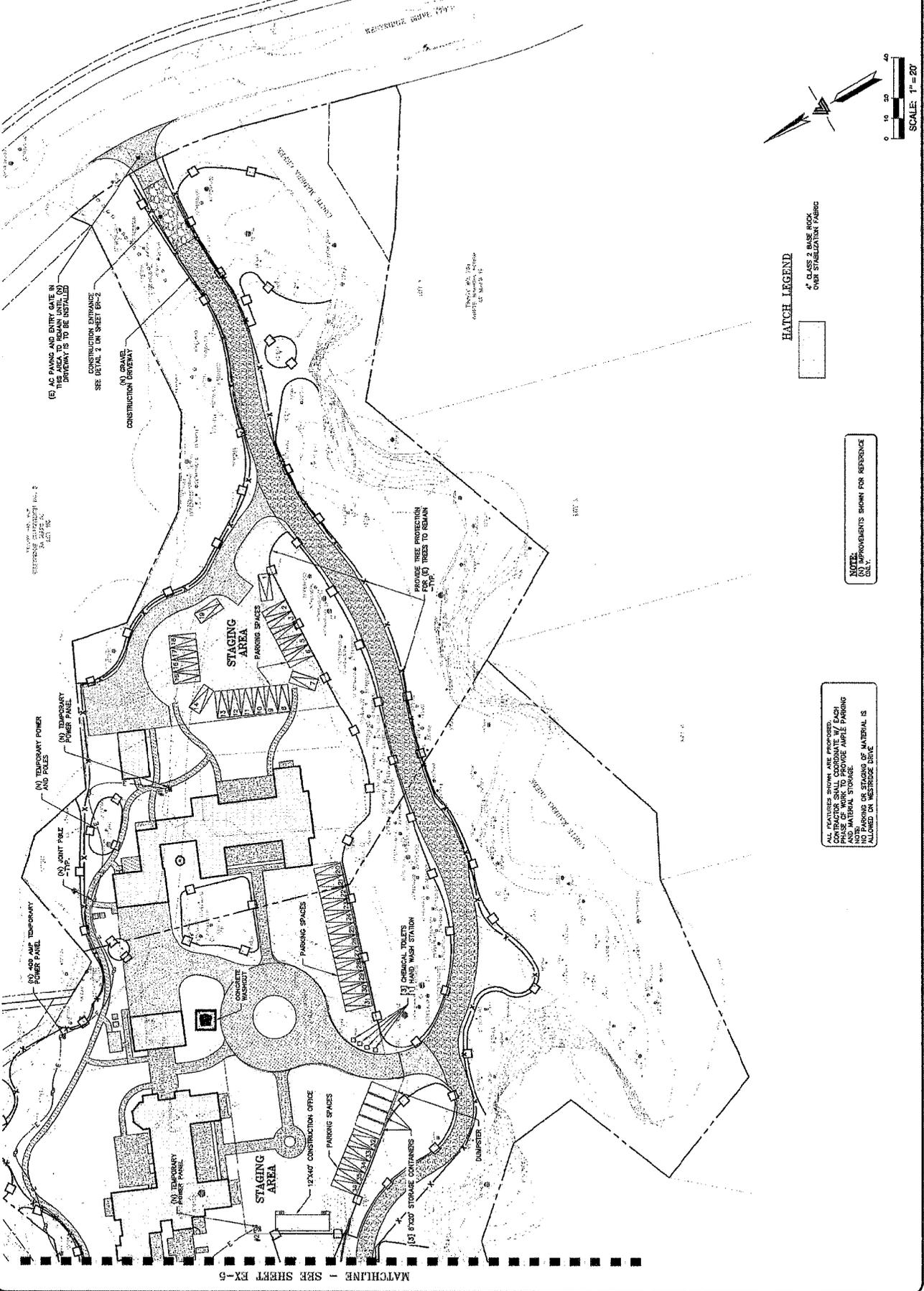
LEA & BRAZ ENGINEERING, INC.  
 CIVIL ENGINEERS - LAND SURVEYORS  
 BAY AREA REGION  
 3007 COLLEGE BLVD. # 200  
 ROSELAND, CALIFORNIA 94568  
 (916) 887-4066  
 (916) 887-3018  
 WWW.LEABRAZ.COM

VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 MAP 073 050 206  
 306

CONSTRUCTION  
 STAGING PLAN

DATE:	11.10.11
SCALE:	1"=20'
DRAWN BY:	ATL
CHECKED BY:	ATL
DESIGNED BY:	ATL
DATE:	11.10.11
JOB NO.:	2140257
REVISION:	BT

EX-4  
 4 OF 7 SHEETS



HATCH LEGEND

CLASS 2 BASE ROCK OVER STRUTTING FRAME

NOTE: APPROVED FOR RESUBMIT CALIF.

ALL FEATURES SHOWN ARE PROPOSED. CONTRACTOR SHALL COORDINATE W/ EACH PHASE OF WORK TO PROVIDE AMPLE PARKING AND STORAGE. NOTE: STORAGE OF MATERIAL IS ALLOWED ON WESTRIDGE DRIVE.

MATCHLINE - SEE SHEET EX-5



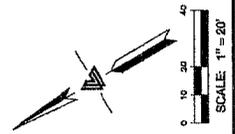
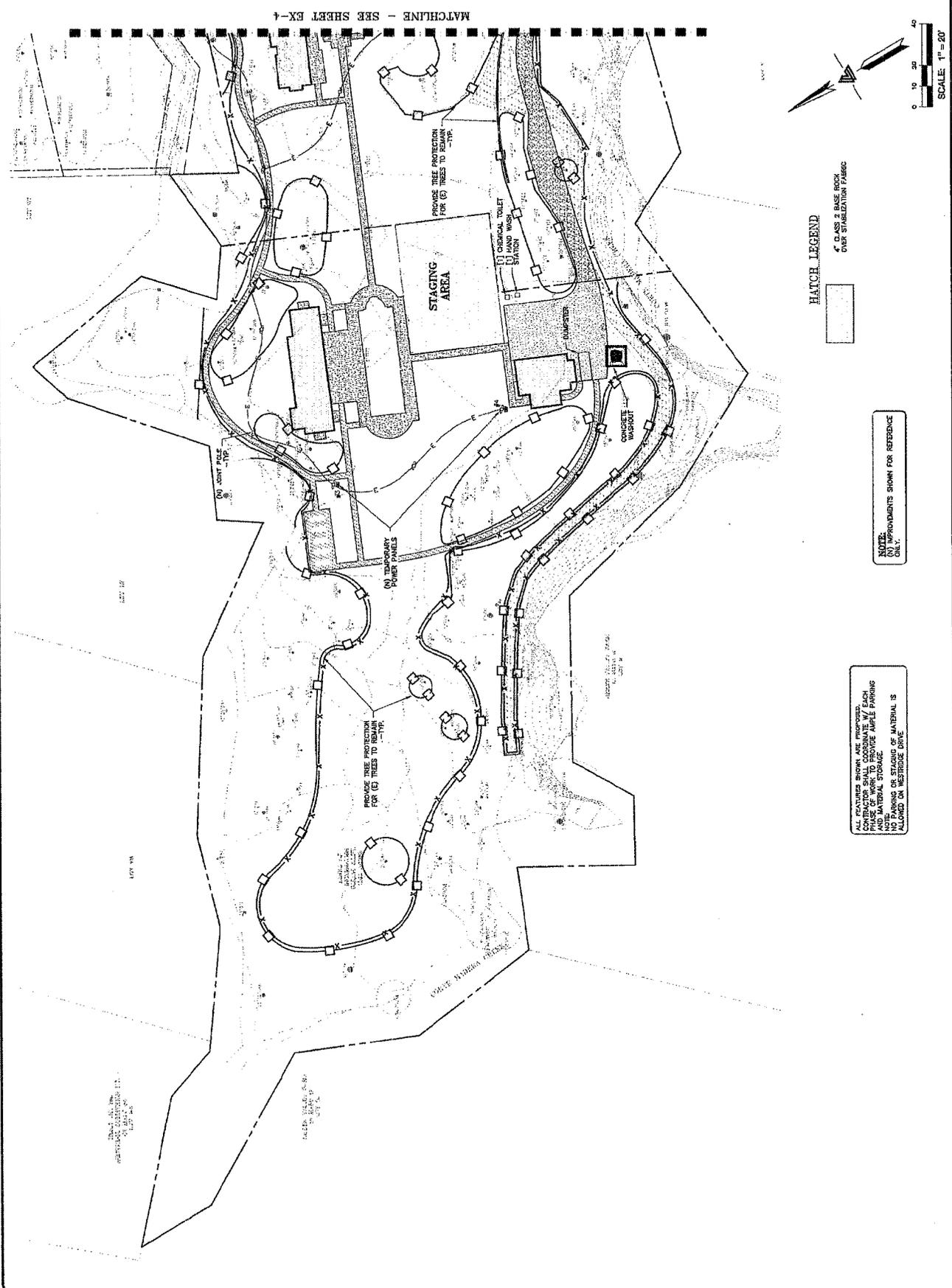
LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS  
 2422 S. RAVENHURST  
 SCHAUMBURG, ILL. 60196  
 (708) 345-1200  
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VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 PLAN: 077-050-200

CONSTRUCTION  
 STAGING PLAN

**EX-5**  
 5 OF 7 SHEETS

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**HATCH LEGEND**  
 4" CLASS 2 BASE ROCK  
 OVER STABILIZATION FABRIC

**NOTE:**  
 DIMENSIONS SHOWN FOR REFERENCE ONLY.

ALL EXCAVATION SHALL BE PROTECTED WITH CURB AND CONCRETE AT EACH PHASE OF WORK TO PROVIDE AMPLE PARKING AND MATERIAL STORAGE.  
 NOTE:  
 NO PARKING OR STORAGE OF MATERIAL IS ALLOWED ON NEIGHBORING PROPS.

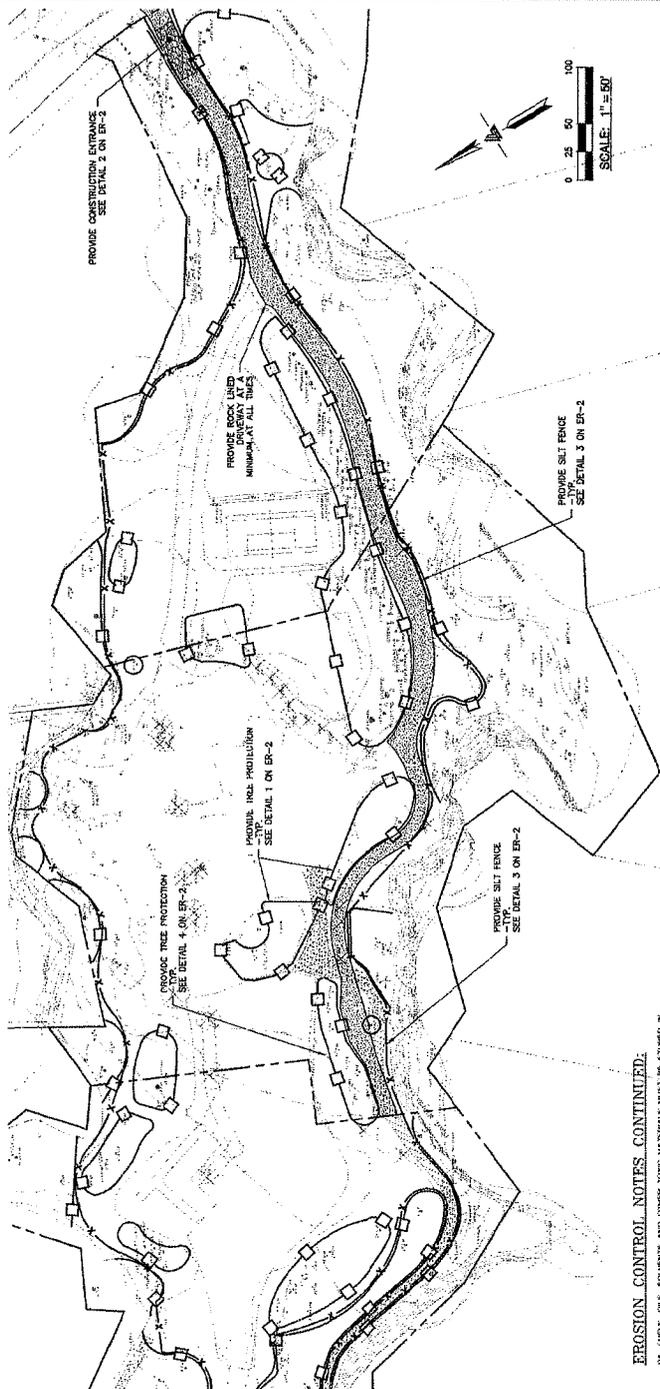


**LE & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS AND SURVEYORS  
 2438 HOSPITAL BLVD. #157  
 SAN MARINO, CALIFORNIA 91766  
 (916) 897-4056  
 (916) 897-3018  
 FAX (916) 897-7253  
 WWW.LEBRAZE.COM

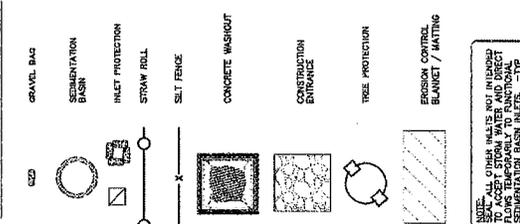
**VILLA DEL PRATO**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07. 050 205

**EROSION CONTROL PLAN**

DATE: 11.10.14  
 SHEET NO.: 21-0037  
 SCALE: AS NOTED  
 DRAWN BY: ATL  
 CHECKED BY: JAE/NUD  
 PROJECT NO.: 14-0037  
 SHEET NO.: 6 OF 7 SHEETS



**EROSION CONTROL LEGEND**



**EROSION CONTROL NOTES:**

1. THE FEATURES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH. ANY EXCESSIVE GRADING OPERATIONS DURING THE RAINY SEASON WHICH WILL BE DEMONSTRATED SHALL BE PROHIBITED. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE RAINY SEASON.
2. SILT FENCES SHALL BE MAINTAINED AT ALL TIMES. SILT FENCES SHALL BE MAINTAINED AT ALL TIMES. SILT FENCES SHALL BE MAINTAINED AT ALL TIMES.
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**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY GAS. ADDITIONAL MEASURES, SUCH AS SILT FENCES, SHALL BE PROVIDED TO PREVENT THE EROSION OF GRADED AREAS. THE MEASURES SHOWN ON THIS PLAN ARE DESIGNED TO PREVENT EROSION AND SEDIMENTATION DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH. ANY EXCESSIVE GRADING OPERATIONS DURING THE RAINY SEASON WHICH WILL BE DEMONSTRATED SHALL BE PROHIBITED. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE RAINY SEASON.

**EROSION CONTROL NOTES:**

1. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
2. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL, WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. LOCAL LAW ENFORCEMENT AND THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD SHALL BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.
4. SILENT FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF DIRT, DEBRIS, AND OTHER MATERIALS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT EROSION AND SEDIMENTATION. MEASURES SHALL BE MAINTAINED INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS SHALL BE MAINTAINED AT ALL TIMES. LOCAL LAW ENFORCEMENT SHALL BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.
7. APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS SHALL BE MAINTAINED AT ALL TIMES.
8. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
9. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
10. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
13. MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OF DIRT OR OTHER MATERIALS FROM THE SITE. MEASURES SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING THE PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY GAS. ADDITIONAL MEASURES, SUCH AS SILT FENCES, SHALL BE PROVIDED TO PREVENT THE EROSION OF GRADED AREAS. THE MEASURES SHOWN ON THIS PLAN ARE DESIGNED TO PREVENT EROSION AND SEDIMENTATION DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH. ANY EXCESSIVE GRADING OPERATIONS DURING THE RAINY SEASON WHICH WILL BE DEMONSTRATED SHALL BE PROHIBITED. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE RAINY SEASON.
14. EROSION CONTROL MEASURES SHALL BE ONE-SITE FROM SEPTEMBER 15TH THROUGH APRIL 15TH.
15. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
16. STORMWATER TREATMENT (WTP) PHASES PERMIT GAS 020208.
17. THE CONTRACTOR TO NOTES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION AND EROSION CONTROL) SHALL BE MAINTAINED THROUGHOUT THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
18. THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES WITHIN THE COMPLETION OF ALL LANDSCAPING.
19. THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN AND SAFE CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE LOCAL GOVERNING AGENCY. ALL TRUCKS AND EQUIPMENT SHALL BE KEPT CLEAN AND FREE OF DIRT AND OTHER MATERIALS. ALL TRUCKS AND EQUIPMENT SHALL BE KEPT CLEAN AND FREE OF DIRT AND OTHER MATERIALS. ALL TRUCKS AND EQUIPMENT SHALL BE KEPT CLEAN AND FREE OF DIRT AND OTHER MATERIALS.
20. SEDIMENT AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE. ALL MATERIALS SHALL BE KEPT CLEAN AND FREE OF DIRT AND OTHER MATERIALS. ALL TRUCKS AND EQUIPMENT SHALL BE KEPT CLEAN AND FREE OF DIRT AND OTHER MATERIALS. ALL TRUCKS AND EQUIPMENT SHALL BE KEPT CLEAN AND FREE OF DIRT AND OTHER MATERIALS.
21. THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS, FENCES, AND EARTH PILES IN CONNECTION WITH ALL LANDSCAPING.
22. STOCKPILING MATERIALS SHALL BE COVERED WITH TARP OR A SIMILAR MATERIAL UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY MATERIALS SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS IMPROVED TO PREVENT EROSION AND SEDIMENTATION.
23. EXCESS WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS.
24. TRUCK AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTOR TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.

**EROSION CONTROL NOTES (CONTINUED):**

25. DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES. DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES. DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES.
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**PERIODIC MAINTENANCE:**

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BENS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRED AS NEEDED.
  - D. GRASS AND VEGETATION SHALL BE MAINTAINED TO THE HEIGHT OF 1 FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RAILS AND GULLIES MUST BE REPAIRED.
2. GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF THE GRAVEL BAG.
3. STRAW ROLL PROTECTION SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION. STRAW ROLL PROTECTION SHALL BE REPLACED WHEN THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
4. SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND REPAIR AS NEEDED. SILT FENCE SHALL BE MAINTAINED AT ALL TIMES.
5. CONSTRUCTION ENTRANCE SHALL BE DEGRADED AS NECESSARY FOLLOWING EACH STORM EVENT.
6. ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ENSURE PROPER FUNCTION.

**REFERENCES:**

1. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
2. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
3. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
4. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
5. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
6. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
7. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
8. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
9. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
10. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
11. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
12. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
13. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
14. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
15. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
16. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
17. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
18. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
19. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
20. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
21. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
22. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
23. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
24. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
25. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
26. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
27. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
28. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
29. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
30. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
31. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.
32. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR CONSTRUCTION.



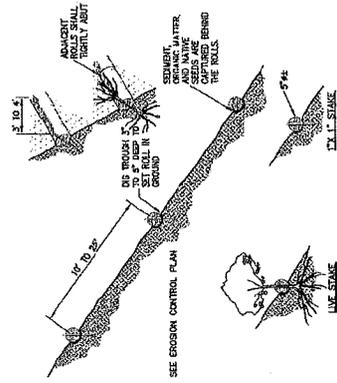
LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS AND SURVEYORS  
 3072 COLGAS BLVD. #200  
 SACRAMENTO, CALIFORNIA 95825  
 (916) 486-4138  
 (916) 486-1388  
 (916) 486-1388  
 WWW.LEA-AND-BRAZE.COM

VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07-050-206

EROSION CONTROL  
 DETAILS

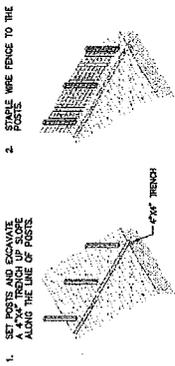
ER-2  
 7 OF 7 SHEETS

DATE	11.10.11
DRAWN BY	AK
CHECKED BY	AK
DESIGNED BY	AK
APPROVED BY	AK
SHEET NO.	21466527
REVISIONS	



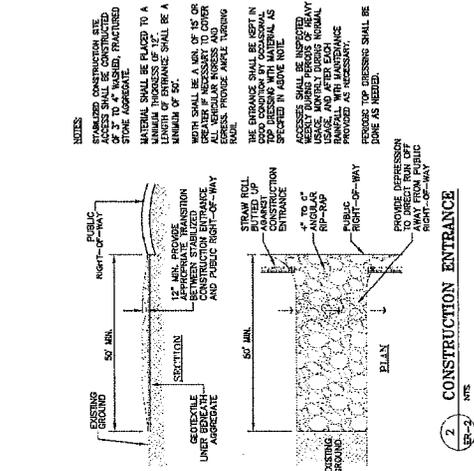
**NOTE:**  
 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL TO RUN UNDER OR AROUND THE EXISTING CURB OR CONCRETE. RAINOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND THE ROLL.  
 2. CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE SILT SHALL BE CLEANED OUT WHEN IT REACHES HALF THE HEIGHT OF THE ROLL.

4 STRAW ROLLS  
 EP-2 INTS



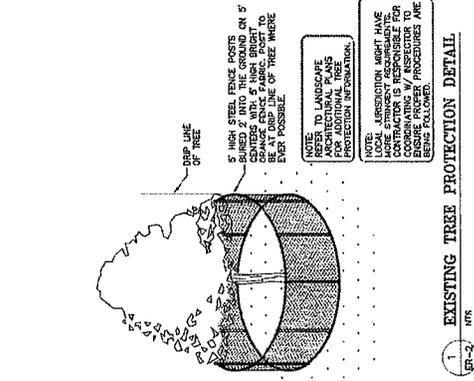
**NOTE:** MANUFACTURED SILT FENCE PRODUCTS MAY BE USED IN ACCORDANCE WITH THE RECOMMENDATIONS AND INSTRUCTIONS PROVIDED BY THE MANUFACTURER. REFER TO THIS DETAIL FOR MORE INFORMATION.

3 SILT FENCE  
 EP-2 INTS



**NOTES:**  
 1. STANDARD CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED WITH 12\"/>

2 CONSTRUCTION ENTRANCE  
 EP-2 INTS



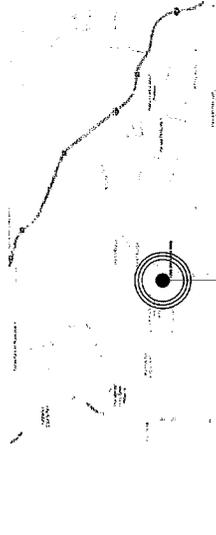
**NOTE TO LANDSCAPE ARCHITECTURAL PLANS:** TREE PROTECTION INTERVENTION.  
**NOTE:** JURISDICTION MIGHT HAVE TO BE OBTAINED FROM LOCAL AUTHORITIES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOLLOWING ALL PROCEDURES AND REGULATIONS THAT APPLY TO TREE PROTECTION INTERVENTION.

1 EXISTING TREE PROTECTION DETAIL  
 EP-2 INTS

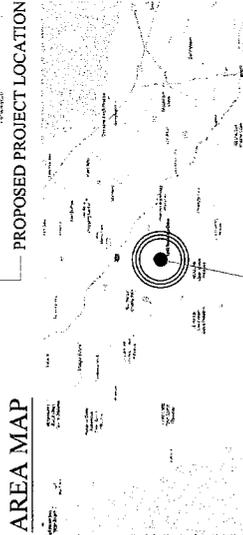
**PROJECT SCOPE - LOT C**

LOT C IS BEING DEVELOPED ALONG WITH LOT A AND LOT B TO FORM VILLA DEL PRATO. EACH LOT IS TO BE SUBMITTED AND APPROVED INDIVIDUALLY AS A SINGLE FAMILY RESIDENCE. LOT C IS BEING SUBMITTED SEPARATELY AS A SINGLE FAMILY RESIDENCE. LOT C WILL FUNCTION AS THE ENTERTAINMENT HOUSE FOR THE COMBINED PROJECT.

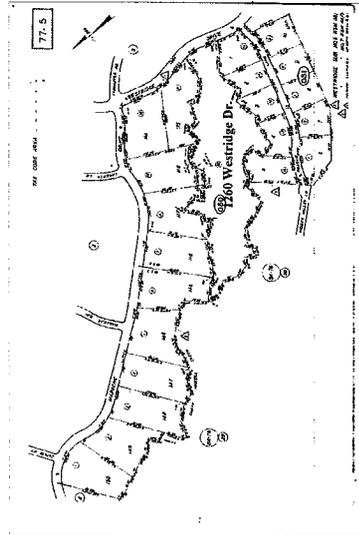
LOT A SCOPE OF WORK WILL INCLUDE:  
 THE REMOVAL OF ALL EXISTING STRUCTURES AND SITE WORK.  
 THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.  
 THE CONSTRUCTION OF A DETACHED GARAGE.  
 NEW LANDSCAPING.



**AREA MAP**



**VICINITY MAP**



**ASSESSOR'S MAP**

(ALL MAPS NOT TO SCALE)

**PROJECT DATA - LOT C**

**OWNER:** Paula and Bandel Carano Living Trust  
**ADDRESS:** 525 University Avenue, Suite 1300  
 Palo Alto, CA 94301  
**ZONING:** R-E 2.5A  
**ASSESSOR'S PARCEL #** 077-050-200  
**USE AND OCCUPANCY:** R-3/U  
**PARCEL ID:** 4005485  
**TYPE OF CONSTRUCTION:** VB  
**HOA:** NO

**LOT C SIZE, GROSS:** 134,995 SQ. FT. (3.10 ACRES)  
**LOT C SIZE, NET:** 119,947 SQ. FT. (2.75 ACRES)  
 (SEE CIVIL DRAWING SHEET C-2.1 FOR PARCEL DIMENSIONS)

**MINIMUM SETBACKS (PER SEC 18.48.010):**  
**FRONT** 50 FEET  
**SIDE** 20 FEET  
**REAR** 20 FEET  
**HEIGHT LIMIT (MAX)** 28 FEET

**SHEET INDEX - LOT C**

Sheet No.	Cover Sheet
A1.0	BUILD IT GREEN CHECKLIST
A1.1	LOT C OVERALL SITE PLAN
LC.1.1	LOT C EXISTING STRUCTURES STATUS PLAN
LC.2	LOT C SITE PLAN
LC.3	LOT C IMPERVIOUS SURFACE PLAN
LC.4	LOT C EXTERIOR LIGHTING PLAN
LC.5	LOT C EXTERIOR LIGHTING SPECIFICATIONS
LC.6	LOT C CONCEPTUAL PLANTING PLAN
LC.7	LOT C TREE STATUS PLAN
LC.8	LOT C TREE SURVEY INDEX
A2.0	ENTERTAINMENT HOUSE MECH. EQUIP.
A2.0A	LOT C AREA CALCULATIONS
A2.1A	ENTERTAINMENT HOUSE FLOOR PLAN
A2.1B	ENTERTAINMENT HOUSE BASEMENT PLAN
A2.2	ENTERTAINMENT HOUSE ROOF PLAN
A2.3	GARAGE PLAN AND ELEVATIONS
A3.1	ENTERTAINMENT HOUSE EXT. ELEVATIONS
A4.1	CONTROL SYSTEM SPEC SHEETS
C-1.0	ASCC OVERALL SITE PLAN
C-2.0	ASCC GRADING AND DRAINAGE PLAN
ER-1	ASCC EROSION CONTROL PLAN
ER-2	ASCC EROSION CONTROL DETAILS
1	TOPOGRAPHIC SURVEY
2	ASCC EARTHWORKS EXHIBIT LOT C
EX-1	CONSTRUCTION STAGING TITLE SHEET
EX-2	CONSTRUCTION STAGING DEMOLITION PLAN
EX-3	CONSTRUCTION STAGING DEMOLITION PLAN
EX-4	CONSTRUCTION STAGING PLAN
EX-5	CONSTRUCTION STAGING PLAN
ER-1	CONSTRUCTION STAGING EROSION CONTROL PLAN
ER-2	CONSTRUCTION STAGING EROSION CONTROL DETAILS

**PROJECT SQUARE FOOTAGE - LOT C**

PROPOSED SQUARE FOOTAGE BREAKDOWN:

LOT C	PROPOSED SQ. FT.	PREV. PROPOSED SQ. FT.
RESIDENCE MAIN LVL (ENTERTAINMENT HOUSE)	5,086	5,639 (INCL GARAGE)
BASEMENT (ENTERTAINMENT HOUSE)	1,442	0
GARAGE	1,354	0
DETACHED GARAGE	700	700
TOTAL	8,399	6,339

**PROJECT DATA - LOT C**

PROPOSED PROJECT COVERAGE TABLE:

LOT C	ALLOWED SQ. FT.	PROPOSED SQ. FT.	PREV. PROPOSED SQ. FT.
AMFA (ADJUSTED MAX FLOOR AREA)	7,292	6,957 (4903 +1354+700)	6,339 (5639+700)
85%	6,198	5,486* (5086 +400)	6,039 (5639+400)
AMIS (ADJUSTED MAX SUBAREAS)	12,369	12,358	12,131

\*INCLUDES 400 SQ. FT. FOR REQUIRED DETACHED GARAGE

**PROJECT TEAM**

**ARCHITECT:** ANDREW SKURMAN ARCHITECTS  
 3654 SACRAMENTO STREET  
 SAN FRANCISCO, CA 94118  
 PHONE: 415.440.4480  
 FAX: 415.440.4488  
 CONTACT: ANDREW SKURMAN  
 EMAIL: ANDREW@SKURMAN.COM  
 CONTACT: SUZETTE SMITH  
 EMAIL: SUZETTE@SKURMAN.COM

**LANDSCAPE ARCHITECT:** THOMAS KLOPE ASSOCIATES, INC.  
 5150 EL CAMINO REAL  
 BUILDING B, SUITE 20  
 LOS ALTOS, CA 94022  
 PHONE: 650.691.1000  
 CONTACT: THOMAS KLOPE  
 EMAIL: TOM@KLOPE.COM  
 CONTACT: PETER MURRAY  
 EMAIL: PETER@KLOPE.COM

**CIVIL ENGINEER:** LEA & BRAZE ENGINEERING, INC.  
 2495 INDUSTRIAL PARKWAY WEST  
 HAYWARD, CA 94545  
 OFFICE: 510.887.4085  
 CONTACT: JIM TOBY  
 EMAIL: JTTOBY@LEABRAZE.COM  
 CONTACT: ALEX KWOK  
 EMAIL: ALEX@LEABRAZE.COM

SEPT. 24, 2016 ASCC SUBMITTAL  
 OCT. 13, 2016 ASCC SUBMITTAL  
 NOV. 10, 2016 ASCC SUBMITTAL

**Villa Del Prato - LOT C**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CA 94028

NOT FOR CONSTRUCTION

Andrew Skurman Architects



3654 Sacramento Street  
 San Francisco, CA 94118  
 Tel: (415) 440-4480  
 Fax: (415) 440-4488

Sheet No. LOT C  
 PROJECT INFORMATION

Scale AS NOTED  
 Date 9.29.2016  
**A1.0**

**RECEIVED**  
 NOV 10 2016  
 TOWN OF PORTOLA VALLEY





**THOMAS  
KLOPFER  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

414 S. CLAYTON AVENUE  
LOS ANGELES, CA 90007  
TEL: 213.480.1100  
WWW: thomas-klopfers.com  
CALIFORNIA REG. NO. 2327

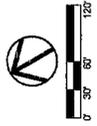
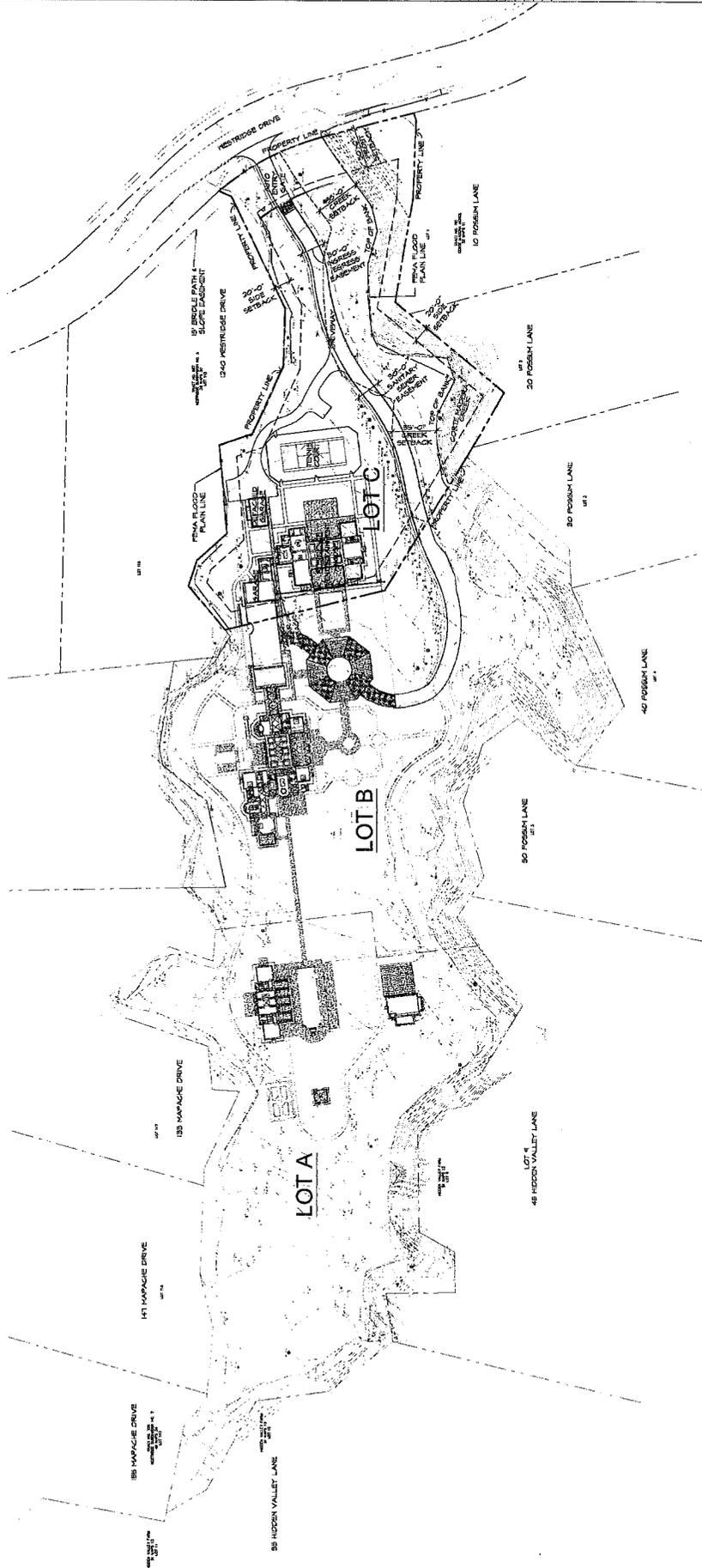
**VILLA DEL  
PRATO**  
1280 WESTRIDGE DRIVE  
SANTA ANITA VALLEY,  
CALIFORNIA

DATE: REVISION:

**LOT C  
OVERALL SITE  
PLAN**

DATE: 10/20/08  
DRAWN: PH/AN  
CHECKED: TK/AN  
SCALE: 1"=80'-0"

LC.1





**THOMAS  
KLOPE  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

11111 SHERBORN DRIVE  
BURLINGAME, CA 94010  
LOS ALTOS, CA 94024  
P: 650-351-1094  
www.thomasklope.com  
CALIFORNIA REG.# 0147

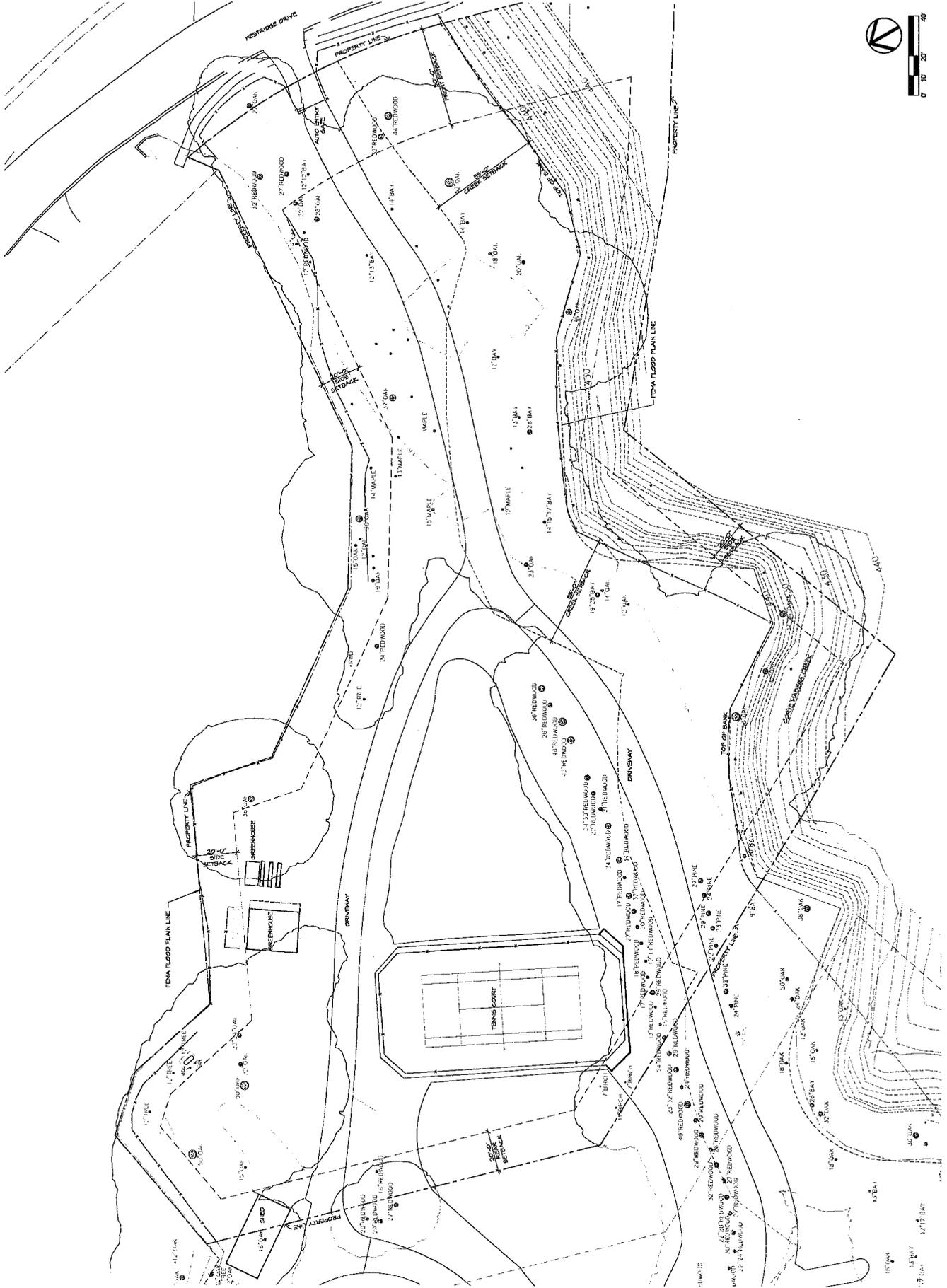
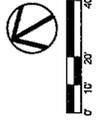
**VILLA DEL  
PRATO**  
1000 WINDMILL DRIVE  
LOS ALTOS, CALIFORNIA

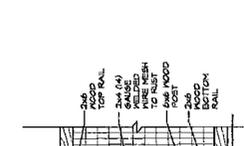
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_

**LOT C  
EXISTING  
STRUCTURES  
STATUS PLAN**

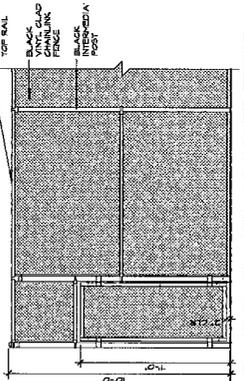
DATE: 11/09/10  
DRAWN: PM, RM  
CHECKED: TK, RM  
SCALE: 1" = 20'-0"

**LC.1.1**

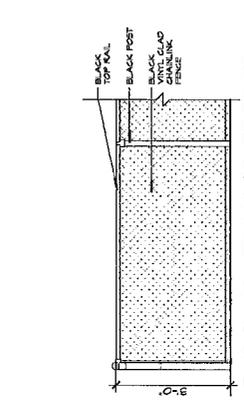




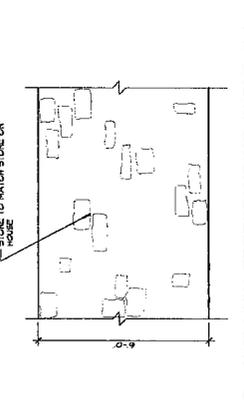
**2 WOOD AND WIRE FENCE**  
SCALE 1/2" = 1'-0"



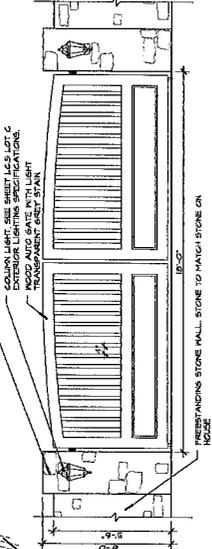
**3 10'-0" HIGH TENNIS COURT FENCE**  
SCALE 3/8" = 1'-0"



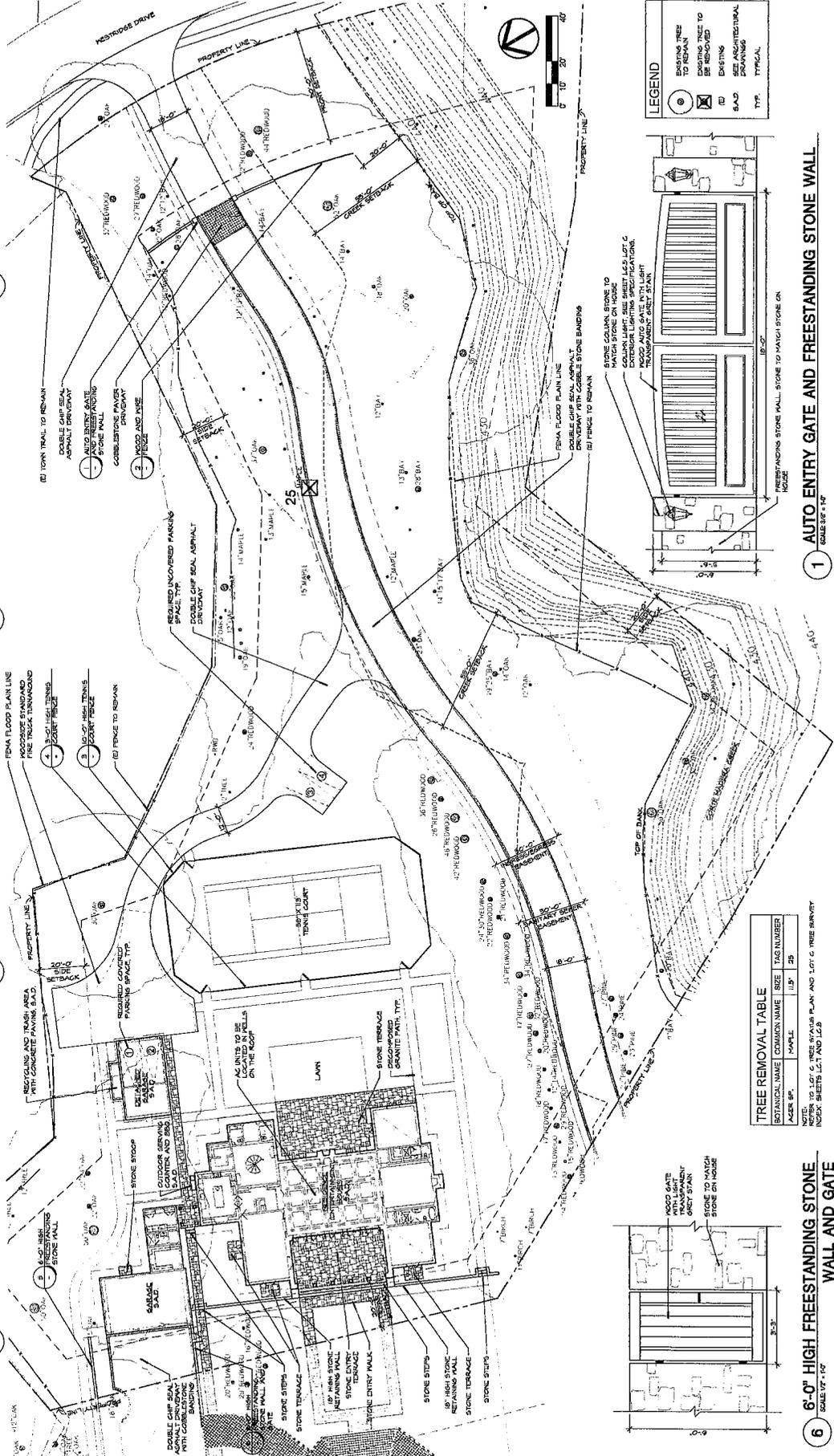
**4 3'-0" HIGH TENNIS COURT FENCE**  
SCALE 1/2" = 1'-0"



**5 6'-0" HIGH FREESTANDING STONE WALL**  
SCALE 1/2" = 1'-0"



**1 AUTO ENTRY GATE AND FREESTANDING STONE WALL**  
SCALE 3/8" = 1'-0"



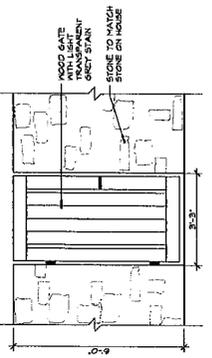
**LEGEND**

(Symbol)	EXISTING TREE TO REMAIN
(Symbol)	NEW TREE TO BE PLANTED
(Symbol)	EXISTING
(Symbol)	TO BE REMOVED
(Symbol)	SEE ARCHITECTURAL DRAWINGS
(Symbol)	TYP.

**TREE REMOVAL TABLE**

BOTANICAL NAME	COMMON NAME	SIZE	TAG NUMBER
ACER SP.	MAPLE	11"	25

NOTE: 1. TO 1.01 C. TREE SPACING PLAN AND LOT C TREE BANKING NOTES SHEETS LC.1 AND LC.2.



**6 6'-0" HIGH FREESTANDING STONE WALL AND GATE**  
SCALE 1/2" = 1'-0"



THOMAS  
KLOPPE  
ASSOCIATES INC.  
LANDSCAPE ARCHITECTS

128 BLOOMINGDALE  
LOS ALTOS, CA 94022  
TEL: 650.951.1888  
WWW.TKAP.COM

VILLA DEL PRATO  
1280 VESTRISSE DRIVE  
LOS ALTOS, CA 94022  
CALIFORNIA 9149 3121

LOT C  
IMPERVIOUS  
SURFACE PLAN

DATE: 11/07/10  
DRAWN: PH, RM  
CHECKED: TK, RM  
SCALE: 1" = 20'-0"

LC.3

**IMPERVIOUS SURFACE CALCULATIONS**

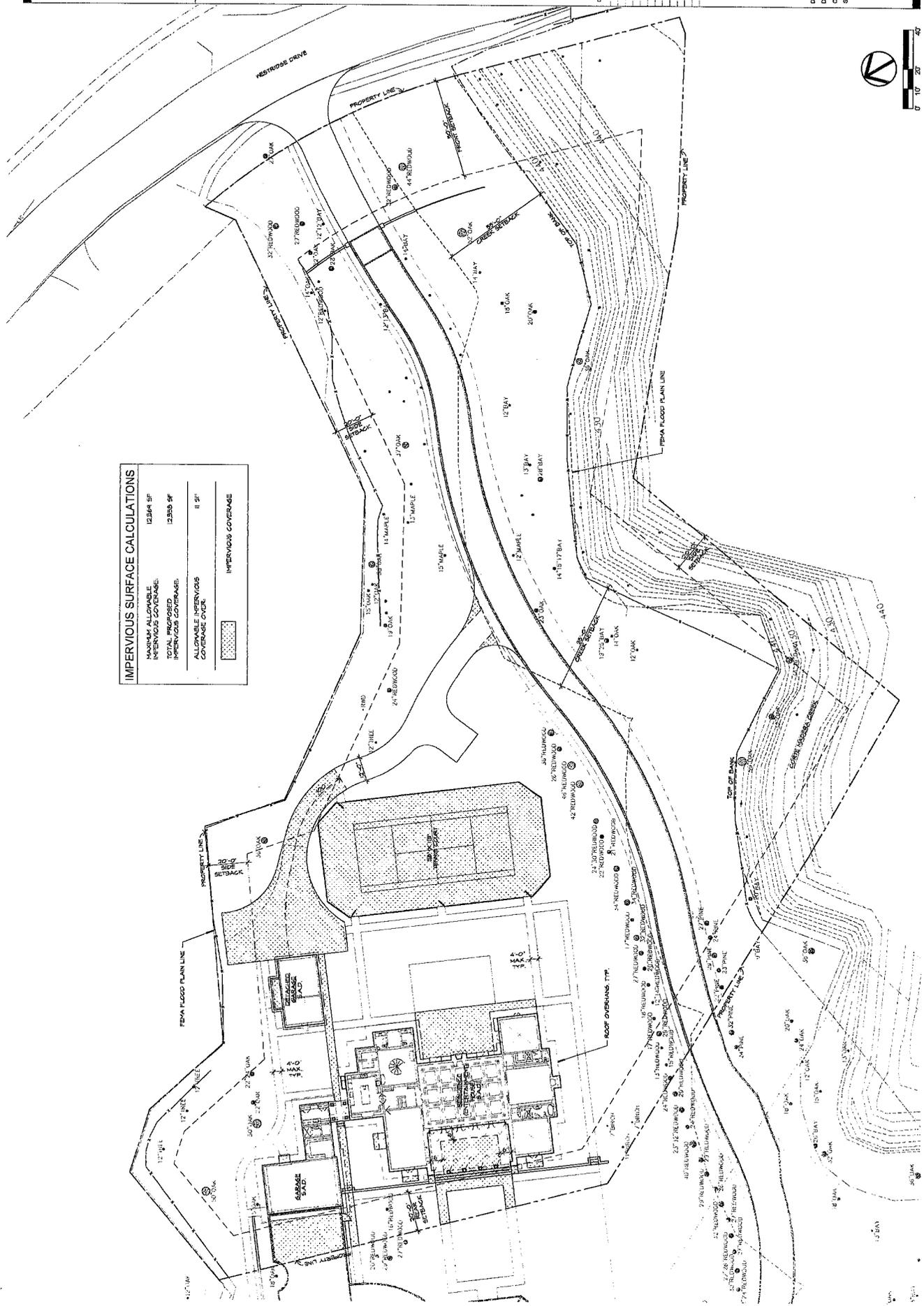
MAXIMUM ALLOWABLE IMPERVIOUS COVERAGE:	12364 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE:	12350 SF
ALLOWABLE IMPERVIOUS COVERAGE OTHER:	11 SF

**IMPERVIOUS COVERAGE**

ROOF OVERHANGS, TYP.

DECKED SAND

IMPERVIOUS COVERAGE





**THOMAS  
KLOPE  
ASSOCIATES INC.**  
LANDSCAPE ARCHITECTS

3300 WILSON AVENUE  
SUITE 100  
LOS ALTOS, CA 94024  
TEL: 650.951.1084  
WWW.TKASAP.COM

CALIFORNIA REG. NO. 2217

**VILLA DEL  
PRATO**  
2800 WINDRIDGE DRIVE  
LOS ALTOS, CA  
CALIFORNIA

DATE: REVISION:

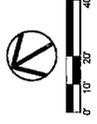
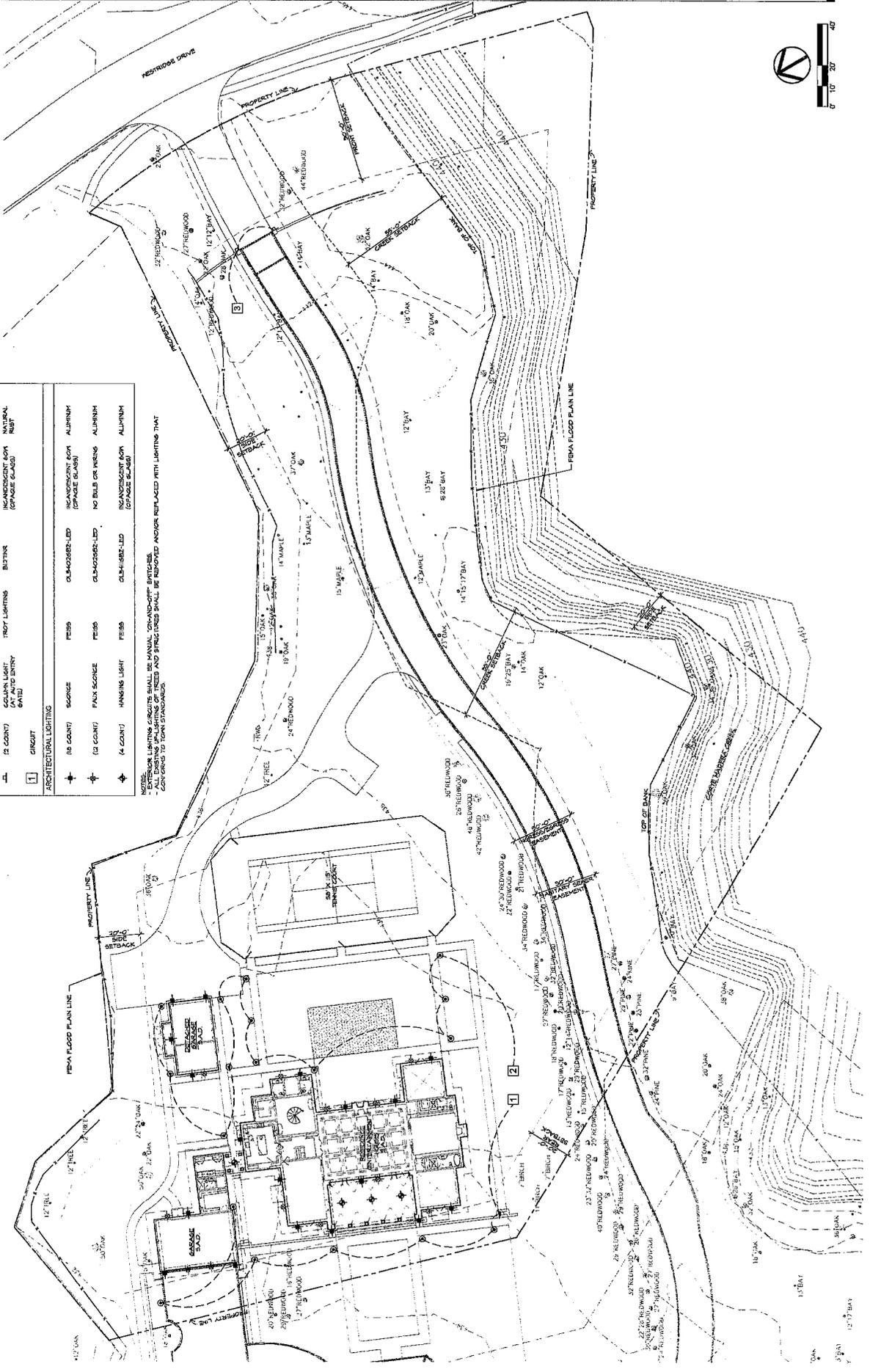
**LOT C  
EXTERIOR  
LIGHTING PLAN**

DATE: 11/08/18  
DRAWN: PM KM  
CHECKED: TK PM  
SCALE: 1" = 30'-0"

**LC.4**

EXTERIOR LIGHT FIXTURE SPECIFICATIONS						
SYMBOL	QUANTITY	ITEM	BRAND	MODEL	LAMP TYPE	FINISH
<b>LANDSCAPE LIGHTING</b>						
⊙	(8 COUNT)	PATH LIGHT	FX LUMINAIRE	FK	1 LED	ANTIQUE BRONZE
⊙	(1 COUNT)	STEP LIGHT	SP LIGHTING	SP-REB-SHUS	LED 2IN	BRONZE
⊙	(2 COUNT)	GROUND LIGHT 18" X 18" X 6" H	TROT LIGHTING	BOTHR	INCANDESCENT 80W (SPARE BULBS)	NATURAL MATERIAL
⊙	(4 COUNT)	ARCHITECTURAL LIGHTING			INCANDESCENT 80W (SPARE BULBS)	ALUMINUM
⊙	(6 COUNT)	SCENCE	FE59	OL-400582-LED	INCANDESCENT 80W (SPARE GLASS)	ALUMINUM
⊙	(2 COUNT)	PAUK SCENCE	FE59	OL-400582-LED	NO BULB OR FINISH	ALUMINUM
⊙	(4 COUNT)	HANGING LIGHT	FE59	OL-41485-LED	INCANDESCENT 80W (SPARE BULBS)	ALUMINUM

NOTES:  
- EXTERIOR LIGHTING CIRCUITS SHALL BE MANUAL ON/OFF SWITCHES.  
- ALL LIGHTING FIXTURES AND STRUCTURES SHALL BE REMOVED AND/OR REPLACED WITH LIGHTING THAT  
CONFORMS TO THIS SPECIFICATION.









**THOMAS KLOPE ASSOCIATES, INC.**  
 LANDSCAPE ARCHITECTS  
 1000 S. GARDEN AVENUE, SUITE 100  
 LOS ANGELES, CA 90024  
 TEL: 213.481.1000  
 WWW.TKASAP.COM  
 CALIFORNIA LICENSE 6111

**VILLA DEL PRATO**  
 2500 S. GARDEN DRIVE  
 PORTOLA VALLEY, CALIFORNIA

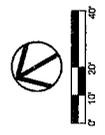
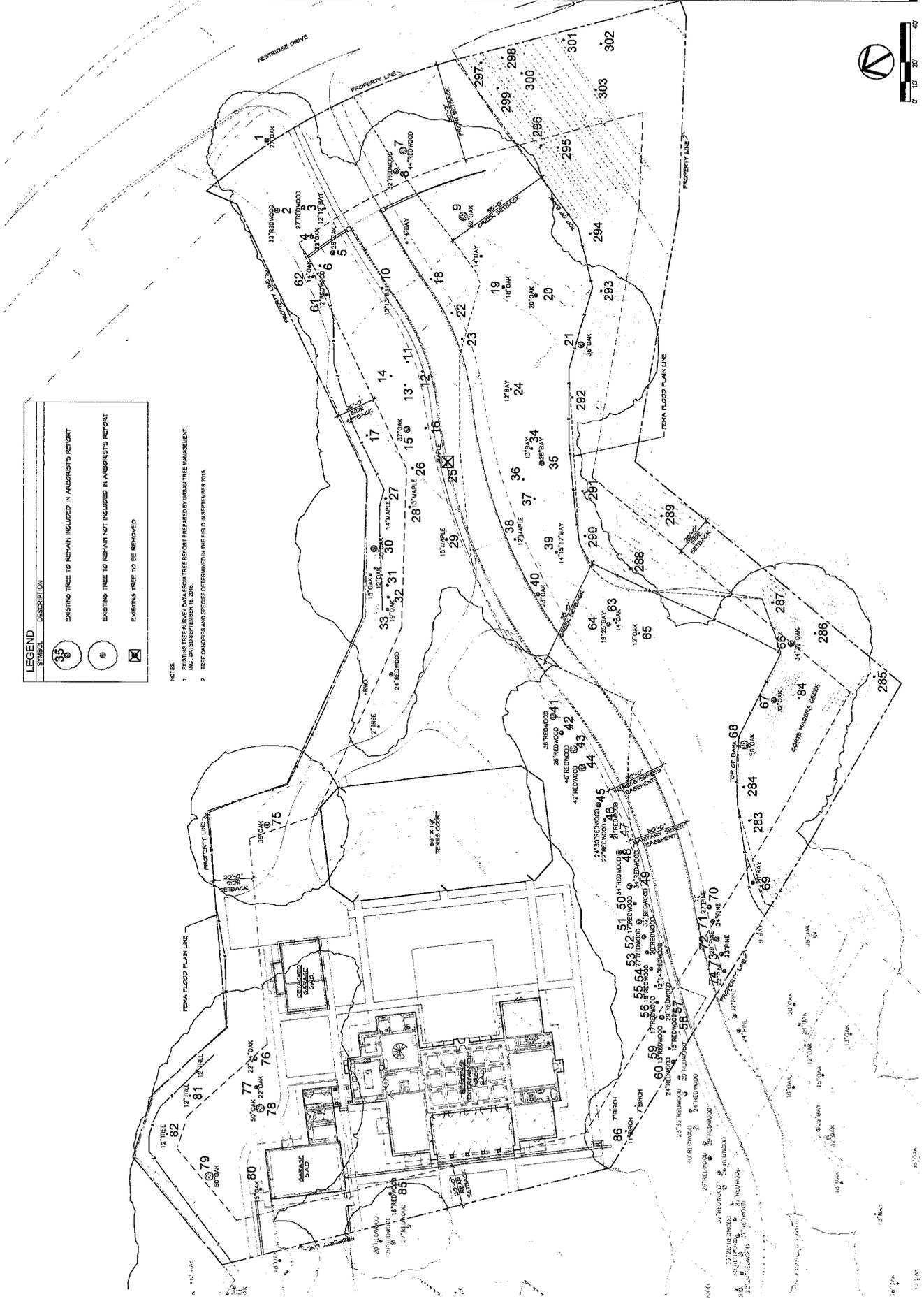
**LOT C  
 TREE STATUS  
 PLAN**

DATE: 11/07/16  
 DRAWN: PM KM  
 CHECKED: TK PM  
 SCALE: 1" = 20'-0"

LC.7

LEGEND	SYMBOL	DESCRIPTION
		EXISTING TREE TO REMAIN INCLUDED IN ARBORIST'S REPORT
		EXISTING TREE TO REMAIN NOT INCLUDED IN ARBORIST'S REPORT
		EXISTING TREE TO BE REMOVED

- NOTES
1. THIS TREE STATUS PLAN IS A TREE REPORT PREPARED BY URBAN TREE MANAGEMENT. ALL UNITS ARE SUBJECT TO FIELD VERIFICATION.
  2. TREE CATEGORIES AND SPECIES DETERMINED IN THE FIELD IN SEPTEMBER 2016.





**THOMAS  
KLOPE  
ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

1000 BELLINGHAM BLVD.  
SUITE 100  
DUBLIN, CA 94568  
TEL: 925-835-1818  
FAX: 925-835-1819  
CALIFORNIA: SLS # 2110

**VILLA DEL  
PRATO**  
20000 CALIFORNIA DRIVE  
PORTOLA VALLEY,  
CALIFORNIA

**LOT B TREE SURVEY INDEX** - EXISTING TREE SURVEY DATA FROM TREE REPORT PREPARED BY URBAN TREE MANAGEMENT, INC. DATED SEPTEMBER 16, 2016

THIS SURVEY WAS PERFORMED BY URBAN TREE MANAGEMENT, INC. ON 09/16/2016 AT THE ABOVE ADDRESS. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE CALIFORNIA TREE CARE BOARD (CTCB) STANDARDS AND PRACTICES. THE SURVEY DATA IS PROVIDED AS IS AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE SURVEY DATA AND FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

Address: 1000 BELLINGHAM BLVD., DUBLIN, CA 94568  
Date: 09/16/2016  
Scale: 1" = 40'

Map Scale: 1" = 40'  
North Arrow: True North

Legend:  
Symbol Description  
Symbol Description  
Symbol Description

Notes:  
1. All trees were measured and tagged.  
2. All trees were photographed and measured.  
3. All trees were identified to the lowest possible taxonomic level.

Tree ID: 1-100  
Tree Name: 1-100  
Circumference: 1-100  
Height: 1-100  
Condition: 1-100

Tree ID: 101-200  
Tree Name: 101-200  
Circumference: 101-200  
Height: 101-200  
Condition: 101-200

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Height: 201-300  
Condition: 201-300

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Condition: 2901-3000

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Condition: 3001-3100

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Tree ID: 3201-3300  
Tree Name: 3201-3300  
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Height: 3601-3700  
Condition: 3601-3700

Tree ID: 3701-3800  
Tree Name: 3701-3800  
Circumference: 3701-3800  
Height: 3701-3800  
Condition: 3701-3800

NOTE: THIS SURVEY WAS CONDUCTED FOR THE PURPOSES OF THE PROPOSED DEVELOPMENT AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE SURVEY DATA AND FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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CHECKED BY: [Name]  
SCALE: 1" = 40'

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DRAWN BY: [Name





















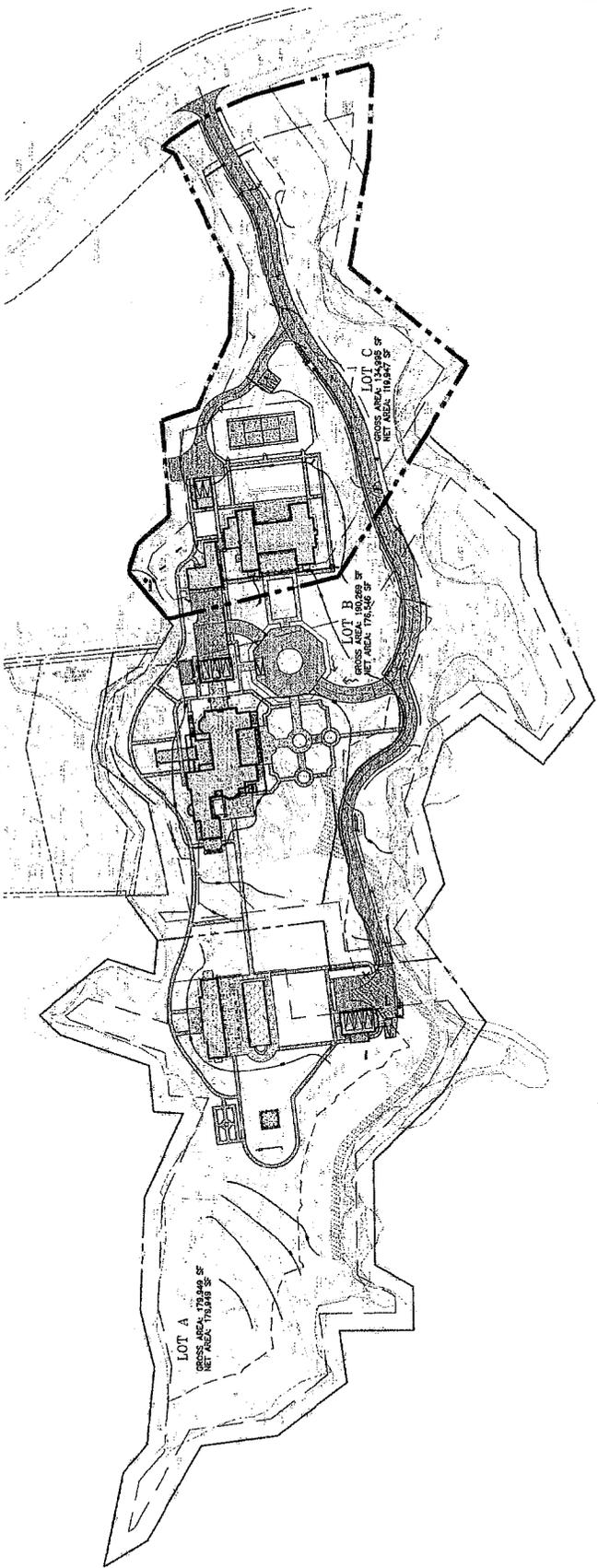
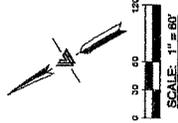
**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS - LAND SURVEYORS  
2425 HORTON ROAD, SUITE 100  
SAN JOSE, CALIFORNIA 95131  
(408) 261-1339  
(408) 261-1338  
WWW.LBEA.COM

**LOT C RESIDENCE  
(ENTERTAINMENT HOUSE)  
VILLA DEL PRATO  
PORTOLA VALLEY, CALIFORNIA**  
SAN MATEO COUNTY  
APRIL 07, 2010 - 2011

### "A.S.C.C." OVERALL SITE PLAN

DATE	11-10-10
SCALE	1"=60'
DRAWN BY	AK
CHECKED BY	AK
DATE	11-10-10
JOB NO.	2-10527
REVISIONS	

**C-2.0**  
1 OF 3 SHEETS







LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS AND SURVEYORS  
 10005 KENNEDY BLVD., SUITE 100  
 MIAMI, FLORIDA 33156  
 (305) 551-1111  
 WWW.LEABRAZE.COM

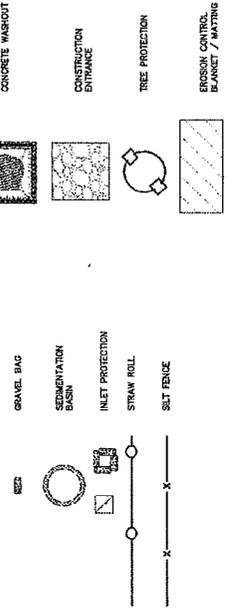
LOT C RESIDENCE  
 (ENTERTAINMENT HOUSE)  
 VILLA DEL PRATO  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07-09-C-203

"A.S.C.C." EROSION CONTROL PLAN

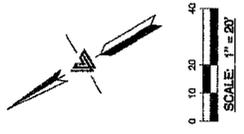
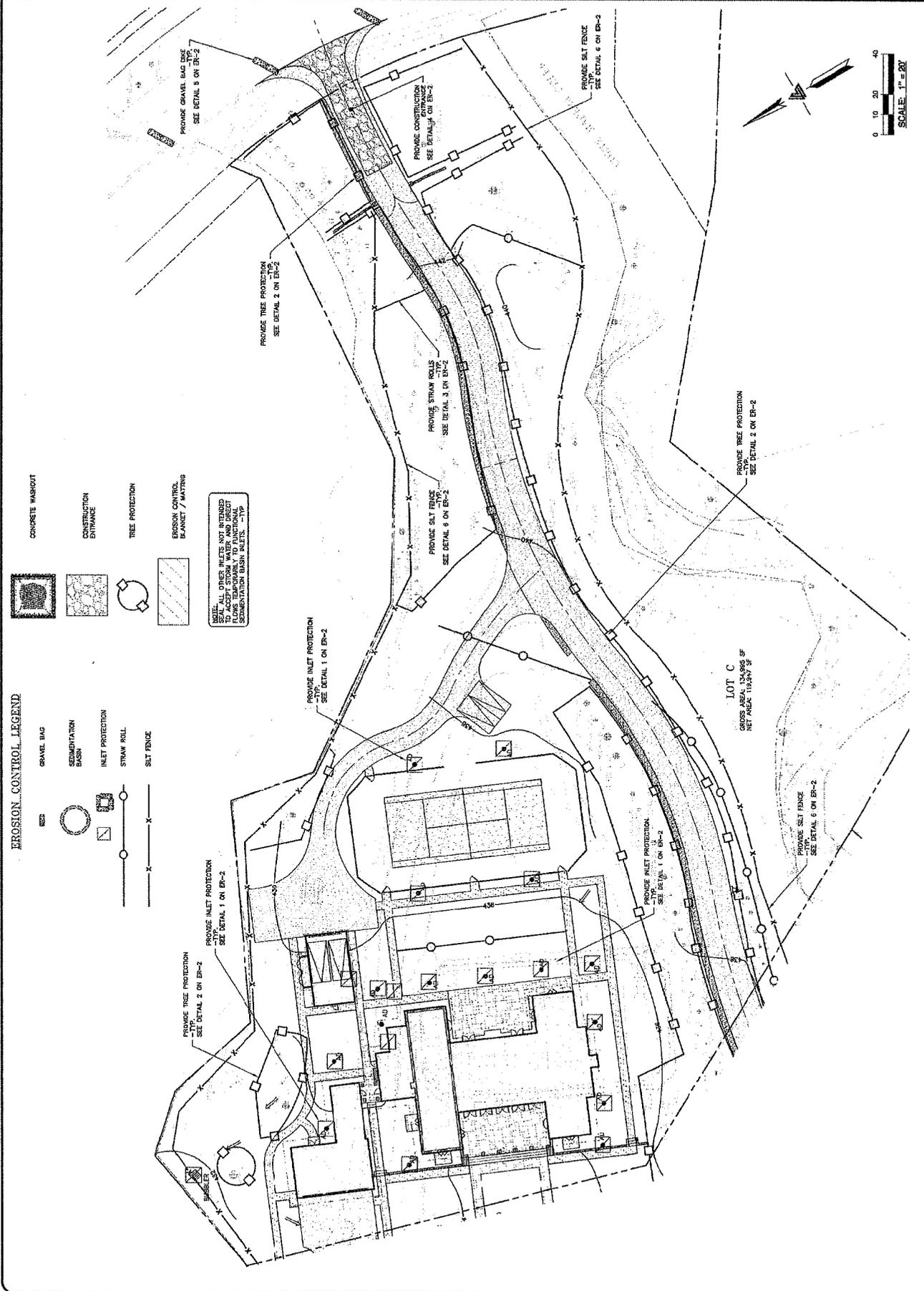
PROJECT NO.	2140537
DATE	11.10.14
SCALE	1"=20'
DRAWN BY	AK
CHECKED BY	AK
SHEET NO.	1

ER-1  
 4 OF 5 SHEETS

EROSION CONTROL LEGEND



NOTE: ALL OTHER INLETS NOT IN THIS PLAN SHALL BE TEMPORARILY TO HANDMADE SEDIMENTATION BASIN INLETS. -TYP









**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERING AND SURVEYING  
 2455 HIGHLAND PARK WEST  
 HAYWARD, CALIFORNIA 94545  
 (925) 887-4085  
 (925) 887-2019  
 WWW.LEABRAZE.COM

**VILLA DEL PRATO**  
**1260 WESTIDGE DRIVE**  
**PORTOLA VALLEY, CALIFORNIA**  
 SAN MATEO COUNTY  
 APR 07-050-200

**TOPOGRAPHIC SURVEY**

JOB NO.	2740337
DATE	0-24-11
SCALE	AS NOTED
DESIGN BY	
DRAWN BY	
SHEET NO.	

**2**  
 2 OF 2 SHEETS





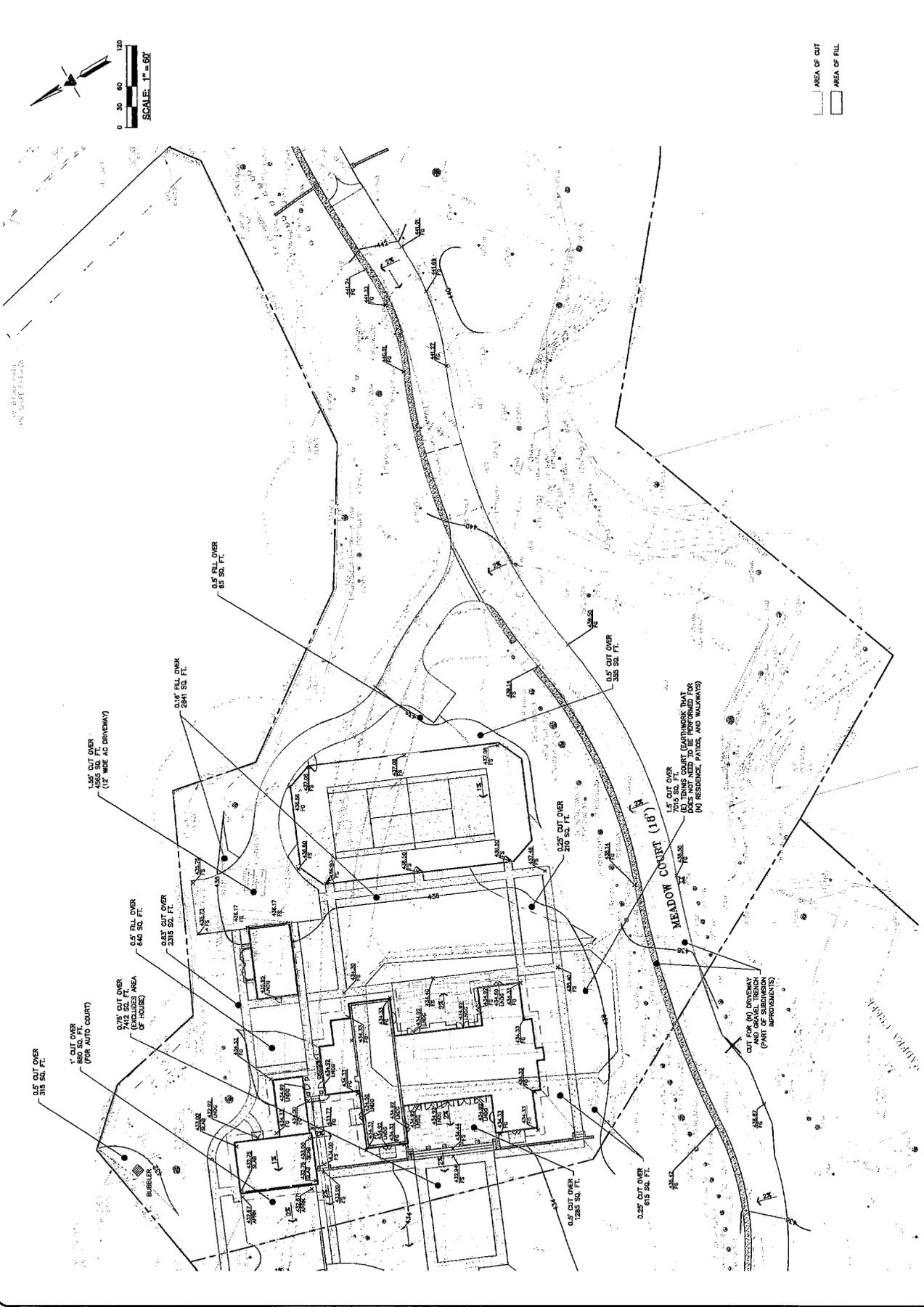
LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS • LAND SURVEYORS  
 2017 DORRIS BLVD., # 200  
 SAN ANTONIO, TEXAS 78204  
 (512) 382-1234  
 (512) 382-1235  
 (512) 857-2015  
 WWW.LEABRAZE.COM

1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY,  
 CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07-09-200

"A.S.C.C."  
 EARTHWORKS EXHIBIT  
 LOT C

REVISIONS BY:	
JOB NO.:	2100257
DATE:	11-8-18
SCALE:	
DESIGN BY:	AK
DRAWN BY:	ATL
SHEET NO.:	

EX-1  
 1 OF 1 SHEETS



# CONSTRUCTION STAGING & DEMOLITION EXHIBIT 1260 WESTRIDGE DRIVE PORTOLA VALLEY, CALIFORNIA

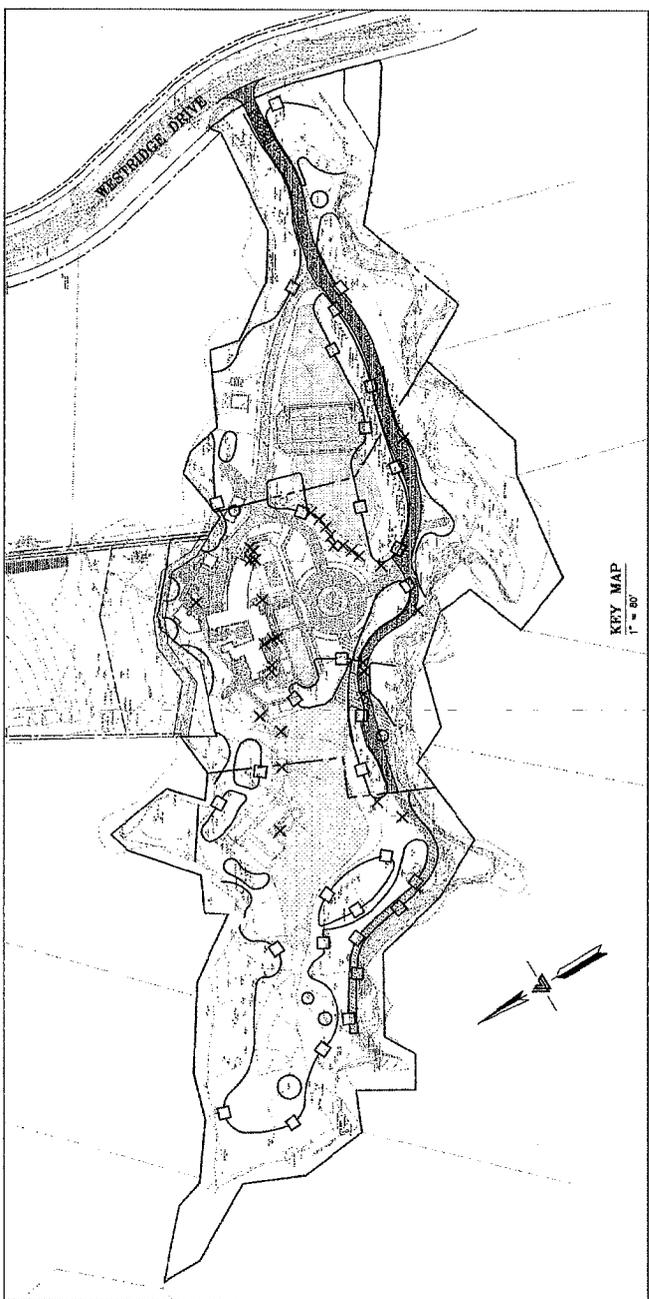


LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS  
1500 UNIVERSITY AVENUE, SUITE #100  
PALO ALTO, CA 94301  
(415) 952-1008  
WWW.LEABRAZE.COM

VILLA DEL PRATO  
1260 WESTRIDGE DRIVE  
PORTOLA VALLEY, CALIFORNIA  
SAN MATEO COUNTY  
APR. 07-000-202

TITLE SHEET

EX-1  
1 OF 2 SHEETS



KEY MAP  
1" = 80'

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	OVERHEAD UTILITY LINE
---	---	SUBURBAN LINE
---	---	TORULINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY CUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	FIRE HYDRANT
---	---	JOINT POLE
---	---	PULL BOX
---	---	FLOW DIRECTION
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	PARKING SPACE
---	---	SILT FENCE
---	---	TREE PROTECTION

### ABBREVIATIONS

AG	AGGREGATE	AS	ASPHALT
AC	ASPHALT CONCRETE	AS	ASPHALT SURFACE
AD	ASBESTOS	AS	ASBESTOS
AE	AREA DRAIN	AS	ASBESTOS
AF	AREA FINISH	AS	ASBESTOS
AG	AGGREGATE	AS	ASBESTOS
AI	AREA INLET	AS	ASBESTOS
AL	AREA LAYOUT	AS	ASBESTOS
AM	AREA MATERIAL	AS	ASBESTOS
AN	AREA NETWORK	AS	ASBESTOS
AO	AREA OFFSET	AS	ASBESTOS
AP	AREA PLANTING	AS	ASBESTOS
AQ	AREA QUANTITY	AS	ASBESTOS
AR	AREA RADIUS	AS	ASBESTOS
AS	ASBESTOS	AS	ASBESTOS
AT	AREA TRENCH	AS	ASBESTOS
AV	AREA VENT	AS	ASBESTOS
AW	AREA WALL	AS	ASBESTOS
AX	AREA X-CROSS	AS	ASBESTOS
AY	AREA Y-CROSS	AS	ASBESTOS
AZ	AREA Z-CROSS	AS	ASBESTOS
BA	BENCHMARK	AS	ASBESTOS
BB	BENCH MARK	AS	ASBESTOS
BC	BENCH MARK	AS	ASBESTOS
BD	BENCH MARK	AS	ASBESTOS
BE	BENCH MARK	AS	ASBESTOS
BF	BENCH MARK	AS	ASBESTOS
BG	BENCH MARK	AS	ASBESTOS
BH	BENCH MARK	AS	ASBESTOS
BI	BENCH MARK	AS	ASBESTOS
BJ	BENCH MARK	AS	ASBESTOS
BK	BENCH MARK	AS	ASBESTOS
BL	BENCH MARK	AS	ASBESTOS
BM	BENCH MARK	AS	ASBESTOS
BN	BENCH MARK	AS	ASBESTOS
BO	BENCH MARK	AS	ASBESTOS
BP	BENCH MARK	AS	ASBESTOS
BQ	BENCH MARK	AS	ASBESTOS
BR	BENCH MARK	AS	ASBESTOS
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BU	BENCH MARK	AS	ASBESTOS
BV	BENCH MARK	AS	ASBESTOS
BW	BENCH MARK	AS	ASBESTOS
BX	BENCH MARK	AS	ASBESTOS
BY	BENCH MARK	AS	ASBESTOS
BZ	BENCH MARK	AS	ASBESTOS
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CB	CATCH BASIN	AS	ASBESTOS
CC	CATCH BASIN	AS	ASBESTOS
CD	CATCH BASIN	AS	ASBESTOS
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CG	CATCH BASIN	AS	ASBESTOS
CH	CATCH BASIN	AS	ASBESTOS
CI	CATCH BASIN	AS	ASBESTOS
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CK	CATCH BASIN	AS	ASBESTOS
CL	CATCH BASIN	AS	ASBESTOS
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CN	CATCH BASIN	AS	ASBESTOS
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CT	CATCH BASIN	AS	ASBESTOS
CU	CATCH BASIN	AS	ASBESTOS
CV	CATCH BASIN	AS	ASBESTOS
CW	CATCH BASIN	AS	ASBESTOS
CX	CATCH BASIN	AS	ASBESTOS
CY	CATCH BASIN	AS	ASBESTOS
CZ	CATCH BASIN	AS	ASBESTOS
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DB	DRAINAGE AREA	AS	ASBESTOS
DC	DRAINAGE AREA	AS	ASBESTOS
DD	DRAINAGE AREA	AS	ASBESTOS
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DF	DRAINAGE AREA	AS	ASBESTOS
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DK	DRAINAGE AREA	AS	ASBESTOS
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DP	DRAINAGE AREA	AS	ASBESTOS
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DU	DRAINAGE AREA	AS	ASBESTOS
DV	DRAINAGE AREA	AS	ASBESTOS
DW	DRAINAGE AREA	AS	ASBESTOS
DX	DRAINAGE AREA	AS	ASBESTOS
DY	DRAINAGE AREA	AS	ASBESTOS
DZ	DRAINAGE AREA	AS	ASBESTOS
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EC	EDGE AREA	AS	ASBESTOS
ED	EDGE AREA	AS	ASBESTOS
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EH	EDGE AREA	AS	ASBESTOS
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EJ	EDGE AREA	AS	ASBESTOS
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EX	EDGE AREA	AS	ASBESTOS
EY	EDGE AREA	AS	ASBESTOS
EZ	EDGE AREA	AS	ASBESTOS
FA	FLOOR AREA	AS	ASBESTOS
FB	FLOOR AREA	AS	ASBESTOS
FC	FLOOR AREA	AS	ASBESTOS
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FH	FLOOR AREA	AS	ASBESTOS
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GX	GAS AREA	AS	ASBESTOS
GY	GAS AREA	AS	ASBESTOS
GZ	GAS AREA	AS	ASBESTOS
HA	HIGH AREA	AS	ASBESTOS
HB	HIGH AREA	AS	ASBESTOS
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HZ	HIGH AREA	AS	ASBESTOS
IA	INTERIOR AREA	AS	ASBESTOS
IB	INTERIOR AREA	AS	ASBESTOS
IC	INTERIOR AREA	AS	ASBESTOS
ID	INTERIOR AREA	AS	ASBESTOS
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IF	INTERIOR AREA	AS	ASBESTOS
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IH	INTERIOR AREA	AS	ASBESTOS
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IW	INTERIOR AREA	AS	ASBESTOS
IX	INTERIOR AREA	AS	ASBESTOS
IY	INTERIOR AREA	AS	ASBESTOS
IZ	INTERIOR AREA	AS	ASBESTOS
JA	JUNCTION AREA	AS	ASBESTOS
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JD	JUNCTION AREA	AS	ASBESTOS
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KZ	KITCHEN AREA	AS	ASBESTOS
LA	LIVING AREA	AS	ASBESTOS
LB	LIVING AREA	AS	ASBESTOS
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LD	LIVING AREA		





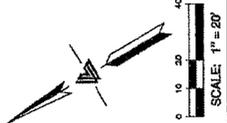
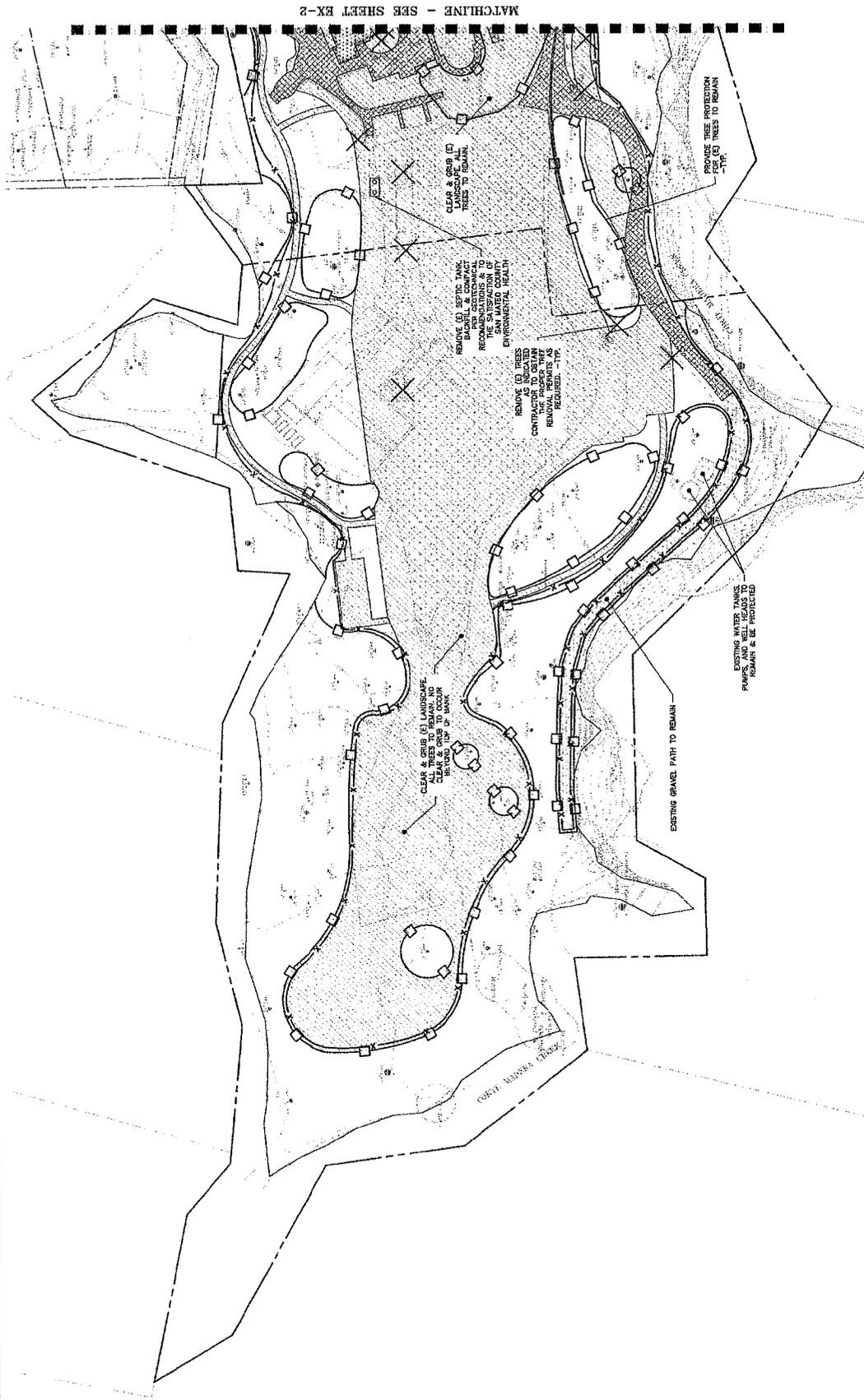
LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS • LAND SURVEYORS  
 2400 W. BROADWAY  
 HOUSTON, TEXAS 77057  
 (713) 966-1200  
 (713) 966-1200  
 WWW.LEABRAZE.COM

VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07, 050 205

DEMOLITION PLAN

DATE	11.10.11
SCALE	1"=20'
DESIGN BY	AK
DRAWN BY	AKL
SHEET NO.	
NO. OF SHEETS	3 OF 7

**EX-3**  
 3 OF 7 SHEETS



HATCH LEGEND

- REMOVE (E) IMPROVEMENTS
- CLEAR & GRUB AREAS FOR (N) CONSTRUCTION. REMOVE ALL PLANT MATERIAL AND PAVEMENT. REMOVE ALL UTILITIES UNLESS OTHERWISE NOTED.
- REMOVE (E) TREES AS INDICATED. OBTAIN ALL NECESSARY PERMITS. SEE ALL UTILITIES BEFORE CONSTRUCTION.

**NOTE:**  
 REMOVE ALL LANDSCAPE IRRIGATION ON SITE.  
 REMOVE ALL ELECTRICAL AND COMMUNICATION LINES.  
 ALL UTILITIES TO REMAIN OR TO BE ABANDONED IN PLACE IN CONSTRUCTION SHALL BE INDICATED BY A DASHED LINE.  
 REMOVE ALL (E) ON-SITE STORM DRAIN IMPROVEMENTS.  
 REMOVE ALL SEWER IMPROVEMENTS ON SITE.  
 A SEPARATE PERMIT IS REQUIRED BY SAN MATEO COUNTY ENVIRONMENTAL HEALTH DEPARTMENT WHERE THEY CONFLICT WITH PROPOSED BUILDINGS OR UTILITIES. A SEPARATE PERMIT IS REQUIRED BY SAN MATEO COUNTY.



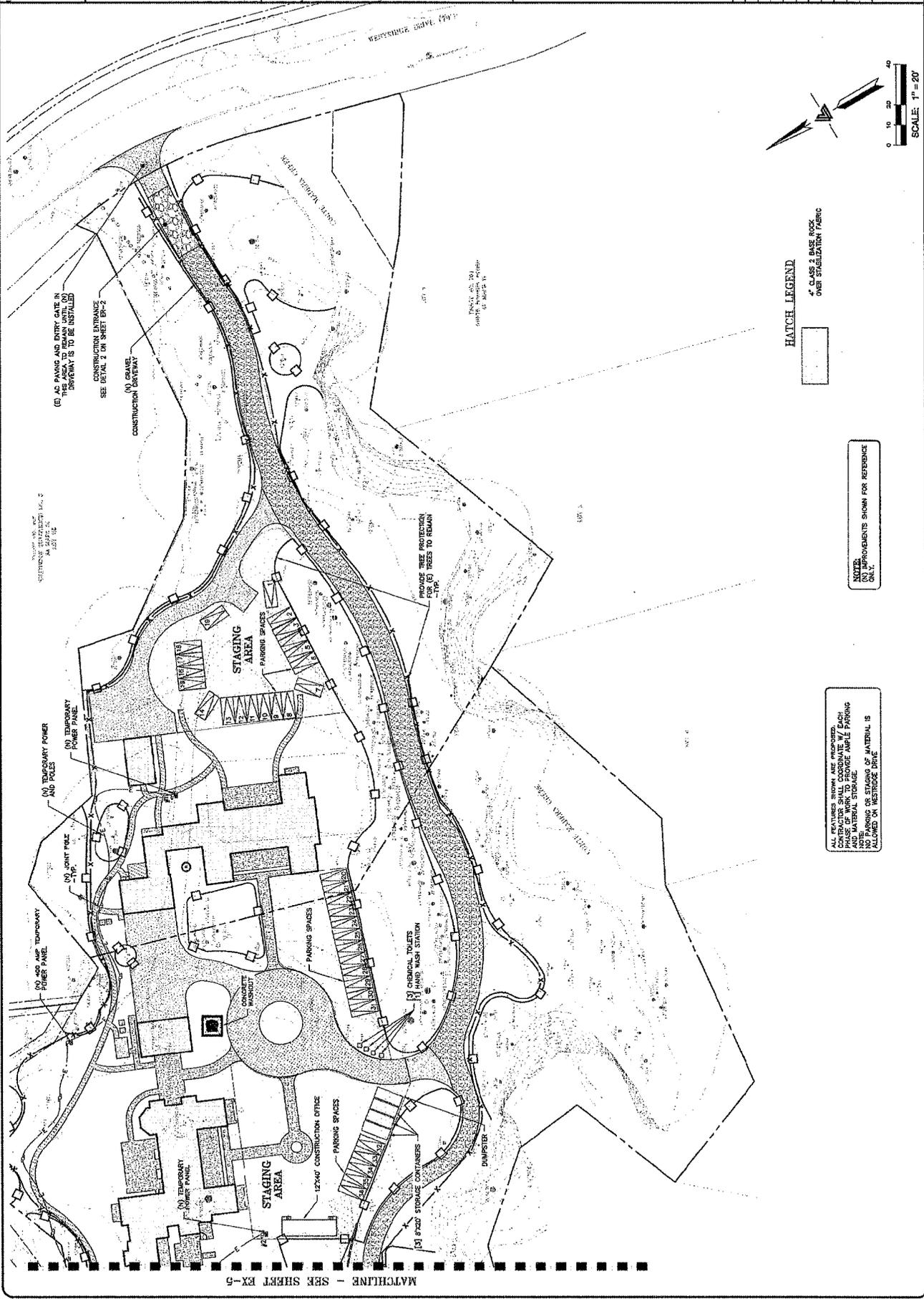
**LEA & BRAZ ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 2425 REDWOOD BLVD. WEST  
 SACRAMENTO, CA 95833  
 (916) 487-4000  
 (916) 487-4006  
 (916) 487-4008  
 (916) 487-4009  
 (916) 487-4010  
 (916) 487-4011  
 (916) 487-4012  
 (916) 487-4013  
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 (916) 487-4025  
 (916) 487-4026  
 (916) 487-4027  
 (916) 487-4028  
 (916) 487-4029  
 (916) 487-4030

**VILLA DEL PRATO**  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07. 050. 207

**CONSTRUCTION**  
**STAGING PLAN**

DESIGN NO.	2140027
DATE	11.10.14
SCALE	1"=20'
DESIGNER	AK
DRAWN BY	ATL
SHEET NO.	
REVISED	
BY	

**EX-4**  
 4 OF 7 SHEETS





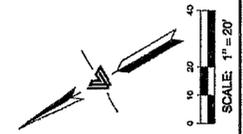
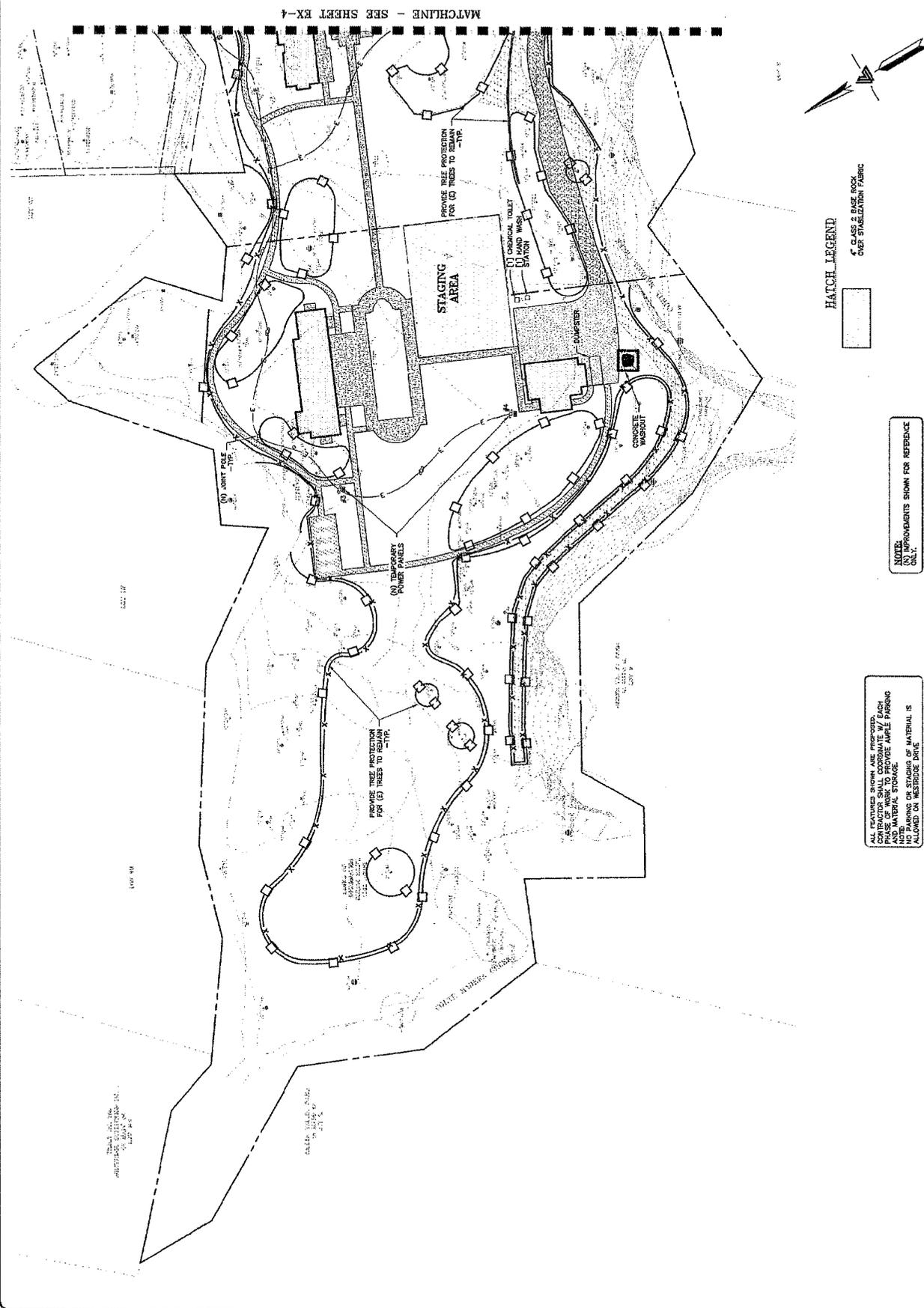
LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS AND SURVEYORS  
 SACRAMENTO REGION  
 2425 REDWOOD BLVD. WEST  
 ROSVILLE, CA 95747  
 (916) 938-1138  
 (916) 938-0519  
 WWW.LEABRAZE.COM

VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07 09 09

CONSTRUCTION  
 STAGING PLAN

DESIGN NO.	210057
DATE	11.19.16
SCALE	1"=20'
DESIGNER	ML
DRAWN BY	ATL
SHEET NO.	

**EX-5**  
 5 OF 7 SHEETS



**HATCH LEGEND**

4" CLASS 2 BASE ROCK  
 OVER STABILIZATION FABRIC

**NOTES**  
 ONLY IMPROVEMENTS SHOWN FOR REFERENCE ONLY.

ALL FEATURES SHOWN ARE PROPOSED.  
 PHASE OF WORK TO PROVIDE AMPLE PARKING AND MATERIAL STORAGE.  
 NO PARKING OR STAGING OF MATERIAL IS ALLOWED ON WESTRIDGE DRIVE.

MATCHLINE - SEE SHEET EX-4

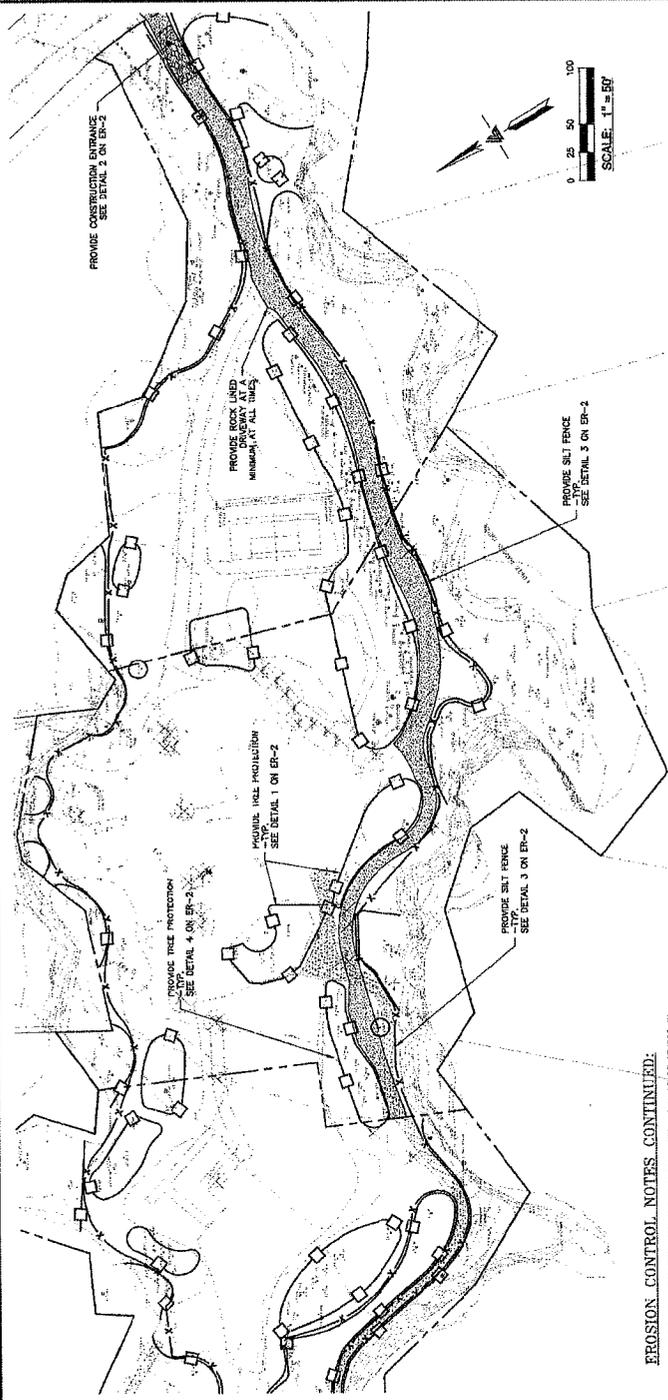


**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS AND SURVEYORS  
 2435 BROADWAY, SUITE 100  
 OAKLAND, CALIFORNIA 94612  
 (415) 763-1234  
 WWW.LEABRAZE.COM

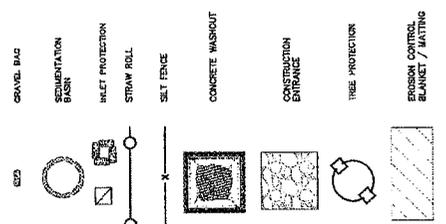
VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07. 05. 2015

**EROSION CONTROL PLAN**

DATE	11.10.15
SCALE	AS SHOWN
DESIGN BY	AS
DRWING BY	AS
SHEET NO.	ER-1



**EROSION CONTROL LEGEND**



**EROSION CONTROL MEASURES:**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND PREVENT EROSION AND SEDIMENTATION FROM LEAVING THE CONSTRUCTION SITE. MEASURES IMMEDIATELY FOLLOWING GRADING OF THE SLOPES.
2. SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES SHALL BE AS SHOWN ON THIS PLAN. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. ALL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.
4. ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEDED. OTHER EROSION CONTROL MEASURES SHALL BE APPLIED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING THE CONSTRUCTION SITE.
5. SEDIMENTATION BASINS SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.
6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THE PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
7. THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
8. STORM DRAINAGE SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.

**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING THE CONSTRUCTION SITE. THIS PLAN IS TO BE USED TO CONTROL EROSION AND SEDIMENTATION FROM LEAVING THE CONSTRUCTION SITE. THIS PLAN IS TO BE USED TO CONTROL EROSION AND SEDIMENTATION FROM LEAVING THE CONSTRUCTION SITE.

**EROSION CONTROL NOTES:**

1. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
3. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF DIRT, DEBRIS, AND OTHER MATERIALS THAT MAY BE WASHED INTO THE DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATERWAYS.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION FROM CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED AT ALL TIMES.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
8. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY NOVEMBER 15TH.
9. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LATER.
10. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY UNTIL THE EROSION CONTROL MEASURES ARE MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LATER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
13. MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATED DEBRIS, DIRT, OR OTHER MATERIALS FROM THE SITE. ALL PUBLIC AREAS SHALL BE KEPT CLEAR OF DIRT, DEBRIS, AND OTHER MATERIALS.
14. EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THROUGH APRIL 15TH.
15. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LATER.
16. PLANS SHALL BE DESIGNED TO MEET ALL REQUIREMENTS OF THE MUNICIPAL WATER REVENUE PERMIT (MWRP) WHEN PERMIT IS OBTAINED.
17. CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
18. THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
19. THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN AND SAFE CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
20. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLES. ALL VEHICLES SHALL BE KEPT CLEAN AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLES.
21. THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK RIPPED SAND BAGS, TEMPORARY EROSION CONTROL MEASURES, AND EARTH FENCE IN COMBINATION OF ALL MEASURES.
22. EXPOSED MATERIALS SHALL BE COVERED WITH A NATURAL GROUND COVER ESTABLISHED OR IT IS SEEDING OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FINAL GRADING OF THE SITE.
23. RIGHT-OF-WAY ANY OTHER DRAINAGE SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.
24. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.

**EROSION CONTROL NOTES CONTINUED:**

24. PILES, GIRDERS, SANDWITS AND OTHER TOOLS MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LABELING AND ARE NOT TO CONTAMINATE THE SOIL AND WATER. ALL MATERIALS SHALL BE KEPT CLEAN AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLES.
25. DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
26. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED IMMEDIATELY FOLLOWING COMPLETION OF THE WORK.

**PERIODIC MAINTENANCE:**

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. EACH STORM AND REPAIRS SHALL BE MADE IMMEDIATELY AFTER EACH STORM AND REPAIRS SHALL BE MADE IMMEDIATELY AFTER EACH STORM.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL CAPACITY WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND GULLIES MUST BE REPAIRED.
  - G. GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT ACCUMULATES TO A DEPTH OF 6 INCHES OR MORE.
  - H. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL CAPACITY WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
2. CONSTRUCTION ENTRANCES SHALL BE REPAIRED AS NECESSARY FOLLOWING EACH STORM AND REPAIRS SHALL BE MADE IMMEDIATELY AFTER EACH STORM.
3. CONSTRUCTION ENTRANCES SHALL BE REPAIRED AS NECESSARY FOLLOWING EACH STORM AND REPAIRS SHALL BE MADE IMMEDIATELY AFTER EACH STORM.
4. ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION.

NOTE: ALL LINEAR INLETS MAY BE INSTALLED TO ACCEPT STORM WATER AND DIRECT FLOWS THROUGH BASINS INTO THE DRAINAGE SYSTEM.

NOTE: CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.



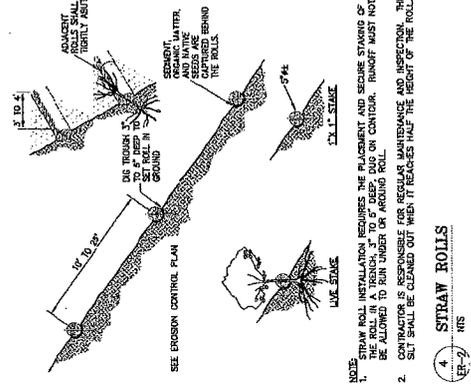
LEA & BRAZE ENGINEERING, INC.  
 CIVIL ENGINEERS & LAND SURVEYORS  
 2072 ORANGE BLVD., SUITE 200  
 CHICKEN BRANCH, CALIFORNIA 92625  
 (714) 941-1888 (F) (949) 449-1888 (T)  
 WWW.LEA-BRAZE.COM

VILLA DEL PRATO  
 1260 WESTRIDGE DRIVE  
 PORTOLA VALLEY, CALIFORNIA  
 SAN MATEO COUNTY  
 APR. 07, 2024

EROSION CONTROL  
 DETAILS

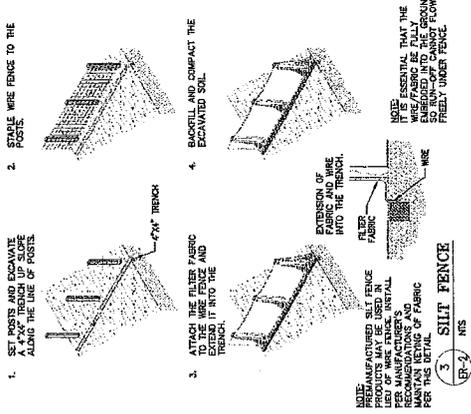
NO.	1	2	3	4
REVISIONS				
JOB NO.	2400277			
DATE	11.10.24			
SCALE	AS NOTED			
DRAWN BY	ATL			
CHECKED BY	ATL			
SHEET NO.	ER-2			

7 OF 7 SHEETS



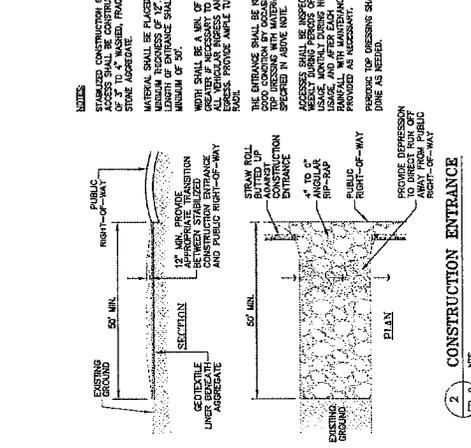
**NOTE:**  
 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF ROLLS TO BE ALLOWED TO RUN UNDER OR AGAINST ROLL.  
 2. CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE SILT SHALL BE CLEANED OUT WHEN IT REACHES HALF THE HEIGHT OF THE ROLL.

4 STRAW ROLLS  
 ER-2



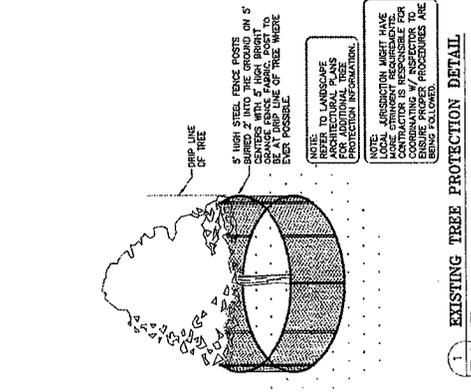
**NOTE:**  
 1. MANUFACTURED SILT FENCE PRODUCTS MAY BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND PER THIS DETAIL.

3 SILT FENCE  
 ER-2



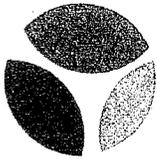
**NOTES:**  
 1. STANDARD CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED USING STONE, BRICK, FRACTURED MATERIAL SHALL BE PLACED TO A MINIMUM DEPTH OF 12\"/>

2 CONSTRUCTION ENTRANCE  
 ER-2



**NOTE:** TO LARGEST ARCHITECTURAL PLANS FOR ADDITIONAL SIZE INFORMATION.  
 LOCAL JURISDICTION MIGHT HAVE MORE STRINGENT REQUIREMENTS. COORDINATING W/ INSPECTOR TO ENSURE PROPER PROCEDURES ARE BEING FOLLOWED.

4 EXISTING TREE PROTECTION DETAIL  
 ER-2



urbantree management inc.

11/21/16

1260 Westridge Rd.  
Portola Valley, CA 94028

Re: **Garage Construction near Oaks**

To Whom It May Concern:

### Assignment

It was my assignment to review the Oaks surrounding the proposed garage plans for Lot C (LC.6 11/10/16) and comment on the effect on the trees.

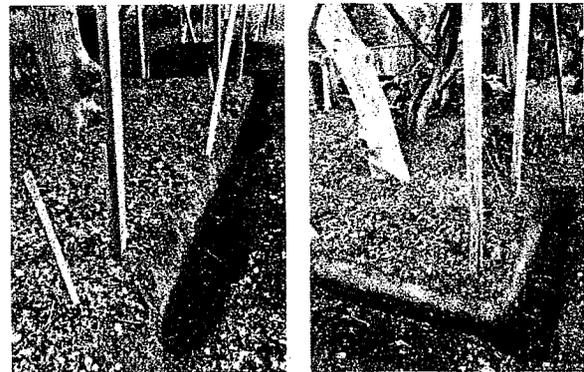
### Summary

I have been working carefully with the design team and advising them on how best to accomplish their goals and protect the trees. We have carefully looked at the trees and considered the impact to the trees. I believe this project can be built as designed with some additional tree protection measures and mitigation.

### Discussion

There are five Coast Live Oaks near the proposed construction for Lot C (trees #: 76- 80). The encroachment under the tree canopies for four of the five trees is within Industry Standards (less than 20%). Thomas Klope's office has prepared an encroachment study for illustration (Oak Tree Exhibit 11/21/16). With this illustration, and the fact that all of the trees in this area are currently in Good Health, the construction can take place without fear of harming the trees. I recommend the Tree Protection Fencing in this area be installed 3' away from all construction activities on the trunk side of the tree (walls, footing, etc. closest to the trees) in order to protect as much of the Root Zone as possible. All work within the Tree Protection Fencing shall be overseen by a Certified Arborist. All other Tree Protection Measures must be followed, as per our original Tree Survey.

The fifth tree (#80) has a 39% encroachment due to garage construction. This level of encroachment exceeds Industry Standards and so I asked the Team to carefully excavate the proposed garage foundation so I could further assess the impacts to this Oak (see images to right). This Oak was once a double leader tree, but one of the leaders tore out many years ago. This tree also leans and is suppressed by the



1 | Page

larger tree behind it (#79). The Owners and Team may wish to retain tree #80, but it should be considered for removal just based upon its own poor merits. The Owner does not currently wish to remove any trees on site, however.

The roots that were exposed during the exploratory trenching for tree #80 reveal a series of small roots (1" diameter and smaller). Cleanly cutting these roots and installing the proposed garage will not kill tree #80. If all of the other mitigation measures are followed in the original Tree Survey, then this tree will be able to remain and the building will be able to be constructed.

Please contact me should you have any further questions.

Respectfully,

A handwritten signature in black ink, appearing to read "Michael P. Young". The signature is fluid and cursive, with a large loop at the end of the last name.

Michael P. Young



urbantreemanagement inc.

### ASSUMPTIONS AND LIMITING CONDITIONS

1. Any legal description provided to this arborist is assumed to be correct. No responsibility is assumed for matters legal in character nor is any opinion rendered as to the quality of any title.
2. This arborist can neither guarantee nor be responsible for accuracy of information provided by others.
3. This arborist shall not be required to give testimony or to attend court by reason of the information provided by this arborist unless subsequent written arrangements are made, including payment of an additional fee for services.
4. Loss or removal of any part of this report invalidates the entire report.
5. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person(s) to whom it is addressed without written consent of this arborist.
6. This report and the values expressed herein represent the opinion of this arborist, and this arborist's fee is in no way contingent upon the reporting of a specified value nor upon any finding to be reported.
7. Sketches, diagrams, graphs, photos, etc., in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys.
8. This report has been made in conformity with acceptable appraisal/evaluation/diagnostic reporting techniques and procedures, as recommended by the International Society of Arboriculture.
9. When applying any pesticide, fungicide, or herbicide, always follow label instructions.
10. No tree described in this report was climbed, unless otherwise stated. This arborist cannot take responsibility for any defects which could only have been discovered by climbing. A full root collar inspection, consisting of excavating the soil around the tree to uncover the root collar and major buttress roots, was not performed, unless otherwise stated. This arborist cannot take responsibility for any root defects which could only have been discovered by such an inspection.

### ARBORIST DISCLOSURE STATEMENT

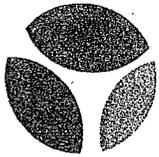
Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

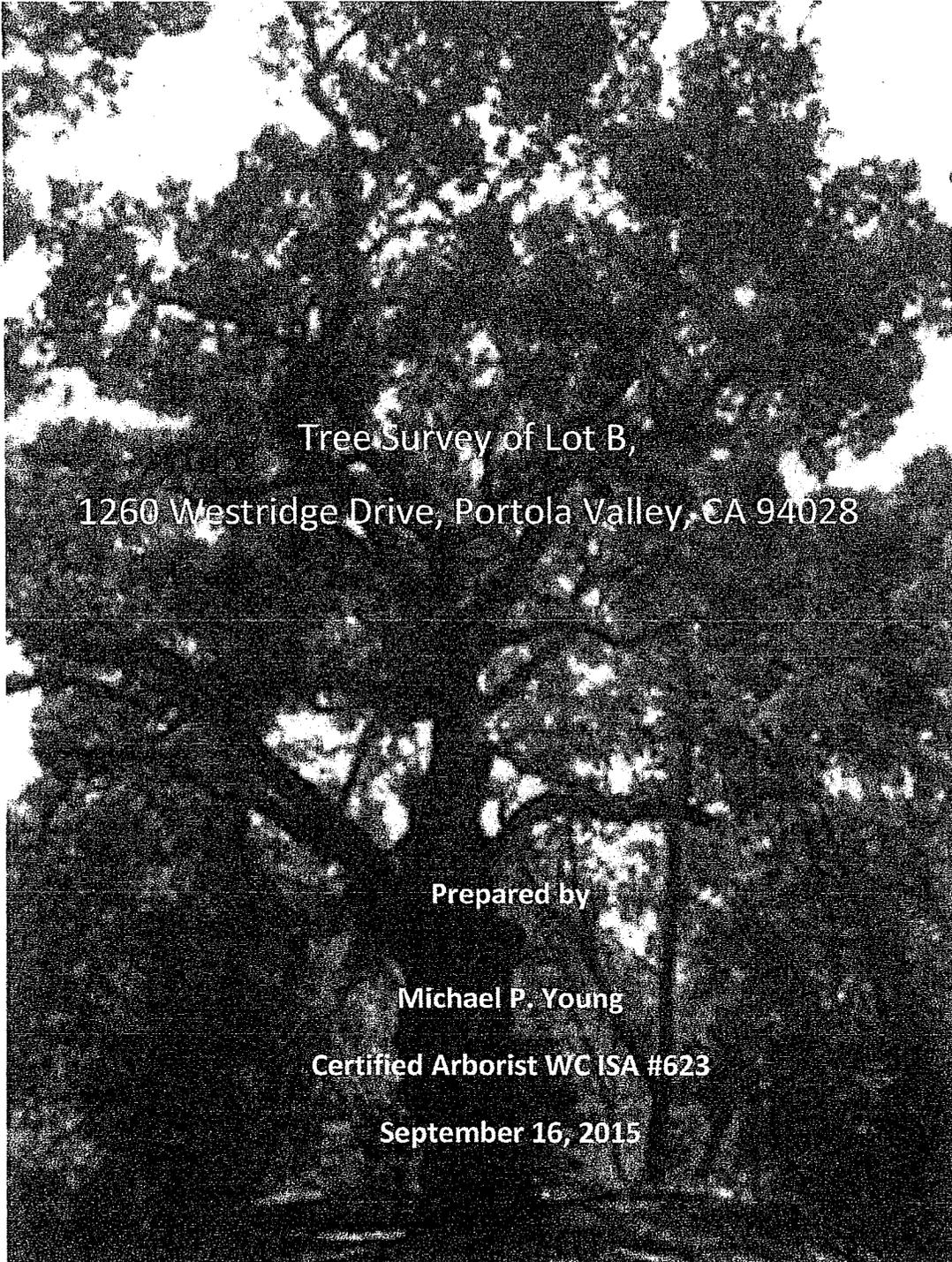
Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.





urbant**tree**management inc.



Tree Survey of Lot B,  
1260 Westridge Drive, Portola Valley, CA 94028

Prepared by

Michael P. Young

Certified Arborist WC ISA #623

September 16, 2015

**Lot B**  
1260 Westridge Drive  
Portola Valley, CA 94028

### Assignment

It was our assignment to physically inspect all trees in the survey area based on a topographic map provided by the Landscape Architect Tom Klope.

### Summary

This survey provides a numbered map and complete and detailed information for each tree surveyed. There are 96 trees included in this report. Approximately 20 of the trees surveyed are located outside the existing fencing but are on the property based on the provided map. Ninety-three of the trees surveyed are protected trees under Portola Valley's tree protection ordinance. Trees here were mostly in Good health and ranged from Good to Fair/Poor in terms of structure. Seventeen trees are recommended for removal. All 17 of these are protected trees.

### Contents

All the trees surveyed were examined and then rated based on their individual health and structure according to the table below. For example, a tree may be rated "good" under the health column for excellent/vigorous appearance and growth, while the same tree may be rated "fair/poor" in the structure column if structural mitigation is needed. More complete descriptions of how health and structure are rated can be found under the "Methods" section of this report. The complete list of trees and all relevant information, including their health and structure ratings, their "protected/significant" status, a map and recommendations for their care can be found in the data table that accompanies this report.

Rating	Health	Structure
Good	excellent/vigorous	flawless
Fair/good	healthy	very stable
Fair	fair	routine maintenance needed such as pruning or end weight reduction as tree grows, minor structural corrections needed
Fair/poor	declining	significant structural weakness(es), mitigation needed, mitigation may or may not preserve the tree
Poor	dead or near dead	hazard

## **Methods**

The trunks of the trees are measured using an arborist's diameter tape at 54" above soil grade. The canopy height and spread are estimated using visual references only. In cases of a very large tree, a standard measuring tape may be used.

The condition of each tree is assessed by visual observation only from a standing position without climbing or using aerial equipment. No invasive equipment is used. Consequently, it is possible that individual tree(s) may have internal (or underground) health problems or structural defects, which are not detectable by visual inspection. In cases where it is thought further investigation is warranted, a "full hazard assessment" is recommended. This assessment would consist of drilling or using sonar equipment to detect internal decay and may include climbing or the use of aerial equipment.

## **Tree Health**

The health of an individual tree is rated based on leaf color and size, canopy density, new shoot growth and the absence or presence of pests or disease.

## **Tree Structure**

Individual tree structure is rated based on the growth pattern of the tree (including whether it is leaning), the presence or absence of poor limb attachments (such as co-dominant leaders), the length and weight of limbs and the extent and location of apparent decay. Very large trees that are rated Fair/Poor for structure AND that are near structures or in an area frequently traveled by cars or people, receive an additional "Consider Removal\*\*" notation under recommendations. This is included because structural mitigation techniques do not guarantee against structural failure, especially in very large trees. Property owners may or may not choose to remove this type of tree but should be aware that if a very large tree experiences a major structural failure, the danger to nearby people or property is significant.

## **Survey Area Observations and Recommendations**

### **Observations**

Seasonal creeks run along two sides of the property, separated from the main part of the property by fencing on each side. The Client has taken it upon himself to professionally clean, thin, reduce end weight and care for the majority of the tree on site using Certified Arborists. He is an excellent tree steward. Trees outside the fenced areas are in a more natural state and thus exhibit many broken limbs, heavy and overly long limbs and fair/poor structure with no mitigation evident.

There are many trees lining the banks of the two creeks. Living root systems are valuable in preventing stream bank erosion that can be caused by running water. For this reason, some

trees in this area that might otherwise be recommended for removal due to declining health or structural issues are not recommended for removal at this time. Providing there is little danger to property or passersby, other potential mitigation methods are recommended, in order to try to preserve the tree and the creek bank.

Although there are very large trees with structural issues on the creek sides of the fence, these trees have not in general been given a "consider for REMOVAL \*\*" notation (see preceding paragraph) because the area is fenced off and it is unlikely that people or property would be injured by a structural failure in these areas. If the situation changes, the trees should be reassessed.

### Tree Health

Generally, trees in the survey area appear to be Good or Fair/Good health. Most exhibit thick canopies, large leaves and significant new growth. A couple of issues were noted on the property.

#### Pine Pitch Canker

Most of the Monterey pines exhibit signs of Pine Pitch Canker, a virulent and incurable fungal disease of pine trees caused by the fungus *Fusarium circinatum*. The fungus causes infections that girdle branches, and sometimes girdle exposed roots and the trunks of pine trees. This girdling results in obstructed water flow, causing needles to turn yellow and then brown. The needle clusters eventually fall off, leaving bare branch ends. Multiple branch infections can cause extensive dieback in the crown of the tree and eventual tree mortality. The infected Monterey pines on this property and the adjacent property have an estimated life expectancy of 6-8 years. Removal is recommended before the inevitable large dead limbs become a hazard.

#### Sudden Oak Death

Sudden Oak Death (SOD) is a disease caused by the plant pathogen *Phytophthora ramorum*. This disease kills some oak species and has had devastating effects in Oregon and California. coast live oaks are especially susceptible to this disease. SOD has been found on this property and is a known issue in Portola Valley and on properties in the immediate neighborhood. Research has shown that the greatest predictor of the SOD pathogen in oaks is the presence of the California Bay Laurel (bay tree). Bays are a known carrier of SOD, though they rarely die from the infection themselves. It is believed that rain and wind moves the pathogen from the taller bay trees down onto nearby oaks, and kills them. It is also believed that smaller bays nestled up against the trunks of coast live oaks, especially older oaks, is a primary cause of disease transfer.

Removal of smaller bay laurels has occurred over the past couple of years on this property. However, coast live oaks and bays continue to be located adjacent to each other on the

property. Within 25 miles of known infestations, the California Oak Mortality Task Force has recommended considering the removal of bays whose canopies are located within 15' of the trunks of oak species that are susceptible to Sudden Oak Death.<sup>1</sup> Because of the location of bays and oaks on this property and the history of SOD here this report recommends that ALL remaining California bay laurels be removed from this property, unless a compelling reason exists to keep an individual tree (IE stream bank retention where the bay can be substantially reduced/cut back from nearby oaks). Some of these bays would have been recommended for removal for other reasons, but we believe a clean sweep of ALL bays is necessary to protect the remaining oaks. We also recommend that bays on adjacent lots be pruned back from nearby oaks rooted on the subject property. Future oak plantings should consist of Sudden Oak Death resistant species, such as Valley, Cork, Black or Blue oaks.

#### Soil-based Fungi

Anaerobic, soil-based *Phytophthora* fungi are present in many areas of Portola Valley and the bay area in general. The best way to prevent soil-based fungi and soil-based organisms from attacking trees is to perform a Root Collar Excavation (RCE) on all susceptible trees, including oaks. This is a simple procedure, done with a hand shovel, wherein soil and debris are excavated from the buttress roots in a small circle around the tree. This procedure is recommended for all oaks on the property.

#### Tree Structure

Oaks in the survey area are generally medium to large. Many have structural problems including co-dominant leaders, multiple long, heavy leaders or significant leans. Trees with co-dominant or multiple long leaders are at risk for large limb tears. If this occurs, these torn areas then tend to rot down into the trunk, resulting in structural weakness and eventual trunk failure. The recommendation for mitigating this type of structural issue is to use end weight reduction to decrease structural forces at leader and limb junctions. Limited cabling is recommended for larger leaders where significant end weight reduction would be unattractive or where large diameter cuts to reduce end weight are not advisable. The cables reduce forces at junctions during wind events and under weight. Both techniques reduce the chance of large limb failure.

Trees in some areas are crowded together or were part of more densely forested groves in the past. This has resulted in many trees with significant leans (developed by the tree as it grows toward areas with sunlight). Mitigation, usually in the form of end weight reduction, has been recommended for those that are leaning strongly, or that are leaning over the driveway or structures.

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<sup>1</sup> California Oak Mortality Task Force, June 2010, "Sudden Oak Death Guidelines for Arborists", [HTTP://www.suddenoakdeath.org/wp-content/uploads/2010/08/Arborist-6-10.pdf](http://www.suddenoakdeath.org/wp-content/uploads/2010/08/Arborist-6-10.pdf)

Several of the large redwoods have multiple leaders. These have a tendency toward weak junctures, which can lead to limb failure at the attachment point during wind events or as weight increases through growth. Structural corrections are recommended. Generally this involves removal or subordination of selected leaders. In the case of very large leaders, cabling is recommended to improve safety. As noted in the Methods section of this report, very large trees with significant structural issues are automatically recommended for removal if they are near structures, driveways or areas frequently travelled by people. Again, this is because structural mitigation in the form of pruning or cabling cannot guarantee safety, especially when trees are very large with significant height and weight involved.

Trees #118 and #169 in this area have Ganoderma mushrooms growing from their base. This is the fruiting body of a fungi that feeds on decayed wood, usually the heartwood or structurally strong center wood of a tree. This is an indicator that the tree's internal strength could be compromised. Neither tree is near a pathway or structure. Monitoring of the trees is recommended.

### Local Regulations Governing Trees

Portola Valley Municipal Code Section 15.12.070.A protects the following species at or above the associated diameter at fifty-four (54) inches above natural grade.

Species	Circumference	Diameter
Coast Live Oak ( <i>Quercus agrifolia</i> )	36"	11.5"
Black Oak ( <i>Quercus kelloggii</i> )	36"	11.5"
Valley Oak ( <i>Quercus lobata</i> )	36"	11.5"
Blue Oak ( <i>Quercus douglasii</i> )	16"	5.0"
Coast Redwood ( <i>Sequoia sempervirens</i> )	54"	17.2"
Douglas Fir ( <i>Pseudotsuga menziesii</i> )	54"	17.2"
California Bay Laurel ( <i>Umbrellularia californica</i> )	36"	11.5"
(if multiple trunk, measurements pertain to largest trunk)		
Big Leaf Maple ( <i>Acer macrophyllum</i> )	24"	7.6"
Madrone ( <i>Arbutus menziesii</i> )	24"	7.6"

### Risks to Trees by Construction

Besides the above-mentioned health and structure-related issues, the trees at this site could be at risk of damage by construction or construction procedures that are common to most construction sites. These procedures may include the dumping or the stockpiling of materials over root systems; the trenching across the root zones for utilities or for landscape irrigation; or the routing of construction traffic across the root system resulting in soil compaction and root dieback. It is therefore essential that Tree Protection Fencing be used as per the Architect's

drawings. In constructing underground utilities, it is essential that the location of trenches be done outside the drip lines of trees except where approved by the Arborist.

### **General Tree Protection Plan**

**Protective** fencing is required to be provided during the construction period to protect trees to be preserved. This fencing must protect a sufficient portion of the root zone to be effective. In most cases, it would be essential to locate the fencing a minimum radius distance of 6 times the trunk diameter in all directions from the trunk. There are areas where we will amend this distance based upon proposed construction. In my experience, the protective fencing must:

- a. Consist of chain link fencing and having a minimum height of 6 feet.
- b. Be mounted on steel posts driven approximately 2 feet into the soil.
- c. Fencing posts must be located a maximum of 10 feet on center.
- d. Protective fencing must be installed prior to the arrival of materials, vehicles, or equipment.
- e. Protective fencing must not be moved, even temporarily, and must remain in place until all construction is completed, unless approved by a certified arborist.
- f. Tree Protection Signage shall be mounted to all individual tree protection fences.

Based on the existing development and the condition and location of trees present on site, the following is recommended:

1. A Certified Arborist should supervise any excavation activities within the tree protection zone of these trees.
2. Any roots exposed during construction activities that are larger than 2 inches in diameter should not be cut or damaged until the project Arborist has an opportunity to assess the impact that removing these roots could have on the trees.
3. The area under the drip line of trees should be thoroughly irrigated to a soil depth of 18" every 3-4 weeks during the dry months.
4. Mulch should cover all bare soils within the tree protection fencing. This material must be 6-8 inches in depth after spreading, which must be done by hand. Course wood chips are preferred because they are organic and degrade naturally over time.
5. Loose soil and mulch must not be allowed to slide down slope to cover the root zones or the root collars of protected trees.

6. There must be no grading, trenching, or surface scraping inside the driplines of protected trees, unless specifically approved by a Certified Arborist. For trenching, this means:
  - a. Trenches for any underground utilities (gas, electricity, water, phone, TV cable, etc.) must be located outside the driplines of protected trees, unless approved by a Certified Arborist. Alternative methods of installation may be suggested.
  - b. Landscape irrigation trenches must be located a minimum distance of 10 times the trunk diameter from the trunks of protected trees unless otherwise noted and approved by the Arborist.
7. Materials must not be stored, stockpiled, dumped, or buried inside the driplines of protected trees.
8. Excavated soil must not be piled or dumped, even temporarily, inside the driplines of protected trees.
9. Landscape materials (cobbles, decorative bark, stones, fencing, etc.) must not be installed directly in contact with the bark of trees because of the risk of serious disease infection.
10. Landscape irrigation systems must be designed to avoid water striking the trunks of trees, especially oak trees.
11. Any pruning must be done by a Company with an Arborist Certified by the ISA (International Society of Arboriculture) and according to ISA, Western Chapter Standards, 1998.
12. Any plants that are planted inside the driplines of oak trees must be of species that are compatible with the environmental and cultural requirements of oaks trees. A publication detailing plants compatible with California native oaks can be obtained from The California Oak Foundation's 1991 publication "Compatible Plants Under & Around Oaks" details plants compatible with California native oaks and is currently available online at:  
<http://www.californiaoaks.org/ExtAssets/CompatiblePlantsUnder&AroundOaks.pdf>.

\*\*\*\*\*

I certify that the information contained in this report is correct to the best of my knowledge and that this report was prepared in good faith. Please call me if you have questions or if I can be of further assistance.

Respectfully,  
Michael P. Young & Allie Strand



OUTDOOR WATER USE EFFICIENCY CHECKLIST

REVISED 2010

**TOWN OF PORTOLA VALLEY**

**RESIDENTIAL OUTDOOR WATER USE EFFICIENCY CHECKLIST**

**To Be Completed by Applicant**

I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance.

Signature: *[Signature]* Date: 11.9.16

- New Construction  Rehabilitated  Other:
- Single Family  Multi-Family  Commercial  Institutional  Irrigation only  Industrial  Other:

Applicant Name (print): Peter Murray (Hilope Assoc) Contact Phone #: 650-691-1000

Project Site Address: 1260 Westridge Dr., Portola Valley - Lot A

Project Area (sq.ft. or acre): 4.1 acres # of Units: \_\_\_\_\_ # of Meters: \_\_\_\_\_

		Agency Review	
		(Pass)	(Fail)
	Total Landscape Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Turf Irrigated Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Non-Turf Irrigated Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Irrigated Special Landscape Area (SLA) (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Water Feature Surface Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
Plant Material	Low water using plants are installed for at least 80% of plant area	<input type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Special Landscape Area and/or Recycled Water Area	
Turf	No turf proposed	<input type="checkbox"/>	<input type="checkbox"/>
	There is no turf in parkways < 10 feet wide	<input type="checkbox"/>	<input type="checkbox"/>
	All turf is planted on slopes ≤ 25%	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, if adjacent to a parking strip	
Hydrozones	Plants are grouped by Hydrozones	<input type="checkbox"/>	<input type="checkbox"/>
Compost	At least 4 cubic yards per 1,000 sq ft to a depth of 6 inches	<input type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Soil Test	
Mulch	At least 3-inches of mulch on exposed soil surfaces	<input type="checkbox"/>	<input type="checkbox"/>
Irrigation System	Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor	<input type="checkbox"/>	<input type="checkbox"/>
	Irrigation controllers do not lose programming data when power source is interrupted	<input checked="" type="checkbox"/> Yes	
	Irrigation system includes pressure regulators	<input type="checkbox"/>	<input type="checkbox"/>
	Manual shut-off valves are installed near the connection to the water supply	<input checked="" type="checkbox"/> Yes	
	All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher	<input type="checkbox"/>	<input type="checkbox"/>
	Areas < 10 feet shall be irrigated with subsurface irrigation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, but there is no runoff or overspray	
Metering	Separate irrigation meter	<input type="checkbox"/>	<input type="checkbox"/>
Swimming Pools / Spas	Cover highly recommended	<input type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, not required	
Water Features	Recirculating	<input type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/> Yes	

## OUTDOOR WATER USE EFFICIENCY CHECKLIST

<b>Documentation</b> (per section 492.3)	Project Information	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Water Efficient Landscape Worksheet (optional if no turf and 80% native, low water use plants)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Soil Management Report (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Landscape Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Irrigation Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Grading Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
<b>Audit</b>	Post-installation audit completed	<input checked="" type="checkbox"/> Completed by professional	<input type="checkbox"/>	<input type="checkbox"/>

<p><b>Auditor:</b></p> <p><b>Materials Received and Reviewed:</b></p> <p><input type="checkbox"/> Project Information</p> <p><input type="checkbox"/> Water Efficient Landscape Worksheet</p> <p><input type="checkbox"/> Residential Outdoor Water Use Efficiency Checklist</p> <p><input type="checkbox"/> Post-Installation Audit</p> <p><input type="checkbox"/> Landscape Design Plan</p> <p><input type="checkbox"/> Soil Management Report</p> <p><input type="checkbox"/> Irrigation Design Plan</p> <p><input type="checkbox"/> Grading Design Plan</p> <p><b>Date Reviewed:</b></p> <p><input type="checkbox"/> Follow up required (explain):</p> <p><b>Date Resubmitted:</b></p> <p><b>Date Approved:</b></p> <p><b>Dedicated Irrigation Meter Required:</b></p> <p><b>Meter sizing:</b></p>	<p><input type="checkbox"/> Regional Water Efficient Landscape Ordinance</p> <p><input type="checkbox"/> Residential Outdoor Water Use Efficiency Checklist</p> <p><input type="checkbox"/> Water Efficient Landscape Worksheet</p> <p><input type="checkbox"/> Plant List</p> <p><input type="checkbox"/> Other:</p> <hr/> <p><input type="checkbox"/> Drip irrigation</p> <p><input type="checkbox"/> Plant palate</p> <p><input type="checkbox"/> Grading</p> <p><input type="checkbox"/> Pool and/or spa cover</p> <p><input type="checkbox"/> Dedicated irrigation meter</p> <p><input type="checkbox"/> Other:</p>
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**Comments:**

**Selected Definitions:**

ETo

Reference evapotranspiration means the quantity of water evaporated from a large field of four- to seven-inch tall, cool-season grass that is well watered. Reference evapotranspiration is used as the basis of estimating water budgets so that regional differences in climate can be accommodated.

SLA

Special Landscaped Area. Includes edible plants, areas irrigated with recycled water, surface water features using recycled water and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.

## OUTDOOR WATER USE EFFICIENCY CHECKLIST

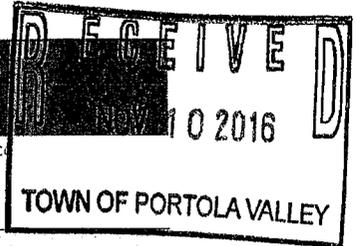
### RESIDENTIAL OUTDOOR WATER USE EFFICIENCY CHECKLIST

#### To Be Completed by Applicant

I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance.

Signature: *Peter Murray*

Date: 11.9.16



New Construction  Rehabilitated  Other:

Single Family  Multi-Family  Commercial  Institutional  Irrigation only  Industrial  Other:

Applicant Name (print): Peter Murray (Chlope Assoc.) Contact Phone #: 650-691-1000

Project Site Address: 1260 Westridge Dr., Portola Valley - Lot B

Project Area (sq.ft. or acre): 4.4 acres # of Units: \_\_\_\_\_ # of Meters: \_\_\_\_\_

		Agency Review	
		(Pass)	(Fail)
	Total Landscape Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Turf Irrigated Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Non-Turf Irrigated Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Irrigated Special Landscape Area (SLA) (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
	Water Feature Surface Area (sq.ft.):	<input type="checkbox"/>	<input type="checkbox"/>
<b>Plant Material</b>	Low water using plants are installed for at least 80% of plant area	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Turf</b>	No turf proposed	<input type="checkbox"/>	<input type="checkbox"/>
	There is no turf in parkways < 10 feet wide	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	All turf is planted on slopes < 25%	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Hydrozones</b>	Plants are grouped by Hydrozones	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Compost</b>	At least 4 cubic yards per 1,000 sq ft to a depth of 6 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Mulch</b>	At least 3-inches of mulch on exposed soil surfaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Irrigation System</b>	Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Irrigation controllers do not lose programming data when power source is interrupted	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Irrigation system includes pressure regulators	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Manual shut-off valves are installed near the connection to the water supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Areas < 10 feet shall be irrigated with subsurface irrigation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Metering</b>	Separate irrigation meter	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Swimming Pools / Spas</b>	Cover highly recommended	<input type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Water Features</b>	Recirculating	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## OUTDOOR WATER USE EFFICIENCY CHECKLIST

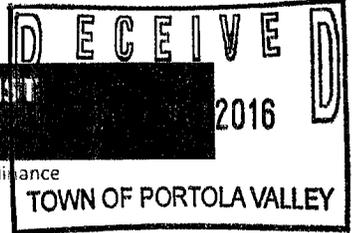
<b>Documentation</b> (per section 492.3)	Project Information	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Water Efficient Landscape Worksheet (optional if no turf and 80% native, low water use plants)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Soil Management Report (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Landscape Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Irrigation Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Grading Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
<b>Audit</b>	Post-installation audit completed	<input checked="" type="checkbox"/> Completed by professional	<input type="checkbox"/>	<input type="checkbox"/>

<p><b>Auditor:</b></p> <p><b>Materials Received and Reviewed:</b></p> <p><input type="checkbox"/> Project Information</p> <p><input type="checkbox"/> Water Efficient Landscape Worksheet</p> <p><input type="checkbox"/> Residential Outdoor Water Use Efficiency Checklist</p> <p><input type="checkbox"/> Post-Installation Audit</p> <p><input type="checkbox"/> Landscape Design Plan</p> <p><input type="checkbox"/> Soil Management Report</p> <p><input type="checkbox"/> Irrigation Design Plan</p> <p><input type="checkbox"/> Grading Design Plan</p> <p><b>Date Reviewed:</b></p> <p><input type="checkbox"/> Follow up required (explain):</p> <p><b>Date Resubmitted:</b></p> <p><b>Date Approved:</b></p> <p><b>Dedicated Irrigation Meter Required:</b></p> <p><b>Meter sizing:</b></p>	<p><input type="checkbox"/> Regional Water Efficient Landscape Ordinance</p> <p><input type="checkbox"/> Residential Outdoor Water Use Efficiency Checklist</p> <p><input type="checkbox"/> Water Efficient Landscape Worksheet</p> <p><input type="checkbox"/> Plant List</p> <p><input type="checkbox"/> Other:</p> <p><input type="checkbox"/> Drip irrigation</p> <p><input type="checkbox"/> Plant palate</p> <p><input type="checkbox"/> Grading</p> <p><input type="checkbox"/> Pool and/or spa cover</p> <p><input type="checkbox"/> Dedicated irrigation meter</p> <p><input type="checkbox"/> Other:</p>
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**Comments:**

<b>Selected Definitions:</b>	
ETo	Reference evapotranspiration means the quantity of water evaporated from a large field of four- to seven-inch tall, cool-season grass that is well watered. Reference evapotranspiration is used as the basis of estimating water budgets so that regional differences in climate can be accommodated
SLA	Special Landscaped Area. Includes edible plants, areas irrigated with recycled water, surface water features using recycled water and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.

# OUTDOOR WATER USE EFFICIENCY CHECKLIST



## RESIDENTIAL OUTDOOR WATER USE EFFICIENCY CHECKLIST

**To Be Completed by Applicant**

I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance

Signature: *Peter Murray*

Date: 11.9.16

TOWN OF PORTOLA VALLEY

- New Construction    Rehabilitated    Other:  
 Single Family    Multi-Family    Commercial    Institutional    Irrigation only    Industrial    Other:

Applicant Name (print): Peter Murray (Inlope Assoc.)   Contact Phone #: 650-691-1000

Project Site Address: 1260 Westridge Dr., Portola Valley - Lot C

		Agency Review	
		(Pass)	(Fail)
Project Area (sq.ft. or acre):	<u>3.1 acres</u>	# of Units:	# of Meters:
	Total Landscape Area (sq.ft.):	<u>12,127 SF</u>	<input type="checkbox"/> <input type="checkbox"/>
	Turf Irrigated Area (sq.ft.):	<u>1,000 SF</u>	<input type="checkbox"/> <input type="checkbox"/>
	Non-Turf Irrigated Area (sq.ft.):	<u>11,127 SF</u>	<input type="checkbox"/> <input type="checkbox"/>
	Irrigated Special Landscape Area (SLA) (sq.ft.):	<u>0</u>	<input type="checkbox"/> <input type="checkbox"/>
	Water Feature Surface Area (sq.ft.):	<u>0</u>	<input type="checkbox"/> <input type="checkbox"/>
<b>Plant Material</b>	Low water using plants are installed for at least 80% of plant area	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Special Landscape Area and/or Recycled Water Area	<input type="checkbox"/> <input type="checkbox"/>
	<b>Turf</b>	No turf proposed	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, See Water Budget
There is no turf in parkways < 10 feet wide		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, if adjacent to a parking strip	<input type="checkbox"/> <input type="checkbox"/>
All turf is planted on slopes < 25%		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
<b>Hydrozones</b>	Plants are grouped by Hydrozones	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
<b>Compost</b>	At least 4 cubic yards per 1,000 sq ft to a depth of 6 inches	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Soil Test	<input type="checkbox"/> <input type="checkbox"/>
<b>Mulch</b>	At least 3-inches of mulch on exposed soil surfaces	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
<b>Irrigation System</b>	Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Irrigation controllers do not lose programming data when power source is interrupted	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Irrigation system includes pressure regulators	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Manual shut-off valves are installed near the connection to the water supply	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Areas < 10 feet shall be irrigated with subsurface irrigation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, but there is no runoff or overspray	<input type="checkbox"/> <input type="checkbox"/>
<b>Metering</b>	Separate irrigation meter	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, not required if < 5,000 sq ft	<input type="checkbox"/> <input type="checkbox"/>
<b>Swimming Pools / Spas</b>	Cover highly recommended	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, not required	<input type="checkbox"/> <input type="checkbox"/>
<b>Water Features</b>	Recirculating	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>

## OUTDOOR WATER USE EFFICIENCY CHECKLIST

<b>Documentation</b> (per section 492.3)	Project Information	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Water Efficient Landscape Worksheet (optional if no turf and 80% native, low water use plants)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Soil Management Report (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Landscape Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Irrigation Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
	Grading Design Plan (optional if < 2,500 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>	<input type="checkbox"/>
<b>Audit</b>	Post-installation audit completed	<input checked="" type="checkbox"/> Completed by professional	<input type="checkbox"/>	<input type="checkbox"/>

**Auditor:**

**Materials Received and Reviewed:**

- Project Information
- Water Efficient Landscape Worksheet
- Residential Outdoor Water Use Efficiency Checklist
- Post-Installation Audit
- Landscape Design Plan
- Soil Management Report
- Irrigation Design Plan
- Grading Design Plan

**Date Reviewed:**

- Follow up required (explain):

**Date Resubmitted:**

**Date Approved:**

**Dedicated Irrigation Meter Required:**

**Meter sizing:**

- Regional Water Efficient Landscape Ordinance
- Residential Outdoor Water Use Efficiency Checklist
- Water Efficient Landscape Worksheet
- Plant List
- Other:

- Drip irrigation
- Plant palate
- Grading
- Pool and/or spa cover
- Dedicated irrigation meter
- Other:

**Comments:**

**Selected Definitions:**

ETo

Reference evapotranspiration means the quantity of water evaporated from a large field of four- to seven-inch tall, cool-season grass that is well watered. Reference evapotranspiration is used as the basis of estimating water budgets so that regional differences in climate can be accommodated.

SLA

Special Landscaped Area. Includes edible plants, areas irrigated with recycled water, surface water features using recycled water and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.

1260 Westridge Dr., Portola Valley -Lot A

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) : **39.4**

Hydrozone # /Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>e</sup>
<b>Regular Landscape Areas</b>							
1) Front Lawn	.7	Spray	.75	.93	1,000 SF	930	22,718
2) Low Water Use Planting	.2	Drip	.81	.24	9,541 SF	2,289	55,915
				Totals	(A)	(B)	78,633
<b>Special Landscape Areas</b>							
Vegetable Beds				1	408 SF	408	9,966
Pool and Spa				1	1,785 SF	1,785	43,603
				1			
				Totals	(C)	(D)	53,569
						<b>ETWU Total</b>	<b>132,202</b>
						<b>Maximum Allowed Water Allowance (MAWA)<sup>e</sup></b>	<b>142,608</b>

<sup>a</sup>Hydrozone #/Planting Description  
E.g  
1.) front lawn  
2.) low water use plantings  
3.) medium water use planting

<sup>b</sup>Irrigation Method  
overhead spray  
or drip

<sup>c</sup>Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

<sup>d</sup>ETWU (Annual Gallons Required) =  
Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

<sup>e</sup>MAWA (Annual Gallons Allowed) = (Eto) ( 0.62) [ (ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

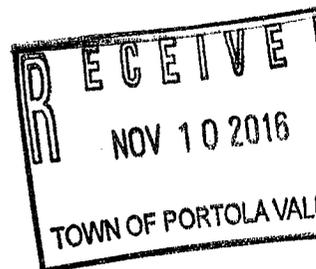
Regular Landscape Areas

Total ETAF x Area	(B) 3,219
Total Area	(A) 10,541
<b>Average ETAF</b>	<b>B ÷ A = .30</b>

All Landscape Areas

Total ETAF x Area	(B+D) 5,412
Total Area	(A+C) 12,734
<b>Sitewide ETAF</b>	<b>(B+D) ÷ (A+C) = .42</b>

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.



1260 Westridge Dr., Portola Valley -Lot B

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) : **39.4**

Hydrozone # /Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>e</sup>
<b>Regular Landscape Areas</b>							
1) Lawn	.7	Spray	.75	.93	1,000 SF	930	22,718
2) Low Water Use Planting	.2	Drip	.81	.24	29,280 SF	7,027	171,655
				Totals	(A)	(B)	194,373
<b>Special Landscape Areas</b>							
Fountains				1	745 SF	745	18,198
				Totals	(C)	(D)	18,198
				<b>ETWU Total</b>			<b>212,571</b>
				<b>Maximum Allowed Water Allowance (MAWA)<sup>e</sup></b>			<b>407,158</b>

<sup>a</sup>Hydrozone #/Planting Description  
E.g  
1.) front lawn  
2.) low water use plantings  
3.) medium water use planting

<sup>b</sup>Irrigation Method  
overhead spray  
or drip

<sup>c</sup>Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

<sup>d</sup>ETWU (Annual Gallons Required) =  
Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

<sup>e</sup>MAWA (Annual Gallons Allowed) = (Eto) ( 0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

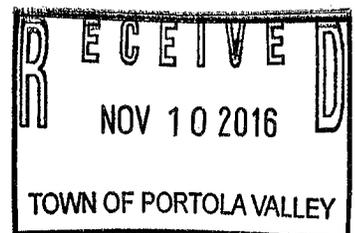
Regular Landscape Areas

Total ETAF x Area	(B) 7,957
Total Area	(A) 30,280
<b>Average ETAF</b>	<b>B ÷ A = .26</b>

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D) 8,702
Total Area	(A+C) 31,025
<b>Sitewide ETAF</b>	<b>(B+D) ÷ (A+C) = .28</b>



1260 Westridge Dr., Portola Valley -Lot C

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto) : **39.4**

Hydrozone # /Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>e</sup>
<b>Regular Landscape Areas</b>							
1) Lawn	.7	Spray	.75	.93	1,000 SF	930	22,718
2) Low Water Use Planting	.2	Drip	.81	.24	12,127 SF	2,910	71,085
				Totals	(A)	(B)	93,803
<b>Special Landscape Areas</b>							
N/A N/A							
				Totals	(C)	(D)	0
						<b>ETWU Total</b>	<b>93,803</b>
						<b>Maximum Allowed Water Allowance (MAWA)<sup>e</sup></b>	<b>176,366</b>

<sup>a</sup>Hydrozone #/Planting Description  
E.g  
1.) front lawn  
2.) low water use plantings  
3.) medium water use planting

<sup>b</sup>Irrigation Method  
overhead spray  
or drip

<sup>c</sup>Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

<sup>d</sup>ETWU (Annual Gallons Required) =  
Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion  
factor that converts acre-  
inches per acre per year to  
gallons per square foot per  
year.

<sup>e</sup>MAWA (Annual Gallons Allowed) = (Eto) ( 0.62) [( ETAF x LA)  
+ ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-  
inches per acre per year to gallons per square foot per  
year, LA is the total landscape area in square feet,  
and SLA is the total special landscape area in square feet,  
and ETAF is .55 for residential areas and 0.45 for non-  
residential areas.

**ETAF Calculations**

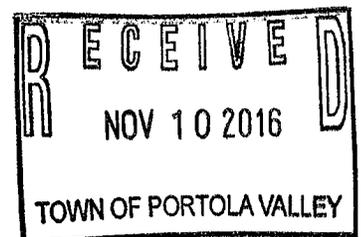
Regular Landscape Areas

Total ETAF x Area	(B) 3,300
Total Area	(A) 13,127
<b>Average ETAF</b>	<b>B ÷ A= .25</b>

All Landscape Areas

Total ETAF x Area	(B+D) 3,300
Total Area	(A+C) 13,127
<b>Sitewide ETAF</b>	<b>(B+D) ÷ (A+C)= .25</b>

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.



November 22, 2016

Ms. Cynthia Richardson  
Town of Portola Valley  
765 Portola Road  
Portola Valley, California 94028



Lot B and C Wall Variance Permit Application  
Villa del Prato – 1260 Westridge Drive

Dear Cynthia:

On behalf of the Villa del Prato project team, we are submitting this Variance Permit Application for Lot B and Lot C located at 1260 Westridge Drive.

Our plans call for a six foot high freestanding stone wall on each side of the auto court between garages that create an enclosed auto court. Two solid wood manual pedestrian gates and one 16 foot solid wood automatic sliding gate are included in this application.

Specific to Lot B, a 50 foot long wall is proposed on the north side of the auto court and three segments of wall totaling 30 feet on the south side of the auto court. One pedestrian gate and one solid auto gate are included on the south side as well. These elements are within the 50 foot front setback (see Sheet LB.2 for plan and details).

Specific to Lot C, 20 feet of wall on the north side of the auto court and 18 feet of wall on the south side of the auto court are proposed. One pedestrian gate is included on the south side as well. These elements are within the 20 foot side setback (see sheet LC.2 for plan and details).

We believe that findings can be made for approval of this variance request as follows:

1. An exceptional or extraordinary circumstance exists in that the walls and gates, while proposed in the front and side yard setbacks, are a part of a continuous residential site plan design over three contiguous properties. The project as designed will be perceived as one cohesive property. The property lines, or the fact that the project encompasses three separate parcels will not be perceived. All side yard and front yard setbacks on the outside perimeter of the three parcels which abut neighboring properties are respected. Our request is for variances that pertain to internal setbacks. We believe this to be a unique circumstance to typical property proposals that do not apply generally to other property or uses in the same district.
2. Enforcement of the provisions of the ordinance would limit the opportunity of the owner to create an enclosed, acoustically mitigated, integrated, neighborly sensitive auto court.

3. Other residential designs in the same district generally do not possess multiple parcels with property lines and setbacks separating site amenities and uses. Most property in the district possess setbacks on the perimeter only. Setbacks between parcels B and C restricting wall and gate construction reduces our clients' ability to design a fully integrated site design.
4. The granting of this variance request will substantially benefit the adjacent property owner to the north by providing acoustical mitigation of typical auto court noise including vehicles, garage doors, and activity. The walls and gates will also serve as visual screening, particularly for nighttime headlights, directed toward the adjacent neighboring residence as vehicles enter the auto court from the south. The design proposed will not be materially detrimental to the public welfare or injurious to the property or improvements of any neighboring properties but in fact be beneficial to even residences on Possum Drive along Corte Madera Creek as well for the same reasons.
5. The granting of this variance request will not constitute a grant or special privilege inconsistent with the limitations on other properties in the same zoning district. The walls and gates requested are wholly within setbacks, internal to the properties, and not the perimeter.
6. The granting of this variance request is in harmony with the general proposal and intent of the ordinance and the general plan as it provides mitigation of noise, visual screening of vehicles, headlights, garages and noise.

Please contact me if I can provide any additional information or exhibits.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas Klope". The signature is fluid and cursive, with the first name being more prominent.

Thomas Klope, ASLA  
Thomas Klope Associates, Inc.



# MEMORANDUM

## TOWN OF PORTOLA VALLEY

---

**TO:** ASCC

**FROM:** Arly Cassidy, Associate Planner

**DATE:** November 28, 2016

**RE:** Architectural Review for Driveway Entry Gate, File #: 4-2016, 140 Golden Oak, Avida/Koller Residence

### RECOMMENDATION

Staff recommends that the ASCC review the proposed plans, consider comments in this staff report and any additional comments which may be offered at the meeting, and approve the proposed new entry gate subject to the conditions in Attachment 1 and any other conditions which may be necessary based on the ASCC's review.

### BACKGROUND

This proposal is for approval of plans for a freestanding driveway entry gate on the 1.3 acre property located on the east side of Golden Oak Drive between Holden Court and Sausal Drive (see vicinity map, Attachment 2), owned by Dan Avida and Daphne Koller. The lot was created as part of the Alpine Hills subdivision (Track 695, August 1954) and is located in the R-E/1a zoning district. Surrounding uses include single family homes to the north, south, east, and west.

The proposal is further described in the set of drawings and materials received on November 7, 2016 (Attachment 4).

### CODE REQUIREMENTS

As required by section 18.42.016.C of the Zoning Code, this application for a new entry gate has been forwarded to the ASCC for review.

### DISCUSSION

The proposed wrought-iron style entry gate is softly arching with a double "swing-out" style. The height of the steel posts is 5 feet and the top of the arch reaches 6 feet. The aluminum gate will

be black powder coated metal and the columns will be 16 feet apart. The gate and columns will be installed 50 feet from the front property line. The gate has an open design.

In addition to the gate, a keypad will be installed at a 25 foot setback, along with the Knox switch and an intercom. No lighting is proposed with the keypad (Attachment 3).

### **Compliance with gate and fencing standards of the zoning ordinance**

The property is located within an R-E/1a zoning district. In this district, a driveway entry gate must be placed away from the property line at least one-half the distance of the required 50-foot front yard setback (PVMC Section 18.42.016.A). As shown on the site plan, the gate is proposed to be located the full 50 feet in from the front property line. Since the gate and columns will be located beyond the front setback, they are not subject to the height (4 feet) and opacity limits (50%) of gates located within the front setback area (PVMC Section 18.43.040.A.2). The metal gate will be black and does not exceed the color reflectivity value of 40% as required under PVMC Section 18.43.050.A.

### **NEIGHBOR COMMENTS**

No public comments have been received as of the writing of this report.

### **CONCLUSION**

Prior to acting on this request, ASCC members should visit the site and consider the above comments and any new information that is presented at the November 28, 2016 ASCC meeting.

### **ATTACHMENTS**

1. Recommended conditions of approval
2. Vicinity Map
3. Keypad specifications, received 11/7/16
4. Plans, received on 11/7/16

Report approved by: Debbie Pedro, Planning Director

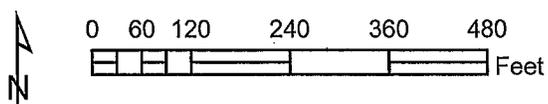
Recommended Conditions of Approval for Driveway Entry Gate,  
140 Golden Oak Drive, Avida/Koller Residence, File #4-2016

The following conditions are recommended if the ASCC finds it can act to approve the project:

1. No other modifications to the approved plans are allowed except as otherwise first reviewed and approved by the Planning Director or the ASCC, depending on the scope of the changes.



Vicinity Map



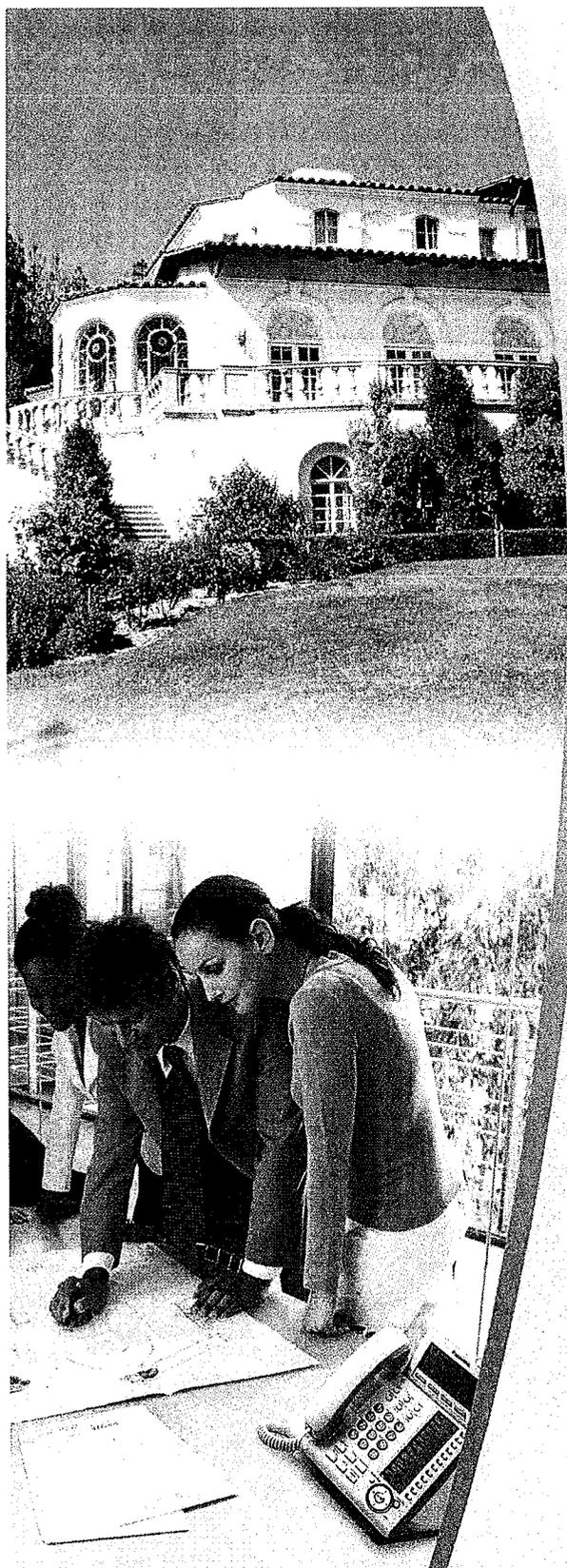
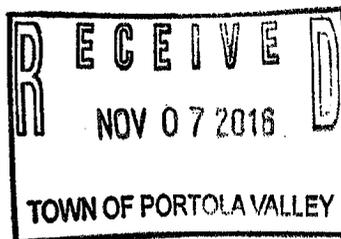
140 Golden Oak Drive

November 2016

# Panasonic

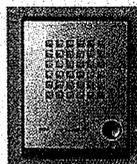
ideas for life

Attachment 3  
Doorphone  
KX-T7765



#### Features:

- New high quality design and metallic colored front cover
- Call button surrounded by luminous ring for use in dark places

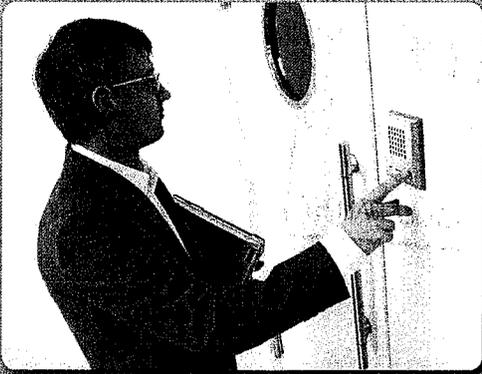


(in darkness)



\*1. If the ring is not exposed to light, it will not emit light.

- Suitable for SOHO and office use
- Mounts directly onto walls



The KX-T7765 is a new high quality design doorphone.

It is suitable for SOHO and office use and makes a nice match with any door.

The KX-T7765 connects directly to Panasonic's PBX and allows owners to easily speak with visitors.

And, visitors can easily find the call button thanks to the luminous ring, so you will never miss a good business opportunity.



## KX-T7765 Specifications

### Luminous Ring Specifications

- Once exposed to light (from fluorescent lamp or incandescent lamp) for about 30 min, this ring keeps emitting light for about 1 to 1.5 hours in the darkness at normal temperatures.
  - Max. residual lighting time: About 1.5 hours

- If exposed to any light, the ring emits light repeatedly.

Notes:

- The duration of light emission varies according to light accumulation, place of installation and so forth.
- If the ring is not exposed to light, it will not emit light.

### Capability & Hardware Requirements

The Panasonic KX-T7765 Doorphone is compatible with the following Panasonic PBX systems.

KX-TDE100/200	Optional doorphone, OPB card and DPH card
KX-TDA100/200/300	Optional doorphone, OPB card and DPH card
KX-TDA300	Optional doorphone and DPH card
KX-TDE14Y/TEGGB	Optional doorphone and DPH card

### Maximum Number of Doorphones

Models	TDA300	TDE100 TDA100	TDE200 TDA200	TDA300	TEB24	TEB300
Number of doorphones	4	16	16	16/32/48/64	4	2

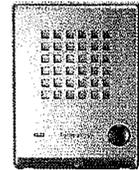
### Maximum Cabling Distance



Cable	Maximum Distance
∅ 0.4 mm	70 m
∅ 0.5 mm	113 m
∅ 0.6 mm	180 m
CAT 5	113 m

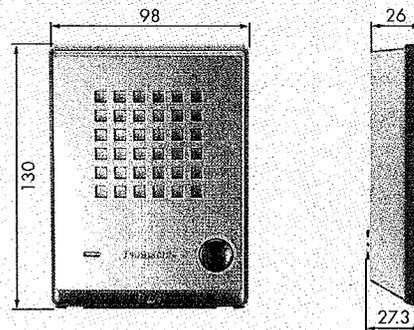


Cable	Maximum Distance
∅ 0.4 mm	70 m
∅ 0.5 mm	110 m
∅ 0.65 mm	150 m
CAT 5	110 m



KX-T7765

### Dimensions

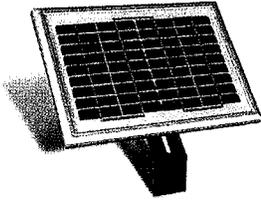
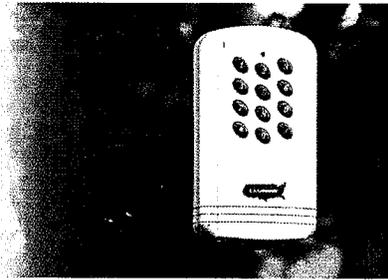


(unit : mm)

# Panasonic

# ACCESSORIES

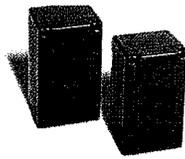
DESIGNED FOR USE WITH USAUTOMATIC CONTROL BOARDS



## 6 WATT SOLAR PANEL KIT

PN550025

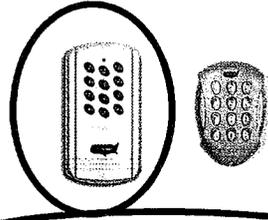
- 15 ft Plug N Go Cable included
- No wiring required
- Environmentally Friendly
- Contains mounting bracket and hardware



## PHOTO EYE KIT

PN 550010

- **Transmit and receive:** no reflector offers superior reliability
- **LED indicator** for ease in alignment
- **Input:** 12V AC/DC or 24V AC/DC
- Surface or flush mount waterproof box



## LCR WIRELESS KEYPAD

PN 050520 — PN 050530 - METAL

- **2 to 5 digit Access Codes**
- Capable of storing **1 to 24 different access codes**
- Access code can be programmed to either primary relay 1 or secondary relay 2.
- **Operating Frequency** 433.92 MHz



## LCR TRANSMITTER

Standard transmitter with all USAutomatic operators (2 included)

PN 030210 (2 Button)  
PN 030212 (4 Button)

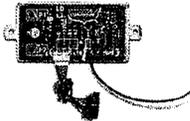
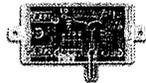
- **Operating Frequency** 433.92 MHz
- 12/24 VDC garage door receiver available



## 7 DAY PROGRAMMABLE TIMER

PN550015

- Easy to program
- 24 events per day
- Time displayed in 24 hour format
- Daylight savings and Random mode
- Wire Harness included

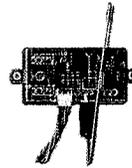


## LCR DUAL OUTPUT SOLAR FRIENDLY RECEIVER

PN 030205 PN030200

Standard receiver for all USAutomatic operators

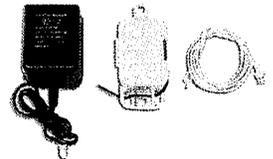
- Capable of storing 42 unique transmitter codes
- Learn button for programming
- Two relays - Primary relay momentary, secondary relay has momentary or latching mode



## 12/24 AC/DC DUAL CHANNEL RECEIVER

Ideal for all types of gate operators  
PN 030207

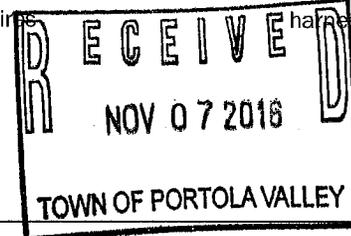
- **Operating Frequency** 433.92 Mhz
- Relay NO and common output wires



## LCR GARAGE DOOR RECEIVER KIT

PN 030214

- **Operating Frequency** 433.92 Mhz
- Includes low voltage transformer and 2 wire harness

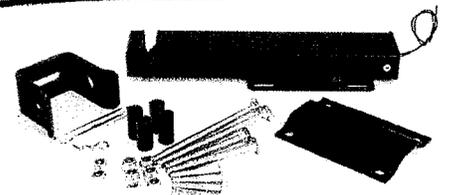


## PUSH TO OPERATE WIRELESS BUTTON

PN 030215

Touch pad sensor to operate gate or garage door

- **Operating Frequency** 433.92 Mhz
- Compatible with garage door receiver (PN 030214)
- Outdoor installation (mounting hardware included)

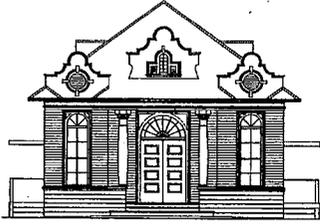


## ELECTRIC GATE LOCK

PN 070510

- Rugged steel housing and catch assembly
- Strike pin removable for emergency release
- 12 vdc operating voltage
- Mounting hardware included
- Low amperage, rack and pinion driven
- Spring loaded self-latching locking mechanism





# MEMORANDUM

## TOWN OF PORTOLA VALLEY

---

**TO:** ASCC

**FROM:** Arly Cassidy, Associate Planner

**DATE:** November 28, 2016

**RE:** Architectural Review for an Addition,  
File # 30-2016, 8 Portola Green Circle, Murphy Residence

### RECOMMENDATION

Staff recommends that the ASCC review the proposed plans, consider the comments in this staff report and any additional comments which may be offered at the meeting, and approve the proposed addition subject to the conditions in Attachment 1 and any other conditions which may be necessary based on the ASCC's review.

### BACKGROUND

This proposal is for a 598 square foot addition to the main house on the 0.424-acre property located at 8 Portola Green Circle (See Vicinity Map, Attachment 2). The lot is located in the R-1/15M zoning district. The property was created as part of the Portola Green subdivision (March 14, 1972) and is located in the southwest corner of the Portola Green PUD. It is surrounded by other Portola Green homes to the north, east and west, and by single family homes to the south.

The site currently contains a two-story ranch style home with a detached two car garage and studio. The Murphys plan to add a bedroom and full bathroom underneath the existing first floor of their home. The bedroom addition would sit at ground level and allow them to age in place. The addition would mostly sit under the existing house, with a small pop out below the second story deck. A new stair connecting the lower level to the main house will also be added in the southwest corner of the building.

The proposal is further described in the set of architectural plans received on August 10 and November 22, 2016 (Attachment 7). In addition to the plans, the project submittal includes the information listed below:

- Outdoor Water Efficiency Checklist, received 8/10/16
- Build It Green Checklist, received 8/10/16
- Color Board, received 8/10/16

## **CODE REQUIREMENTS**

As required by section 18.64.010.A.1 of the Zoning Code (additions over 400 square feet), this application for an addition has been forwarded to the ASCC for review. In addition to the Municipal Code, the Design Guidelines and the Portola Green PUD were used to evaluate the project.

## **DISCUSSION**

The scope of the project includes construction of a 598 square foot addition to the ground floor of the property. The new bedroom and bathroom will primarily utilize existing crawl space under the first floor of the home; the addition and deck above will extend the house wall out three feet to the northeast. The lower floor will also have a five foot pop out with a glass roof to help bring light into the lower unit. The connecting stairs will extend into the side yard farthest from the front door. The proposed changes are carefully nestled into the existing house structure and will minimally alter the exterior appearance of the house.

The ground floor addition will have large windows at the long side of the house, as well as two square windows on either side. The large windows face primarily toward the applicant's detached garage and into landscaping. The home is situated away from most other homes and is well screened by surrounding landscaping; light spillage will likely not be a problem.

Minimal earthwork is proposed to lower the floor for the new unit, therefore no Site Development Permit is required. However, a section of an existing drainage swale adjacent to the garage will be partially filled during construction. There is no other access point to the main home for any construction vehicles and machinery needed. Any fill placed in the swale will be removed when construction is complete, and the swale will be restored to its original condition (Condition of Approval 2).

The site plan also includes a few items that are not part of the current proposal. Namely, a dotted line shows a future path, wheelchair lift, and ramp wrapping the garage; this will come in as a separate project if and when it is needed, and is included on these plans only for illustrative purposes. A small capped greywater outflow pipe is also shown; this is being installed now, so that it may be connected to a greywater system sometime in the future.

### **Compliance with floor area, impervious surface, height, and setback standards**

The parcel is part of the Portola Green PUD (Attachment 6), which has its own requirements for development. Namely, the maximum building coverage cannot exceed 25% of the site area or a total of 2,000 square feet of ground coverage (there are no other floor area limits). The proposed project would increase the floor area from 2,391 sq. ft. to 2,989 on three separate floors, on a site of 0.424 acres or 18,470 sq. ft. Impervious surface is limited to 50% of total site area, including roofs, and will increase from 2,932 sq. ft. to 3,113 sq. ft. Both the proposed floor area and impervious surface increases remain conforming within the PUD allowances.

Height is limited to 30 feet in the PUD, and will be met exactly even with the lowered floor of the new ground floor addition. Setbacks are listed as 20 feet on any three sides and 10 feet on the fourth side; no part of the proposed work will encroach within the required setbacks.

### **Exterior materials, finishes and exterior lighting**

The proposed exterior treatment of the addition will match the existing treatment of wood board and batten, with metal windows and doors. The roof addition will be timberline "Barkwood" composition shingles to match the existing. Photographs of the siding and roof as well as the proposed outdoor light and deck tile make up the Color Board (Attachment 5). The Exterior Light: Mattis LED, an outdoor sconce, is proposed above the front door of the addition, and is in compliance with Town lighting guidelines.

### **Sustainability aspects of project**

The project architect has provided the Build-It-Green checklist targeting 48 points for the project (Attachment 4). The Town's Green Building Ordinance is currently not in effect due to the adoption of the Cal Green Code 2013 that superseded it as of January 1, 2014. In the meantime, staff is requesting that all ASCC applications include a completed Build-It-Green checklist.

### **NEIGHBOR COMMENTS**

No public comments have been received as of the writing of this report.

### **CONCLUSION**

Prior to acting on this request, ASCC members should consider the above comments and any new information that is presented at the November 28, 2016 ASCC meeting.

### **Attachments**

1. Recommended Conditions of Approval
2. Vicinity Map
3. Outdoor Water Efficiency Checklist, dated 8/10/16
4. Build It Green Checklist, received 8/10/16
5. Color Board, received 8/10/16
6. Portola Green Description and Proposed Restrictions & Resolution No. 1972-107
7. Architectural plans, received 9/26/16

Report approved by: Debbie Pedro, Planning Director



Recommended Conditions of Approval for Home Addition  
8 Portola Green Circle, Murphy Residence, File #30-2016

The following conditions are recommended if the ASCC finds it can act to approve the project:

1. No other modifications to the approved plans are allowed except as otherwise first reviewed and approved by the Planning Director or the ASCC, depending on the scope of the changes.
2. The existing swale along the west side of the garage shall be returned to its original state and any damaged vegetation restored once project construction is complete.



# RESIDENTIAL OUTDOOR WATER USE EFFICIENCY CHECKLIST

## To Be Completed by Applicant

I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance.

Signature \_\_\_\_\_

Date \_\_\_\_\_

AUG 10 2016

### Project Information

New Construction  Rehabilitated  Other:

Single Family  Multi-Family  Commercial  Institutional  Irrigation only  Industrial  Other:

TOWN OF PORTOLA VALLEY

Applicant Name (print): JUDY MURPHY

Contact Phone #: 851-2766

Project Site Address: 8 PORTOLA GREEN CIRCLE

Project Area (sq.ft. or acre): 5885SF

# of Units: \_\_\_\_\_

# of Meters: 1

For a single-family project, or a single-family development project, enter this information on an average, per unit basis. For all other projects, input an aggregate value for the entire project.

Total Landscape Area (sq.ft.): 0

Turf Irrigated Area (sq.ft.): 0

Non-Turf Irrigated Area (sq.ft.): 0

Irrigated Special Landscape Area (SLA) (sq.ft.): 0

Water Feature Surface Area (sq.ft.): 0

Agency Review

(Pass) (Fail)

### Landscape Parameter

### Requirements

### Project Compliance

#### Plant Material

Low water using plants are installed for at least 80% of plant area

Yes  
 No, See Special Landscape Area and/or Recycled Water Area

#### Turf

No turf proposed

Yes  
 No, See Water Budget

There is no turf in parkways < 10 feet wide

Yes  
 No, if adjacent to a parking strip

All turf is planted on slopes  $\leq$  25%

Yes

#### Hydrozones

Plants are grouped by Hydrozones

Yes

#### Compost

At least 4 cubic yards per 1,000 sq ft to a depth of 6 inches

Yes  
 No, See Soil Test

#### Mulch

At least 3-inches of mulch on exposed soil surfaces

Yes

#### Irrigation System

Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor

Yes

Irrigation controllers do not lose programming data when power source is interrupted

Yes

Irrigation system includes pressure regulators

Yes

Manual shut-off valves are installed near the connection to the water supply

Yes

All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher

Yes

Areas < 10 feet shall be irrigated with subsurface irrigation

Yes  
 No, but there is no runoff or overspray

## OUTDOOR WATER USE EFFICIENCY CHECKLIST

<b>Metering</b>	Separate irrigation meter	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, not required if < 5,000 sq ft	<input type="checkbox"/> <input type="checkbox"/>
<b>Swimming Pools / Spas</b>	Cover highly recommended	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, not required	<input type="checkbox"/> <input type="checkbox"/>
<b>Water Features</b>	Recirculating	<input type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
<b>Documentation</b> (per section 492.3)	Project Information	<input type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Water Efficient Landscape Worksheet (optional if no turf and 80% native, low water use plants)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Soil Management Report (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Landscape Design Plan (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Irrigation Design Plan (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Grading Design Plan (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
<b>Audit</b>	Post-installation audit completed	<input type="checkbox"/> Completed by professional	<input type="checkbox"/> <input type="checkbox"/>

**Auditor:**

**Materials Received and Reviewed:**

- Project Information
- Water Efficient Landscape Worksheet
- Residential Outdoor Water Use Efficiency Checklist
- Post-Installation Audit
- Landscape Design Plan
- Soil Management Report
- Irrigation Design Plan
- Grading Design Plan

**Date Reviewed:**

- Follow up required (explain):

**Date Resubmitted:**

**Date Approved:**

**Dedicated Irrigation Meter Required:**

**Meter sizing:**

**Material Distributed to Applicant**

- Regional Water Efficient Landscape Ordinance
- Residential Outdoor Water Use Efficiency Checklist
- Water Efficient Landscape Worksheet
- Plant List
- Other:

**Measures Recommended to Applicant**

- Drip irrigation
- Plant palette
- Grading
- Pool and/or spa cover
- Dedicated irrigation meter
- Other:

**Comments:**

# OUTDOOR WATER USE EFFICIENCY CHECKLIST

## Selected Definitions:

ET <sub>o</sub>	Reference evapotranspiration means the quantity of water evaporated from a large field of four- to seven-inch tall, cool-season grass that is well watered. Reference evapotranspiration is used as the basis of estimating water budgets so that regional differences in climate can be accommodated.
SLA	Special Landscaped Area. Includes edible plants, areas irrigated with recycled water, surface water features using recycled water and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.
Professional	Professional is a "certified professional" or "authorized professional" that is a certified irrigation designer, a certified landscape irrigation auditor, a licensed landscape architect, a licensed landscape contractor, a licensed professional engineer, or any other person authorized by the state to design a landscape, an irrigation system, or authorized to complete a water budget, irrigation survey or irrigation audit.
Water Feature	A design element where open water performs an aesthetic or recreational function. Water features include ponds, lakes, waterfalls, fountains, artificial streams, spas, and swimming pools (where water is artificially supplied).

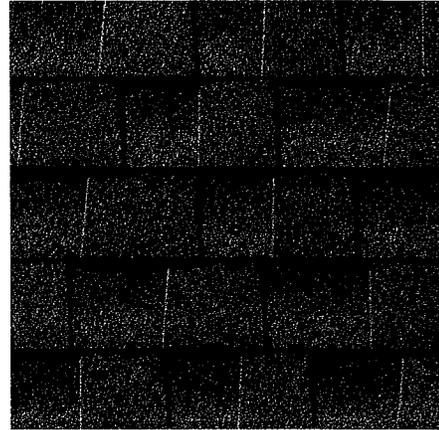


# Murphy Residence 8 Portola Green Circle

Color Board  
8-1-16

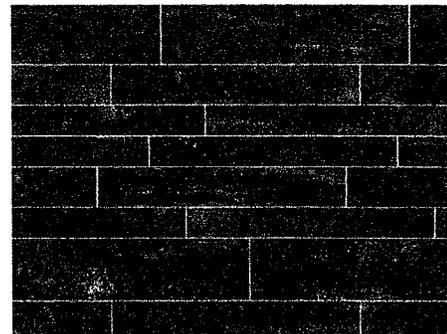
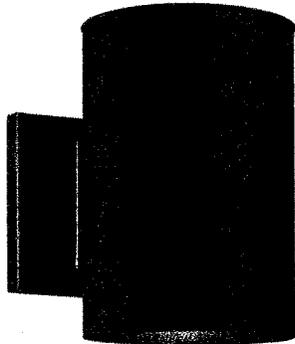
Roof, Trim, and Siding to  
Match Appearance of Existing House

Roofing:  
Timberline 'Barkwood'

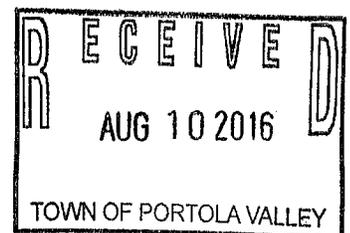


Exterior Light: Mattis LED  
3000K; Light output is 700 lumens

Deck Surface:



AUTUMN WOOD SW03



## PORTOLA GREEN - DESCRIPTION AND PROPOSED RESTRICTIONS

### SITE DATA

The existing zoning of the 5.6 acres is R-1, 15,000. This would permit a density of 16 homes.

We are proposing a planned unit development of <sup>10</sup> 44 homes. Approximately 2.6 acres will be privately owned and 3.0 acres will be held in common. The smallest home site will be approximately 8,000 sq. ft. and the largest 12,000 sq. ft. (The minimum allowable under the ordinance is 4,000 sq. ft.)

### LAND USE

The heavily wooded slopes to the south of the property will be maintained in their natural state. A minimum 10' planting band will be provided elsewhere. This will be in joint ownership and will be planted and maintained by the Homeowners Association. (Planting adjacent to the east property line will be done immediately in order to develop a screen of planting as seen from the Erskines and Raimes.)

The entire area within the circulation loop will be held in common by the Homeowners Association. Maintenance of all common property will be provided under the Association agreement.

### CIRCULATION

The intent of this project is to minimize the amount of paved surface consistent with emergency access and ease of accessibility.

Circulation is basically a one way loop system with access to Portola Road at the northwest corner of the project only. This loop will have a 12' wide roadway with an adjoining 4' walkway, providing 16' clearance for emergency vehicles.

In addition to the loop system, sections of 2 way road will be provided for access to the easterly and westerly most sites. These roads will be 10' wide with a 4' walkway.

Guest parking will be provided as part of the main circulation development. This will be based on 2 spaces per home. Additional guest parking is to be made available at individual driveways where possible. Parking will be permitted in designated areas only. A pedestrian and bicycle pathway will be provided across the site, primarily for school access. A horse trail is not contemplated.

### ARCHITECTURAL CRITERIA

1. The maximum ground cover of each home, exclusive of decks, carports, and attached garages shall be 2,000 sq. ft.
2. Homes shall be laid out on each site in such a way that they are fitted in among the trees. (We are proposing a modular scheme in which 3 standard units can be built on a site with connecting links, thereby more readily fitting in and around trees.)
3. Homes shall generally be low in profile and not call special attention to themselves. Ideally the site, when viewed after construction, would present the same canopy of trees as is now seen from the surrounding ridge.
4. Materials shall be restricted to rough or resawn wood siding and beams, stained or left natural, shakes or shingles, field stone and exposed aggregate concrete. Other similar natural materials will be considered.
5. At sloping sites, homes shall have 2 car enclosed garages built under the first floor. On level sites, cars shall be stored in carports or attached garages having space for 2 cars. Materials shall be as noted above.
6. Consideration should be given to relating the homes to the existing Central Building thru the use of stained glass, low rock walls, rough hewn timbers, natural landscaping, etc. The "cottage" feeling of warmth and informality should prevail throughout the site.

7. Cut and fill at each home site shall be kept to a minimum. In general, the homes shall be fitted on the site without destroying the natural slopes and contours.
8. The set backs within parcels shall be 20' minimum on any three sides and 10' minimum on the fourth. 75% averaging of set backs is permissible. 20' set backs can include the adjoining landscape band.
9. Fences will not be permitted between homes within this project, except to enclose a private yard of 1,000 sq. ft. maximum on one side or the rear.

#### UTILITIES AND DRAINAGE

All utility services shall be underground. Storm drainage will be engineered to minimize erosion of the existing drainage channel and to protect adjoining property from run off.

#### LANDSCAPE GENERAL CRITERIA

It is the intent that the project should have a single unified quality. Sameness is not intended but diversity should be within limits. It is desired that the natural landscape character of the existing slopes and the site in general be maintained and enhanced.

1. Plant materials used shall be indigenous in character and horticulturally adaptable to this area.
2. All landscaping around the homes shall relate in feeling to the central facility, i.e. natural, informal, etc.
3. The Homeowners Association shall review and approve a landscape plan prior to installation for conformance with general criteria.
4. Landscaping materials other than plants shall be similar to those indicated under Architectural Criteria; Item 4.
5. All mature trees on the site will be maintained by the Homeowners Association with regard to guying, pruning, spraying, etc. No mature trees may be removed without approval of the Homeowners Association.

6. All central facilities, common land and undeveloped building parcels will be maintained by the Homeowners Association.
7. Site lighting will generally be low level and unobtrusive. Roads and major walkways will be the responsibility of the Homeowners Association. Individual homes will have landscape lighting approved by the Homeowners Association.
8. All graphics for traffic, parking, direction, house numbers, information, etc. will be the responsibility of the Homeowners Association and will be of a character which blends naturally with the site.
9. Intensively planted areas around homes shall have irrigation systems. No irrigation system is required for "natural" areas.
10. The Homeowners Association will engage a landscape consultant to review the overall development, and to advise the Association with regard to individual landscape plans.

#### TENTATIVE PROPOSED CONDITIONS, COVENANTS AND RESTRICTIONS

1. Neither an occupant or guest may park on Portola Road.
2. An occupant will either by some fixed formula or the concept of "right of first refusal" be restricted in the transfer of his interest to another person. Also, the transferee of an occupant's interest will require approval by the Board of Directors of the Portola Green Homeowners Association or other entity having charge of the administration of the common area and enforcement of the rights and duties of the unit occupants and the common area in relationship to one another.
3. Each occupant will own or lease his own plot of land with a single family residence thereon and have a right and easement of enjoyment of the common area owned by The Association.
4. The Portola Green Homeowners Association, the present fee owner, or successor entity, will administer and enforce rules and regulations governing maintenance and use of the planned unit development by the eleven units and the area held in common.

5. The units shall be occupied and used by the respective owners only as a private dwelling for the owner, his family, tenants and social guests.
6. The common area shall be occupied and used as a community center for the use, convenience and enjoyment of the families, tenants and guests of families resident in the planned unit development and such other limited purposes related to the use, convenience and enjoyment of those families as the governing board of the Portola Green Homeowners Association may from time to time determine, subject at all times to the residential character of the planned unit development and the use permit issued by the Town of Portola Valley.
7. Each unit owner will automatically be a member of the Association and shall serve on the Association's Board of Directors. However, the Board may not be limited to Association members.
8. Each unit occupant will have one vote in the Association or other entity governing the use and occupancy of the eleven units in the common area in relationship among one another. Each unit and the holder of the common area will contribute toward the common expense of the use and enjoyment of the common area.
9. Each owner, tenant or occupant of a unit shall comply with all of the provisions of the conditions, covenants and restrictions eventually adopted and the Articles, By-Laws and Resolutions of the Association and any regulatory agreements adopted for the use and occupancy of the total planned unit development.

2/14/72

## RESOLUTION NO. 1972-107

A RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN OF PORTOLA VALLEY GRANTING CONDITIONAL USE PERMIT TO PORTOLA GREEN HOMEOWNERS' ASSOCIATION, ESTABLISHING RESIDENTIAL PLANNED UNIT DEVELOPMENT - USE PERMIT APPLICATION X7D-47

RESOLVED, by the Planning Commission of the Town of Portola Valley, California, that

WHEREAS, application has been made on behalf of Portola Green Homeowners' Association for a Conditional Use Permit under Sections 6111, 6502, 6912 and 6935 of the Zoning Ordinance, comprising the establishment of a residential planned unit development for the properties described in said application, which is a conditional use within the R-1/15M zoning district in which the parcel is located;

WHEREAS, this Commission caused notice to be given of a public hearing to be held on February 2, 1972, for the purpose of considering the authorization of a residential planned unit development conditional use permit for said proposed use;

WHEREAS, said hearing has been conducted from time to time and the application has been supplemented and modified from time to time; and

WHEREAS, this Commission has heard and considered the evidence and facts presented, which evidence and facts included a study of the requirements of the zoning regulations of the Town;

NOW, THEREFORE, IT IS FOUND, DETERMINED and ORDERED, as follows:

1. That the proposed use is properly located in relation to the community as a whole and to land uses and transportation and service facilities in the vicinity.
2. That the site for the proposed use is adequate in size and shape to accommodate the proposed use, and that all yards, open spaces, walls and fences, parking, loading, landscaping, and such other features as may be required by the zoning ordinance or are, in the opinion of the Commission, needed to assure that the proposed use will be reasonably compatible with land uses normally permitted in the surrounding area, will be provided. It is hereby found and determined that while the site comprises less than ten (10) acres, the development as a planned unit

will be more desirable than development in any other manner.

3. That the site for the proposed use will be served by streets and highways of adequate width and pavement type to carry the quantity and kind of traffic generated by the proposed use.

4. That the proposed use will not adversely affect the abutting property or the permitted use thereof.

5. That all of the requirements for the establishment of a residential planned unit development contained in the Zoning Ordinance and especially in Sections 6111.4 and 6111.5 of said ordinance have been complied with.

6. That the residential planned unit development and the proposed use, subject to the conditions imposed herein, will comply with the regulations and conditions specified in the Zoning Ordinance for such use, and permit is hereby granted for the use of said property as a residential planned unit development.

7. That a conditional use permit to establish a residential planned unit development is hereby granted for the proposed use, subject to the following conditions:

(1) The site development plan for Portola Green prepared by Spencer, Lee and Busse, Architects, bearing a revision of December 23, 1971, is approved subject to other conditions listed herein. The site plan is deemed to be approximate in detail and therefore deviations in property line locations will be permitted at the time of approval of the tentative subdivision map as long as the basic provisions of the site development plan are adhered to.

(2) The document "Portola Green - Description and Proposed Restrictions" dated December 15, 1971, as revised, plus the item entitled "Portola Green - Addendum to Description and Proposed Restrictions" dated January 24, 1972, are approved by the Planning Commission as acceptable general guides for the development except for specific deviations which are set forth in the conditions that follow. The provisions of said Description and

Proposed Restrictions that will become binding as a part of the Town's approval are to be set forth more specifically in items to be submitted to the satisfaction of the Planning Commission and Town Council prior to recording a final subdivision map, and include:

- (a) Articles of incorporation of a homeowners association.
- (b) By-laws of a homeowners association.
- (c) Proposed deed restrictions.
- (d) Landscaping plan.

Particular attention shall be given in the foregoing to assuring maintenance of the areas covered by open space or conservation easements.

(3) The development schedule set forth in "Portola Green - Description and Proposed Restrictions" referenced in Item 2 above, shall be adhered to.

(4) The circular one-way road shall be developed to Town standards with a minimum 16 foot width, four feet of which may be used as a walkway but available for use as a part of the road. Parking shall be prohibited along the road. The right of way width shall be established at the time of the tentative subdivision map approval to the satisfaction of the Planning Commission. The two stub roads included in the subdivision shall be improved with turn-arounds or back-arounds satisfactory to the Fire Chief.

(5) Horse trail, bike and footpath easements shall be established consistent with the memorandum and map submitted by the Conservation Committee dated January 21, 1972, and appropriate facilities shall be constructed within such easements to Town standards except within the easement along the southerly property boundary.

(6) Area, height and setback regulations

- (a) Minimum area - 8,000 sq.ft.
- (b) Yards - 20 foot minimum yards on three sides of each parcel and 10 foot minimum setback on fourth side.

- (c) Averaging of setbacks to 75% of normal requirement is permitted.
  - (d) Required 20 foot setback can include up to 10 feet of adjoining common area as shown on the site development plan.
  - (e) Maximum building height - 30 feet.
  - (f) Maximum building coverage - Parcels 1 through 10 - 25%, Parcel 11 - 30%.
- (7) All existing overhead utilities shall be installed underground.

(8) A conservation or open space easement shall be dedicated to the Town over all common areas including the central facilities with reservation of specific rights to the Homeowners' Association as approved by the Planning Commission.

(9) The central facilities are appropriate as a focal point for community activities accessory to the planned unit development and incidentally include quarters for a caretaker and family, but are not appropriate as a separate single-family residence. Permitted uses may include:

- (a) Recreational uses, such as: Arts and crafts shop, music listening room, model building room, ceramics room, table tennis/pool room, sauna/bath house, swimming pool, game room, shop, and other like uses.
- (b) Educational uses, such as: Music lessons, drama lessons, ballet lessons, study/library, guest speakers, group discussions, Portola Green board meetings, Indian Guide meetings, and other like uses.
- (c) Social uses, such as: Formal dinners, birthday parties, anniversaries, weddings, barbeques, card parties, desserts and teas, miscellaneous social gatherings, and other like uses.

Assemblages shall be limited to a size, character, and frequency so as to be compatible with use of the surrounding residential area and the Planning Commission may review such uses from time to time and stipulate further conditions as may be necessary to insure such compatibility.

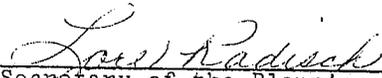
(10) A reversion to acreage map should be recorded prior to recordation of a final subdivision map.

I hereby certify the foregoing to be a true copy of a resolution adopted by the Planning Commission of the Town of Portola Valley at a meeting thereof held on the 16th day of February, 1972, by the following vote of the members thereof:

AYES, and in favor thereof, Members: Alexander, Babcock,  
Gustavson, Kingman, Whitson

NOES, Members: None

ABSENT, Members: None

  
Secretary of the Planning Commission  
of the Town of Portola Valley

# Murphy Residence

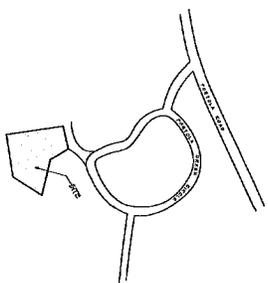
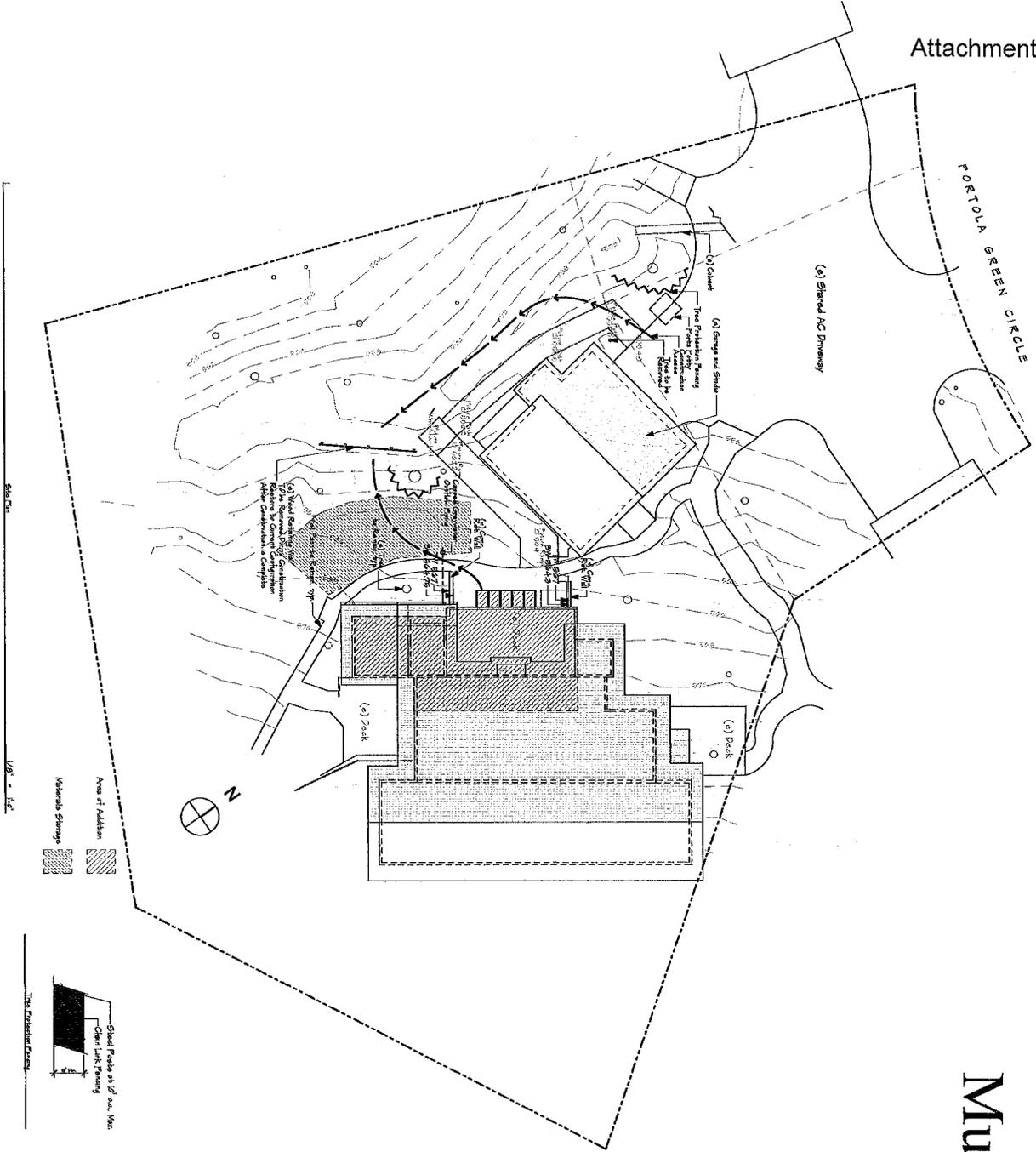
**PROJECT DESCRIPTION**  
 Under-story bedroom and bath addition with new driveway to main level.

**PROJECT DATA:**

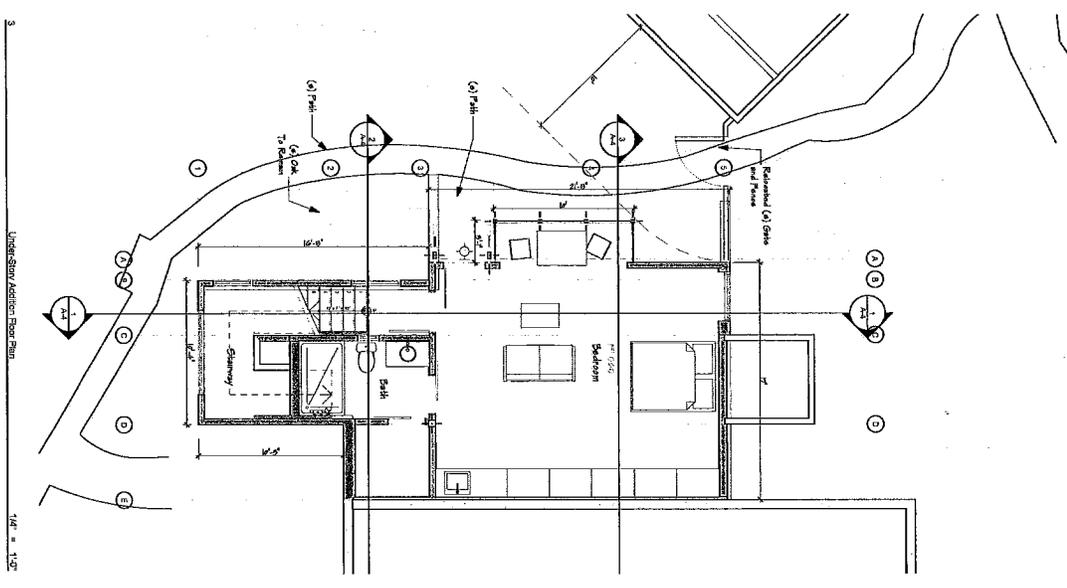
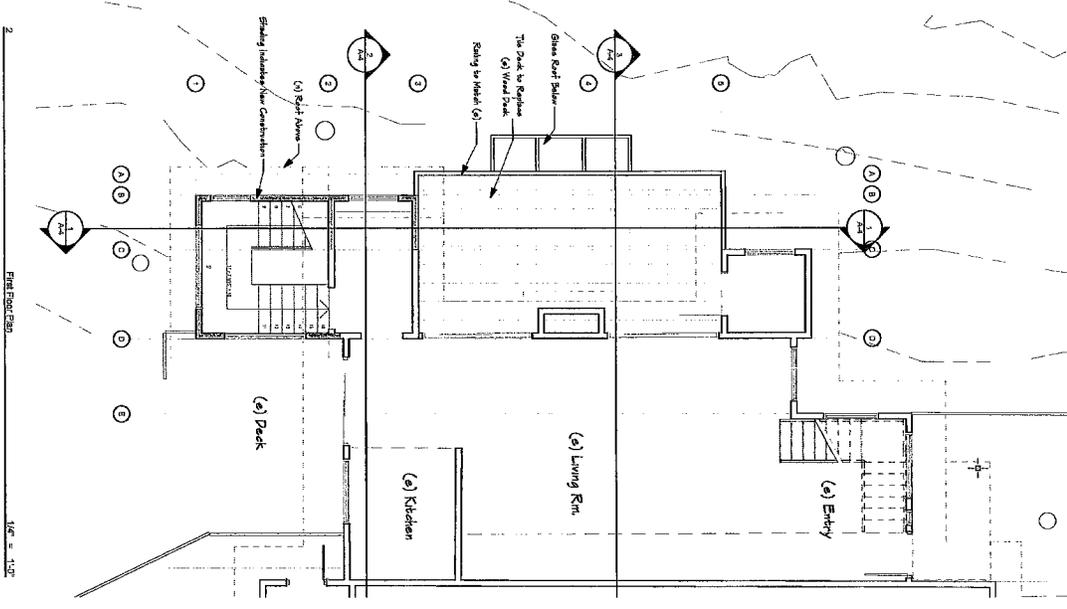
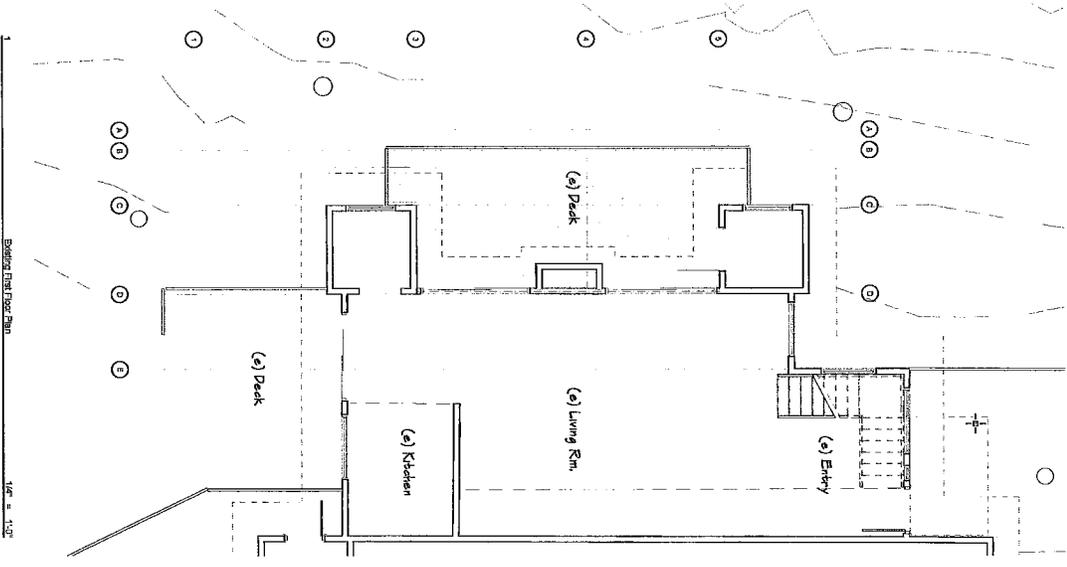
APN: 070-160-050  
 Zone: R-1/1B1  
 Geologic Zone: Pa  
 Site Area: 0.424 Acres

AWFA: 3523 sf  
 85% AWFA: 2825 sf  
 Existing House Area: 1304 sf  
 Existing Studios: 137 sf  
 Existing Garages: 400 sf  
 Bedroom Addition: 308 sf  
 Total Floor Area: 2980 sf

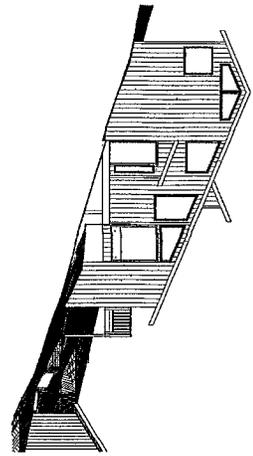
AWIS: 4380 sf  
 Existing Imp. Surfaces: 2038 sf  
 Proposed Imp. Surfaces: 316 sf



**RECEIVED**  
 NOV 22 2013  
 TOWN OF PORTOLA VALLEY

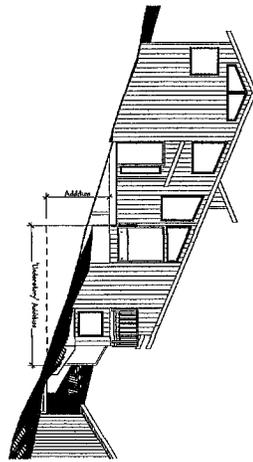


<b>A-2</b>	Floor Plans	<b>Murphy Residence</b> 8 Portola Green Circle Portola Valley Ca 94028	 <b>F. John Richards</b> 178 Corto Madera Rd. 650.851.0663	<b>Architect</b> Portola Valley, Ca 94028 Architect@JohnRichards.com	Scale: As Shown	Date: 8/02/16
	10/11/16				Revisions	



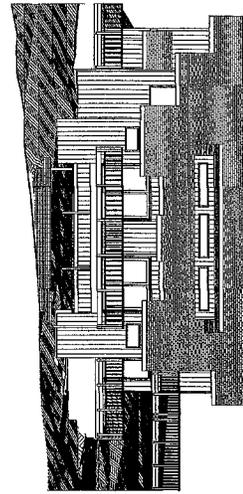
Exterior North Elevation

1/8" = 1'-0"



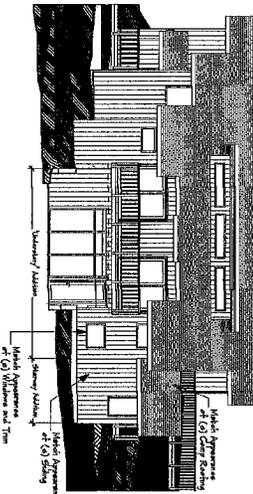
Proposed North Elevation

1/8" = 1'-0"



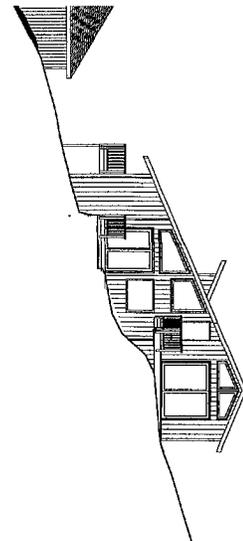
Exterior West Elevation

1/8" = 1'-0"



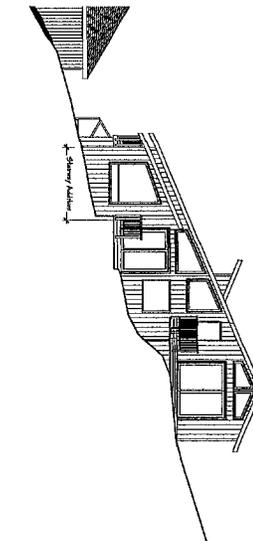
Proposed West Elevation

1/8" = 1'-0"



Exterior South Elevation

1/8" = 1'-0"

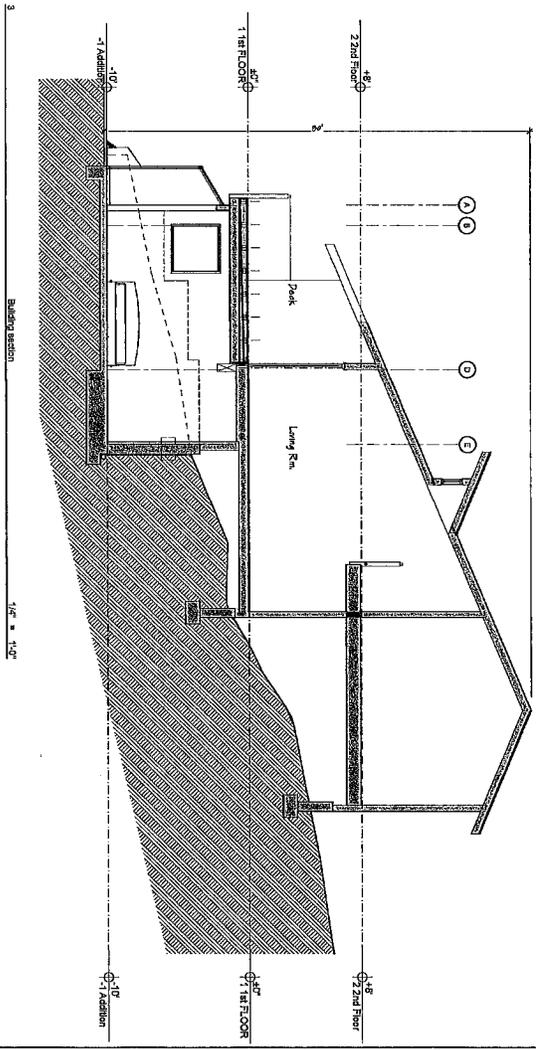
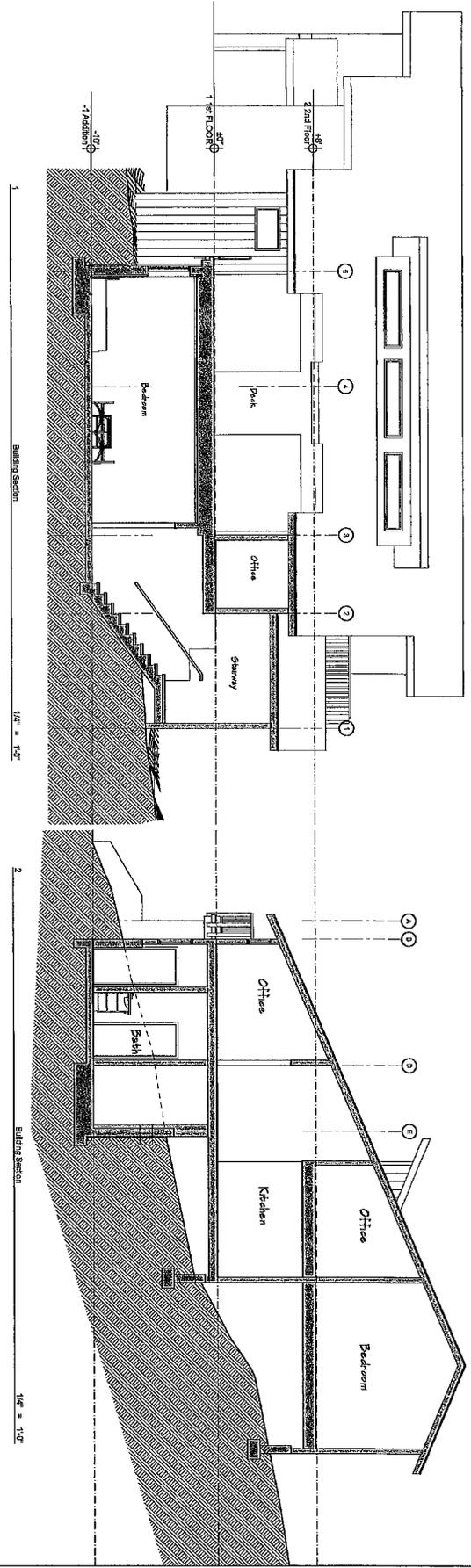


Proposed South Elevation

1/8" = 1'-0"

<b>A-3</b>	<b>Exterior Elevations</b> Date: 8/02/16 Scale: As Shown	<b>Murphy Residence</b> 8 Portola Green Circle Portola Valley Ca 94028		<b>F. John Richards</b> Architect 178 Corte Madera Rd. 650.851.0663 Portola Valley, Ca 94028 Architect@JohnRichards.com
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Revisions  
 10/11/16



<b>A-4</b>	<b>Building Sections</b> Date: 8/07/16 Scale: As Shown	<b>Murphy Residence</b> 8 Portola Green Circle Portola Valley Ca 94028		<b>F. John Richards</b> Architect 178 Cortis Madera Rd. 650.851.0663 Portola Valley, Ca 94028 Architect@JohnRichards.com	Versions 10/11/16
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# MEMORANDUM

## TOWN OF PORTOLA VALLEY

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**TO:** ASCC and Planning Commission

**FROM:** Arly Cassidy, Associate Planner

**DATE:** November 28, 2016

**RE:** Preliminary Review of a Proposal to Renew and Amend a Conditional Use Permit, Alpine Inn Beer Garden, 3915 Alpine Road, File # 36-2016

### RECOMMENDATION

Staff recommends that the ASCC and Planning Commission discuss the item below and provide staff with comments and direction on the proposed changes to the Conditional Use Permit for the Alpine Inn Beer Garden (Alpine Inn) at 3915 Alpine Road.

### BACKGROUND

The Alpine Inn Beer Garden has existed since the 1850's, and has served under various names as a roadhouse and saloon. The building is a California Registered Historical Landmark (No. 825, Casa de Tableta). In the late 1960's shortly after incorporation, the Town determined that the beer garden required a Conditional Use Permit (CUP) for its operation in order to more closely regulate its impacts on the surrounding residential uses.

In 1970, the Planning Commission approved a CUP (Attachment 2) for the existing beer garden use, which included a number of Conditions of Approval (COAs). In 1978, nearing its 10 year expiration, Alpine Inn began the process of renewing its CUP. Many modifications were proposed. One key update was a parking requirement, along with an associated lease (Attachment 5) of adjacent Town land to satisfy said requirement. The Conditions of Approval from this updated CUP were approved in a Planning Commission resolution in 1982 (Attachment 4). Although this updated CUP was scheduled to expire in 1992, it was never renewed, although the accompanying Conditions were generally adhered to by Alpine Inn. The lease between the Alpine Inn and the Town, however, was maintained continuously and so, by association, the CUP was kept alive.

On September 19, 2016, the owners of the Alpine Inn submitted an application to renew their Conditional Use Permit and included several proposed changes to the use permit conditions (Attachment 6). They included a redlined copy of the 1982 Conditions of Approval, transcribed below, as well as a survey of the Alpine Inn parcel, showing a proposed easement across it. This easement, described in the lease, would further codify the Town's right to cross the

applicant's parcel to reach the Town's parking lot and Rossotti Field. Both the easement and the lease are described below, following the discussion of the Conditions of Approval.

## DISCUSSION

### Conditions of Approval

Existing Conditions of Approval from Planning Commission Resolution No. 1982-232 are listed below, lettered a) through w). Redline shows the applicant's proposed strikes and additions. Analysis and changes proposed by staff follow each condition, if called for.

- a) The maximum seating capacity shall not exceed 337 persons, comprised of space for 63 persons inside and 274 persons outside. The maximum number of persons on the site shall not exceed 337 at any one time.
- b) The uses permitted shall be limited to:
  - a. Serving of hamburgers, sandwiches, beer and soft drinks and related miscellaneous food items.
  - b. Picnicing.
  - c. Accessory and amusement devices in the front 360 sq. ct. area in the restaurant building.
- c) Food and beverages shall be consumed only within the restaurant and in the area designed on the site plan as "Beer Garden Picnic Area".
- d) The hours of operation shall be limited to 11:00 a.m. to 1:00 a.m. on weekdays and Saturdays and to 11:00 a.m to 10:00 p.m. ~~6:00 p.m. or dusk on Sundays, whichever is later.~~

Hours posted at the beer garden and online are 11:30 a.m. – 9:00 pm, Monday – Saturday and 11:30 a.m. to 6:00 p.m. Sunday. Staff suggests daily opening hours of 11:30 a.m. – 9:00 p.m. With this modification, dinner service will be added on Sundays and the hours of operation extended from 6:00 p.m. to 9:00 p.m. This one additional night of staying open until 9:00 p.m. should not have an appreciable impact on the surrounding uses.

- e) ~~There shall be no amplified music or other amplified sound which in the opinion of the Planning Commission is loud enough to be objectionable to surrounding residents.~~

Staff recommends maintaining this condition, but with some modifications. Under Prohibited Sources of Noise, the Municipal Code states:

Notwithstanding any other provision of this chapter, the following sources of noise are prohibited: ... d) Musical instruments, sound amplifiers and sounds in general. The making of any recurring and excessive sound or noise by any method so that the sound is plainly audible and a reasonable person owning, using, or occupying property in the neighborhood is disturbed. This prohibition includes, but is not limited to, the use or operation of any musical instrument or any device, machine, apparatus, or instrument for intensification or amplification of the human voice or music. (Section 9.10.060)

Give this restriction, staff recommends the continued prohibition of amplified live music, but the allowance of unamplified live music and the playing of recorded music, both limited to the inside restaurant area and outdoor fenced picnic area, with the additional restriction that noise shall be controlled so not to exceed 50 dBA beyond the property lines adjacent to residential neighborhood.

- ~~f) The permit is limited to the improvements, including landscaping, shown on the site plan dated December 2, 1978, signed by Town Planner on December 11, 1978, entitled "Parking Layout and Landscaping of Alpine Beer Gardens" and such building plans as may be approved by the Architectural and Site Control Commission in accordance with the site plan. Minor deviations from the December 2, 1978 plan may be permitted with concurrence by the Architectural and Site Control Commission and Town Planner. All improvements shown on the site plan shall be completed pursuant to the "schedule of work to be done on the site plan" unless otherwise stipulate in conditions (a) through (w).  
Any changes permitted shall insure a continued informal quality to the site.~~

The proposed improvements referenced here have since been installed and signed off. This condition is no longer applicable.

- g) The buildings and site shall at all times comply with the requirements of the Health Officer, Town Engineer, Building Inspector, and Fire Chief. The main structure (bar and restaurant) shall be preserved in its present historical state and style to the maximum extent possible. In particular, the interior and exterior walls shall remain as is. The shed attached to the southwest side of the building shall be removed and may be replaced with an addition of the same or lessor floor area and in an architectural style compatible with the main architecture.

The "shed" described is a small addition, attached to the southwest side of the main building facing into the picnic area, which is currently used for storage and food preparation. Although old, the shed does not appear to be any more dilapidated than the rest of the building; it appears on all building plans associated with the project, dating back to 1968. Staff recommends that the final sentence of condition g) be modified to read: "The shed attached to the southwest side of the building *may be removed and replaced* with an addition of the same or lessor floor area and in an architectural style compatible with the main architecture."

- h) All lighting and signs shall be satisfactory to the Architectural and Site Control Commission.
- i) An easement shall be dedicated as necessary to accommodate the riding trail shown along the Alpine road frontage of the subject site. The riding trail shall be installed within said easement and to standards shown on the site plan by the applicants to the satisfaction of the Town Engineer.

Staff can find no evidence that the riding trail easement described here was ever recorded; no mention of it appears in the title report or the county maps of the property. Staff recommends that this trail easement be recorded along with the ingress/egress easement for car travel discussed below.

Despite the lack of an officially recorded easement, the riding trail exists. It runs along the northwest border of the property adjacent to and parallel with Alpine Road and the pedestrian path. Along the property line, a wooden horse fence has been built between the trail and the road. Some additional wooden members sit lower down, acting as a short retaining wall to keep dirt from the higher grade of the street and pedestrian path from spilling down across the lower riding trail. The fence and wall are in poor condition, with large segments missing the wood members entirely; staff recommends that this condition be modified to include language requiring that the fence and retaining wall adjacent to the trail easement be maintained in good condition.

- j) All easements across the property shall be accommodated within the site plan.

Staff discusses the proposed access easement connecting to Rossotti Field below, separate from the Conditions of Approval.

- k) Parking shall be provided for 126 cars in the areas surfaced with crushed rock or gravel as shown on the site plan. ~~In addition, space shall be provided for tethering of a minimum of 22 horses as shown on the site plan.~~

#### Horse Tie Rails

The applicant is proposing to remove the requirement to provide tie rails for 22 horses. Staff feels that this feature helps maintain the historical aspect of the property, and staff has heard anecdotally that it is still used by Alpine Inn Beer Garden patrons. It is recommended that the metal tie rail tucked into the eucalyptus trees at the east corner of the property, off of the driveway and Arastradero Road, be maintained, but that the newer wood and metal tethering poles at the intersection of Alpine and Arastradero Roads be removed. The older rail, tucked back away from both roads, is in a safer and more appropriate location; it has eight hitching spots in the form of metal horse shoes welded to the poles.

#### Parking Lot

Parking requirements are calculated based on the maximum occupancy of a commercial structure. For establishments for the sale and consumption on the premises of alcoholic beverages, food, or refreshments, 1 parking space is required for each 2.5 seats or stools (Section 18.60.110, Table 5).

In addition, in indoor or outdoor places of assembly in which patrons or spectators occupy benches, pews, or other similar seating facilities, each twenty inches of such seating facility shall be counted as one seat for the purpose of determining requirements for off-street parking facilities (Section 18.60.110.B). However, the Planning Commission staff report dated July 14, 1978, proposes 24 inches of bench space per seat. This gives a 6 foot picnic table exactly six seats; while more people might squeeze in, this seems a more likely spacing when considering strangers sharing tables.

Staff conducted a survey on November 21, 2016 and found that the beer garden currently has one twelve-foot and 30 six-foot picnic tables outside, and a combination of counter stools, long picnic tables, and various chairs and benches inside. Using the 24" seating measurement, this comes to 192 outdoor and 58 indoor seats, for a total of 250 seats. Both the 1978 staff report and the current zoning code use a standard of one parking space required for every 2.5 seats. Dividing the seating on site by the parking ratio gives a parking requirement of 100 spaces.

When horse “parking”, with a ratio of one hitch to one seat, is factored in first, the remaining 242 seats have a car parking requirement of 97.

The 1978 site plan charts the parking available on both the applicant’s parcel as well as the Town’s adjacent lot. On the site plan, 20 parking spaces are shown in the east lot, ten in the north lot, and 25 on the applicant’s segment of the west lot (the remainder is town property). This gives a total of 55 spaces. However, the removal of some bushes and the extension of parking along the front of the beer garden has raised the current total closer to 65 according to staff’s estimations (there is not striping in either lot).

Due to its large seating area and lack of adequate parking, the Alpine Inn Beer Garden has leased the use of parking spaces on the adjacent lot from the Town since 1982. (This lease is discussed in more detail below, following the Conditions of Approval.) By staff’s estimate, there are approximately 71 spots in the Town’s parking lot, bring the Alpine Inn Beer Garden’s parking total up to approximately 136.

- ~~l) The existing residence may remain, but if ever destroyed to more than 50% of its appraised value, shall not be rebuilt but may be replaced with a building not exceeding 1,500 square feet to serve as a residence for the caretaker plus storage for the restaurant in a location conforming with the required yards and subject to Planning Commission approval.~~

The residence referred to is a separate building that sits behind the main restaurant structure, closer to the creek. The manager of the beer garden informed staff that it is no longer used as a residence, but rather as his office and storage, and the applicant’s intent in striking this condition is to formally remove any residential use from the site, for a caretaker or otherwise.

The building is in bad shape and likely holds multiple code violations. The original 1970 Conditions of Approval required the building’s removal within five years, allowing for its replacement (not to exceed 1,500 square feet); the condition was later updated to allow the building to remain. Staff recommends keeping the condition but modifying it to acknowledge the structure as legal non-conforming, with its use as an office and storage allowed to continue.

- ~~m) The applicant shall provide deputy sheriffs to handle parking on the property for periods of peak customer loads. If possible, deputies shall be uniformed.~~

- n) The use permit shall be issued for a ten year period from the effective date of the permit, at the end of which time it may be extended at the option of the Town. The permit shall be subject to review by the Planning Commission in re compliance with the terms of the permit and applicable provisions of the zoning ordinance at the discretion of the Planning Commission.

Staff recommends that this renewed Conditional Use Permit, if approved, be reviewed by the Planning Commission after one year, and then once every three years for to ensure continued conformity with permit provisions. The amended CUP shall expire after a ten year period or upon a change of ownership of the business and/or land.

- o) The applicant shall maintain the property in a neat and clean manner at all times. He shall in addition see that the abutting and nearby portions of adjoining Los Trancos Creek, public roads and public properties are maintained free from litter.

- p) If all or any portion of the main structure should be destroyed, and if rebuilt, shall be rebuilt so as to be a replica of the prior structure.
- q) The emergency access shown on the site plan shall be improved to the satisfaction of the Fire District. This access shall be used only in emergencies.

The applicant has begun the process of hiring an architect in order to improve code and safety issues, as well as to address a number of deferred maintenance issues.

- r) Prior to installation of plantings along Alpine road, the location of plans shall be approved by the Chairman of the ASCC and Conservation Committee.

Staff recommends removal of this condition. If the applicant would like to modify landscaping, they can either submit a site plan as a modification to the CUP or apply for ASCC review for minor alterations.

- s) If the right to use the parcel currently leased from the Town is ever lost, the seating capacity of the use will be modified within 30 days to be consistent with the zoning ordinance standards to the satisfaction of the Town Planner unless a longer period is approved by the Planning Commission.

See discussion of the lease, below.

- ~~t) Recommendations of the Town Engineer, Traffic Committee and Conservation Committee.~~

These recommendations were part of the old site improvements and have been met. Staff agrees with the strike.

- u) Traffic signs on site shall be subject to review by Architectural and Site Control Commission and the Traffic Committee.
- ~~v) The applicant shall complete the modifications called for below within six months of the effective date of the permit:
  - a. ~~Revise the site plan to provide a 12' wide entrance from the {sic} parking lot to the soccer field for use by maintenance vehicles.~~
  - b. ~~Replace the broken horse tethers in the north and south tethering areas.~~
  - c. ~~Revise the north parking lot to conform with the site plan to the satisfaction of the ASCC.~~
  - d. ~~Plant the areas between the east parking lot and the creek according to a landscape plan approved by the conservation committee.~~
  - e. ~~Replace the dead tree at the northeast corner of the main building with a tree to the satisfaction of the conservation committee.~~
  - f. ~~Paint the required wording for the emergency entrance at Alpine Road on the pavement as stipulated on the site plan.~~Improve the definition of the horse crossing of the entrance road to satisfaction of the trails committee.~~

~~w) Install the improvements called for in the site plan for the southwestern portion of the parking area according to the time schedule set forth on the site plan with the schedule to start from the effective date of this permit.~~

These conditions were part of the old site development application and have been completed.

Staff recommends consideration of additional conditions of approval, including:

- a) Maintenance of vegetation along right of way and within parking lot
- b) Maintenance of sight lines at the intersection of Arastradero and Alpine Roads
- c) Maintenance of parking lot paving to a safe level for vehicle, bicycle, pedestrian and equine use, including use of Class II compacted base rock or equivalent, asphalt and slurry seal.

### Ingress Egress Easement

The applicant has submitted a recent survey, dated February 11, 2016, showing a proposed easement across the Alpine Inn Beer Garden parcel. The easement shown connects Arastradero Road to the Rossotti playing field owned by the Town, and uses the existing paved parking lot entrance off of Arastradero Road. The easement is currently drawn to go directly past the front of the Alpine Inn Beer Garden, when in fact a row of perpendicular parking on either side of the drive aisle would require cars accessing the Town's parking lot to drive down a center aisle, pushed farther out into the middle of the lot and toward Alpine Road. The easement should therefore be redrawn to reflect its actual location.

The easement measures 22 feet across. Municipal Code Section 18.60.020 B Table 4 requires 25 foot clearance for an aisle with two way traffic, as this would have. The easement should therefore be widened to 25 feet, which would still allow for an 18 foot long parking stall on either side of the easement, as required by code.

Staff recommends that language specifying that the easement shall be unrestricted and maintained to Town standards, and that the speed bump along the easement shall be diagonally maintained with a bright yellow paint diagonally striped across its surface.

A second easement, representing the old alignment of Arastradero Road, now vacated, runs across a section of the Alpine Beer Garden property. This easement was intended to be released from the town and returned to the Alpine Beer Garden owners, but a final recording of the map effecting this never took place, and so the easement remains. Staff recommends that a map reflecting this change be finalized and recorded with the County.

### Parking Lot Lease

The Town has leased to the Alpine Inn Beer Garden the parcel of land adjacent to its south since 1982, when it was originally required by the amended CUP. The lease allows for the use of parking and associated picnicking and landscaping. The cost is linked to the consumer price index and increases annually; it is \$6,316 for fiscal year 2016/17. The 1978 site plan shows the town-owned lot accommodating approximately 71 parking spaces; the lease is silent on the exact number of parking spaces being leased.

Both the existing CUP and lease require that the other exist. Alpine Inn must lease the land in order to provide its required parking, and the Alpine Inn Beer Garden use must continue for the lease to be valid.

In reviewing the Use Permit, Town staff found that Palo Alto University, a school located at 1791 Arastradero Road, in the City of Palo Alto, is currently leasing parking spaces on the Alpine Inn lot. According to representatives of the University, approximately 30 staff park in the beer garden-owned lot Monday – Friday, approximately 7:30 a.m. – 5:30 p.m., so as to leave the parking spaces on the University campus open for faculty and students. A small shuttle bus runs almost continuously between the Alpine Inn lot and the University. The University has three 11 week quarters, with no classes during the summer. The University staff does their best to always park on the Inn's property, and not in the Town's adjacent lot.

This sublease has existed since 2009, and staff is unaware of any complaints, but the lease is a violation of the Conditions of Approval of the CUP. Specifically, the Alpine Inn has to lease the Town's parcel in order to provide its required parking. If the Inn then leases its own parking spaces out to another party, the available parking is reduced, possibly below what must be provided in order to serve the available seats at the Inn.

Staff recommends adding language to both the lease and the CUP Conditions of Approval requiring that all Inn parking always be available for patrons, and not permitted to be subleased. If a closer examination reveals that the Inn requires less parking than before, it should first give up its lease of Town parking.

## CONCLUSION

At this time, staff is seeking initial feedback and guidance from the ASCC and the Planning Commission on the proposed amendments to the use permit. Based on the feedback, staff will work with the applicant to finalize the application and submit them to the commissions for further review in the next several months.

## Attachments

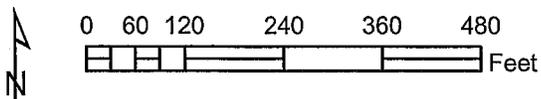
1. Vicinity Map
2. Planning Commission Resolution No. 1970-88
3. Planning Commission Staff Report, dated July 14, 1978
4. Planning Commission Resolution 1982-232
5. Lease, executed on May 26, 2010
6. Applicant Letter, Redlined COAs and Survey, received 6/1/16 and 11/2/16

Report approved by: Debbie Pedro, Planning Director





Vicinity Map



3915 Alpine Road  
November 2016

RESOLUTION NO. 1970-88A RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN  
OF PORTOLA VALLEY GRANTING CONDITIONAL USE PERMIT TO  
ALPINE BEER GARDEN - USE PERMIT APPLICATION X7D-34

RESOLVED, by the Planning Commission of the Town of Portola Valley, California, that

WHEREAS, application has been made on behalf of the Alpine Beer Garden to secure conforming status under the Zoning Ordinance and for a Conditional Use Permit under Section 6401.2 of the Zoning Ordinance, comprising the existing and proposed use of the existing facilities of the Alpine Beer Garden, as presently operated, plus the addition of parking spaces and certain improvements on Assessor's Parcels Nos. 079-123-020 and 079-125-010, which is a conditional use within the O-A zoning district in which the parcels are located;

WHEREAS, this Commission caused notice to be given of a public hearing to be held on February 5, 1969, for the purpose of considering the authorization of a conditional use permit for said existing and proposed uses;

WHEREAS, said hearing has been conducted from time to time and the application has been supplemented and modified from time to time; and

WHEREAS, this Commission has heard and considered the evidence and facts presented, which evidence and facts included a study of the requirements of the zoning regulations of the Town;

NOW, THEREFORE, IT IS FOUND, DETERMINED and ORDERED, as follows:

1. That the proposed use as modified and supplemented is properly located in relation to the community as a whole and to land uses and transportation and service facilities in the vicinity.

2. That the site for the proposed use, together with the additional leased parking areas, is adequate in size and shape to accommodate the proposed use, and that all yards, open spaces, walls and fences, parking, loading, landscaping, and such other features as may be required by the zoning ordinance or is, in the opinion of the Commission, needed to assure that the proposed use will be reasonably compatible with land uses normally permitted in the surrounding area will be provided.

3. That the site for the proposed use will be served by streets and highways of adequate width and pavement type to carry the quantity and kind of traffic generated by the proposed use except as to the requirements for improved access and relocation of Arastradero Road.

4. That the proposed use will not adversely affect the abutting property or the permitted use thereof.

5. That the continuation of the existing use and the proposed use, subject to the conditions imposed herein, will comply with the regulations and conditions specified in the zoning ordinance for such uses, and permit is hereby granted for the use of said property as a private and commercial recreation uses and buildings.

6. That a conditional use permit is hereby granted for the proposed private and commercial recreation uses and buildings subject to the following conditions:

(1) The maximum seating capacity shall not exceed 225 persons, comprised of space for 75 persons inside and 150 persons outside. The maximum number of persons on the site shall not exceed 350 at any one time.

- (2) The uses permitted shall be limited to:
- a. Serving of hamburgers, sandwiches, beer and soft drinks and related miscellaneous food items.
  - b. Picnicking.
  - c. Accessory and amusement devices including one pool table, and two pinball machines.

(3) Food and beverages shall be consumed only within the restaurant and in the areas designated on the site plan for picnic use.

(4) The hours of operation shall be limited to 11:00 A.M. to 1:00 A.M. on weekdays and Saturdays and to 11:00 A.M. to 6:00 P.M. or dusk on Sundays, whichever is later. The establishment shall be closed on Sundays until physical improvements required by conditions 6, 7, 9 and 12 have been completed.

(5) There shall be no amplified music or other amplified sound which in the opinion of the Planning Commission is loud enough to be objectionable to surrounding residents.

(6) The permit is limited to the improvements shown on the site plan dated January 26, 1970, and such building plans as may be approved by the Architectural and Site Control Commission in accordance with the site plan. Minor deviations from these plans may be permitted with concurrence by the Architectural and Site Control Commission and Town Planner. All improvements shown on the site and building plans shall be completed within two years of the effective date of this permit unless otherwise stipulated in conditions (1) through (20).

(7) The building and site plans shall comply with all re-

requirements of the Health Officer, Town Engineer, Building Inspector, and Fire Chief. The main structure (bar and restaurant) shall be preserved in its present historical state and style to the maximum extent possible. In particular, the interior and exterior walls shall remain as is. The shed attached to the southwest side of the building shall be removed and may be replaced with an addition of the same or lesser floor area and in an architectural style compatible with the main structure.

(8) A six inch water main shall be extended to the site and a fire hydrant installed, both to the satisfaction of the Fire Chief, within two years of the effective date of this permit.

(9) Building and site design, adequate landscaping, fencing, lighting and signs shall be satisfactory to the Architectural and Site Control Commission. The entire development shall be harmonious in appearance with the concept of the Alpine Parkway as expressed in Town plans. In particular, vegetation shall be native to the area and the design of fences shall be consistent with fence design concepts adopted by the Town for the entire Alpine Parkway. The applicant shall engage a licensed landscape architect or professional landscape designer to assist in site design and planting plan.

(10) A twenty (20) foot wide trail and path easement shall be dedicated as shown on the site plan stipulated in condition No. (6). A bike path and an equestrian trail shall be installed within said easement and to Town standards by the applicants within three months of the removal of the residence as required by condition (14), or within three months of the installation

of a contiguous path or trail on the adjoining property to the south, whichever is later.

(11) All easements across the property shall be accommodated within the site plan.

(12) Parking shall be provided for 90 cars in areas surfaced with crushed rock or gravel. Overflow parking shall also be provided for 90 additional cars on a grass covered area properly maintained to minimize fire hazard and to the satisfaction of the Fire Chief.

(13) Arastradero Road shall be relocated, improved and dedicated in accordance with the site plan at the expense of the applicant. The width of the paved surface shall be established by the Town Council. This condition shall be complied with by November 1, 1972.

(14) The existing residence shall be removed within five years, and may be replaced with a residence not exceeding 1,500 square feet for a caretaker in a location conforming with required yards and subject to Planning Commission approval.

(15) The applicant shall provide uniformed deputies to handle parking on the property for periods of peak customer loads.

(16) The use permit shall be issued for a ten year period at the end of which time it may be extended at the option of the Town. The permit shall be subject to review by the Planning Commission in re compliance with the terms of the permit and applicable provisions of the zoning ordinance at the discretion of the Planning Commission.

(17) The applicant shall maintain the property in a neat and clean manner at all times. He shall in addition see that

the abutting and nearby portions of adjoining Los Trancos Creek, public roads and public properties are maintained free from litter.

(18) If all or any portion of the main structure should be destroyed, and if rebuilt, shall be rebuilt so as to be a replica of the prior structure.

(19) A site plan with contours certified as to accuracy by a Civil Engineer shall be submitted prior to issuance of permits for construction or grading.

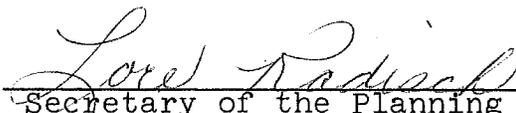
(20) An emergency access shall be installed from the site to Alpine Road at a point opposite the intersection of Golden Oak Drive and Alpine Road. This access shall be used only in emergencies and at such times when traffic to and from the site is controlled by deputy sheriffs or a private patrol, but at no other time.

7. That the granting of the permit, as indicated herein, shall be subject to concurrence by the Council of the Town of Portola Valley which shall be, and it is hereby, authorized to modify the conditions provided herein without referral back to this Commission provided, however, that any such modifications shall be made by the Town Council only after it has elected to review the proceedings of the Planning Commission in accordance with the provisions of the zoning regulations and has conducted at least one duly noticed public hearing on the Alpine Beer Garden conditional use permit.

8. That the Secretary of the Planning Commission shall cause the formal conditional use permit to be issued to the applicant. Said conditional use permit shall become effective on the thirty-first day following the date of adoption of this resolution unless

the issuance of said permit shall have been appealed or the Town Council shall have determined, from a review of the decision, to set the matter for public hearing.

9. That copies of this resolution be transmitted to the applicant, to the Town Clerk of the Town of Portola Valley, and to the Building Inspector.

  
Secretary of the Planning Commission  
of the Town of Portola Valley

APPROVED:

  
Chairman

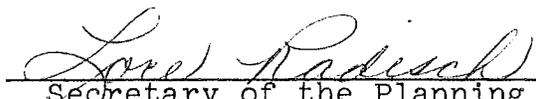
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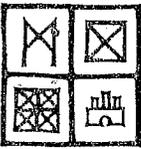
I hereby certify the foregoing to be a true copy of a resolution adopted by the Planning Commission of the Town of Portola Valley at a meeting thereof held on the 4th day of February, 1970, by the following vote of the members thereof:

AYES, and in favor thereof, Members: Alexander, Grogan, Johnson, Kingman and Whitson

NOES, Members: None

ABSENT, Members: None

  
Secretary of the Planning Commission  
of the Town of Portola Valley



July 14, 1978

MEMORANDUM

To : Planning Commission, Town of Portola Valley

From : George G. Mader, Town Planner

Subject: Amendment to Conditional Use Permit X7D-34, Alpine Beer Garden

Location

1. Location: 3195 Alpine Road
2. Assessor's Parcel Number: 079-123-020 and 079-125-010
3. Zoning district: O-A (Open Area)

Background--Request

Randy Chafin's memorandum of February 6, 1978, transmitted to the Commission earlier, provides some of the more relevant history on the Alpine Beer Garden conditional use permit approved by the Planning Commission on February 4, 1970, and should be referred to for much of the background related to the present application. At present, the owners of the Beer Garden, John Alexander and Don Horther, are requesting amendment of their conditional use permit to reflect physical changes in the site that affect the original list of conditions and to have a new site plan approved to guide use of the subject lands. Specifically, they are requesting approval of the enclosed new site plan dated 6/21/78 entitled "Parking Layout and Landscaping of Alpine Beer Garden" and revision of the original list of approved conditions essentially as modified on the enclosed proposed revised list of conditions (this revised list has been prepared by our office based on many discussions with the applicants and their architect).

Ordinance Requirements

In order to grant an amendment to a conditional use permit, the Planning Commission must make findings in support of the requirements of Section 6937.8 of the zoning ordinance.

6937.8. Planning Commission Findings and Recommendations. All actions of the Planning Commission related to the findings and recommendations shall be taken in accordance with the requirements of Section 6939.7 of this ordinance. If, from the facts presented at the hearing, the Planning Commission finds that the proposed amendment is in general conformance with the General Plan and that public necessity, convenience and general welfare require the proposed amendment or any part thereof, the Planning Commission shall recommend such change and otherwise it shall disapprove same. If disapproved, the action of the Planning Commission shall be final, except that the matter may be appealed to the Town Council in accordance with Section 6951 of this ordinance.

### Evaluation

The basic purpose of the amendments to the CUP is to resolve those differences between the applicant and the Town that have been outstanding since the time the first comprehensive review of the Beer Garden CUP was initiated in June of 1976. The most significant need was to have the applicants comply with the original CUP provisions regarding preparation of an adequate site and landscaping plan. We believe the plan now before the Commission meets the intent of the original CUP provisions. However, because of such changes as the realignment of Arastradero Road, new provisions for trails and a better understanding of the capacity of the site to accommodate parking, it appeared appropriate to pursue amendment of the CUP so that many of the aspects of the original list of conditions that could only be generally described can now be better tied down through the public hearing process. The following aspects have received particular staff attention during the evaluation of the amendment request: size of operation and related parking and seating capacity, overall site design, trails and paths, landscaping, west parking area subleased from the Town and traffic circulation. Each of these items is discussed separately below:

1. Size of operation and related parking and seating capacity provisions. When originally approved, the CUP provided for maximum seating of 225 persons (75 inside and 150 outside). The applicants are now requesting that this be modified to allow for a maximum of 355 persons (63 inside and 292 outside). They have calculated the proposed seating based on the parking area they are providing (see "Capacities" table on site plan) and have also added one seat for each of the horse tethering rings.

The parking/seating ratio shown on the site plan meets the zoning ordinance standards of one parking space for each 2.5 seats. However, there are no specific seat standards relative to horse tethering, and therefore, the addition of tethering spaces was done at the request of the Trails Committee. The Committee's request resulted in some modification of the originally proposed parking area resulting in reduced gravel area and the loss of a few parking spaces. The matter of seating related to tethering spaces has been discussed with the applicants, and we believe it is appropriate to allow seats at the ratio of one for each tethering space. This can be permitted by the Planning Commission under CUP provisions of the zoning ordinance if the Commission finds the modification is appropriate in regard to the specific use proposed.

While we believe the parking/seating capacity proposed meets the standards of the zoning ordinance, the Commission must determine whether the proposed increased seating capacity is appropriate. Because of the history of the use of the Beer Garden it is difficult to evaluate the impact of the increased seating capacity. At the time of the Planning Coordinator's inspection of the site in February (see his memo of 2/6/78) it was clear that the seating capacity far exceeded that

permitted by the CUP. Also, it is clear that on several occasions the maximum CUP permitted number of people on site has been exceeded. We are of the opinion that with improved circulation resulting from the Arastradero Road re-alignment and the new site plan parking lot organization the site can accommodate the number of cars proposed.

However, a major concern is the impact on adjoining uses. For all practical purposes, we believe the implementation of site improvements will provide for improved site use and less impact on adjoining properties. We believe the negative impacts of site use are not necessarily a direct result of the number of people on the site but more related to inconsiderate use by individuals. Thus, probably more effort has to go into administration of site use by the owners to control undesirable activities. Based on this evaluation, we recommend the increased seating capacity be permitted subject to annual review for compliance with the existing conditions relative to proper operation.

The units of measurement to determine number of seats is proposed to be 24" of bench space per seat. In the Beer Garden area the site plan proposes 49 tables to accommodate 292 persons. Using the 24" standard this means that all of the tables would be approximately 6 ft. long. Many of the tables now in the Beer Garden are clearly longer than 6 ft. Thus, we recommend that if the Commission approves the CUP it be clear that the approval is for the seating capacity and that the number of tables may have to be modified to meet the maximum seating capacity using the 24" standard.

2. Overall site design. Both the ASCC (5/9/78) and the Conservation Committee (H. Dengler letter of 5/15/78) have expressed concern regarding the "formal" appearance of the parking area and impact of parking area paving. In addition, these two bodies and the Health Officer have expressed concern over the barbed wire on the existing fence along Alpine Road. (Attached is a letter from the applicant dated 6/15/78 responding to some of these comments.)

We believe the site plan has been drawn to clearly show the intended improvements and thus tends to appear somewhat structured. The proposed log barriers stand out as lines on the site plan but with planting and normal grass growth these will be subdued in time. We agree the structure of the parking area is more formal than presently exists but is essential if the on-site circulation and parking are to be improved.

The surface of the parking areas is to be gravel (except where asphalt presently exists). This is the same surface as is presently on the parking area and all that is proposed is to upgrade the existing surface that has deteriorated.

Concern expressed regarding the existing barbed wire fence along the Alpine Road frontage of the parcel subleased from the Town (see note on site plan) centers on the hazard to trail users. The applicants have indicated they would remove the fence if the property owner would allow them to do so but that they do not feel they are in a position to do much beyond the parking area improvements that are related to the provisions of their lease. The matter of this fence probably is one that should be discussed between the Town and the property owner.

The ASCC is of the opinion that the new fence proposed along the Alpine Road frontage of the subject property is unnecessary. Because of the new riding trail design and necessary retaining wall (see plan Section 2-2) we believe the fence is necessary for safety to bike path users. We also believe the design of the fence is consistent with that approved for use within the Alpine Parkway.

The ASCC has spent considerable time in review of the site plan at various stages in the process of design of site use. Many of their comments are very detailed and relate to insuring an informal appearance of the improvements. It is difficult to review all of the Committee's comments in the staff report and their detail is probably beyond what the Commission can practically consider during the public hearings. Thus, we recommend that if the Commission approves the CUP amendment and revised site plan that the implementation of the plan be subject to further interaction with the ASCC with the intent to make appropriate changes that will help give an informal appearance to the site improvements.

3. Landscaping. The landscaping shown on the site plan is based on comments received by the ASCC and the Conservation Commission. However, some additional comments have been received from the ASCC that have not been discussed with the applicant. In particular, the Committee is concerned about the planting of isolated redwood trees and believes that in time, with growth, the site will have an unnatural appearance. The site plan should be referred back to the ASCC for review to accommodate this concern. In addition, actual planting along the roadway should be reviewed by the ASCC to insure that it will grow to have a more natural than manicured appearance.
4. Trails and paths. The Trails Committee has reviewed the site plan and is satisfied the plan accommodates all items the Committee has been concerned about. However, the Committee would like to have the opening in the fence adjacent to the soccer field (to accommodate the riding trail along Alpine Road) completed earlier than shown in the "schedule of work". Since this requires only opening the fence and marking the riding trail, we believe it can be included as part of priority 1.

At the southwestern end of the "West Parking Lot" the site plan shows a proposed fence between the parking area and the riding trail with a maze opening in the fence. The fence and maze were added at the request of the Trails Committee to protect riders and prevent horses from going through the parking lot. The ASCC has indicated the fence is unnecessary, but for the reasons stated by the Trails Committee we believe it is appropriate.

5. West Parking Area. The majority of this area is on property the applicants sub-lease from the Town. Both the applicants' sublease with the Town and the Town's lease with the Rossitti's expire in November of 1979 (Not February of 1980 as shown on the site plan). The applicants have indicated they do not want to make major improvements to the West Parking area or to the other facilities if their sublease cannot be successfully renegotiated. Because it is difficult to know what will happen regarding the lease, it appears reasonable to allow major improvements to be tied to successful renegotiation of the lease or whatever arrangements are necessary to insure right of continued use of the west parking area. Also, we recommend that the CUP amendment be conditioned with the provision that if the right to use the subleased parcel for parking is lost, the seating capacity of the use will have to be modified to be consistent with the zoning ordinance standards. This would mean the loss of approximately 72 parking spaces and 180 seats.
6. Traffic circulation. The Traffic Committee and Town Engineer have been asked to comment on the circulation plan and the proposed slow-down signs along Arastradero Road. According to the Planning Coordinator, the Traffic Committee found no problem with the plans. The Town Engineer's comments have not yet been received.

#### Environmental Impact Report

We have reviewed the proposed changes and have determined this application is categorically exempt under Section 15101 of the CEQA, minor alterations, additions, and improvements to existing facilities.

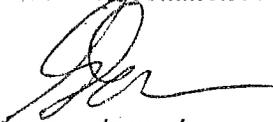
#### Recommendation

Unless new information presented at the public hearing leads to other determinations, we recommend the list of conditions imposed on CUP X7D-34 be amended as shown on the attached list of proposed revised conditions dated 7/12/78, which includes reference to the new site plan dated 6/21/78, and that the following conditions be added:

18. Within 3 weeks of the effective date of this CUP amendment the tables in the Beer Garden Picnic area shall be modified or reduced in number to provide seating for no more than 292 persons (based on 24" of bench space per person). All excess tables shall be removed from the premises. The Planning Coordinator

shall conduct an inspection to insure compliance with this condition and report his findings to the Planning Commission.

19. The final site plan shall be certified by the Chairman of the Planning Commission. Prior to certification, the applicant and ASCC shall meet to identify those plan modifications ASCC feels are necessary to insure an informal quality to the proposed improvements. These changes shall be identified for the Planning Commission Chairman prior to his certification of the site plan so that he can insure they are consistent with the intent of the Commission action in approving the CUP amendment.
20. Prior to installation of plantings along Alpine Road, the location of plants shall be approved by the Chairman of the ASCC.
21. Priority 1 on the site plan shall be changed to include making an opening in the fence immediately west of the soccer field for horses and marking the new horse trail to the satisfaction of the Trails Committee.
22. If the right to use the parcel currently subleased from the Town is ever lost, the seating capacity of the use will be modified within 30 days to be consistent with the zoning ordinance standards to the satisfaction of the Town Planner unless a longer period is approved by the Planning Commission.
23. Recommendations of the Town Engineer.



GGM/TCV/ii

enclosures

- cc. Planning Coordinator  
Town Clerk  
Town Attorney  
Town Health Officer  
Fire Chief  
ASCC  
Mayor  
Town Council Liaison  
Conservation Commission  
Trails Committee  
Town Engineer  
Applicant

EXHIBIT B

RESOLUTION NO. 1982-232

Attachment 4

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
TOWN OF PORTOLA VALLEY MAKING DETERMINATION ON  
ENVIRONMENTAL IMPACT, AUTHORIZING CATEGORICAL  
EXEMPTION AND DIRECTING FILING OF NOTICE  
OF EXEMPTION AND GRANTING CONDITIONAL  
USE PERMIT TO ALPINE BEER GARDEN  
USE PERMIT APPLICATION X7D-34

RESOLVED, by the Planning Commission of the Town of Portola Valley, California, that

WHEREAS, application has been made on behalf of Tin Can Alley, Inc., a California corporation, by John Alexander and Don Horther for renewal of a lapsed conditional use permit under Section 6935.10 of the Zoning Ordinance comprising a permit to grant conforming status and to allow reinstatement of a previously granted use permit which had lapsed by its own limitations on Assessor's Parcel Nos. 079-123-020 and 079-125-010, which proposed use is a conditional use, within the O-A zoning district in which the parcels are located;

WHEREAS, this Commission caused notice to be given of a public hearing to be held on June 16, 1982;

WHEREAS, evidence as to the environmental impact of the proposed use permit was submitted to the Commission as a part of the staff report which indicated that the proposed use would be consistent with the designation of the property on the General Plan and that the proposed use which might, in some circumstances, have a significant effect on the environment, did not in the particular application appear so to do and recommended findings to the Commission which would permit the Commission to authorize making of a categorical exemption for the project as existing facility pursuant to Class 4.6 A of the Town guidelines and 15101 of the State guidelines to be attached to the notice of exemption following action by the Planning Commission; and

WHEREAS, this Commission has heard and considered the evidence and facts presented, which evidence and facts included a study of the requirements of the zoning regulations of the Town;

NOW, THEREFORE, IT IS FOUND, DETERMINED AND ORDERED, WE DO

1. That the use of the property in accordance with the use permit authorized herein is consistent with the General Plan and that the impact on the environment of the proposed method of use will not be substantial and that the Commission does hereby find and determine that in this particular instance there would not be a significant effect in the environment from the continued use and concurs in and makes the findings contained in the staff report and does hereby determine, authorize and direct the preparation of a categorical exemption for the continued use of the lands covered by the application for the conditional use permit as requested in said application and hereby authorizes and directs the filing of a notice of exemption, with a copy of the preliminary environmental assessment attached, following adoption of this resolution.

2. That the use is properly located in relation to the community as a whole and to land uses and transportation and services facilities in the vicinity.

3. That the site for the use is adequate in size and shape to accommodate the use and that all yards, open spaces, walls and fences, parking, loading, landscaping, and such other features as may be required by the zoning ordinance or are, in the opinion of the Commission, needed to assure that the uses will be reasonably compatible with land uses normally permitted in the surrounding area have been, or will be, provided.

4. That the site for the use will be served by streets and highways of adequate width and pavement type to carry the quantity and kind of traffic generated by the use.

5. That the use will not adversely affect the abutting property or the permitted use thereof.

6. That the use, subject to the conditions imposed herein, will comply with the regulations and conditions, specified in the zoning

said properties for continued operation of the Alpine Beer Garden.

7. That a conditional use permit for the continued operation of the Alpine Beer Garden in accordance with the previously approved site plan "Parking Layout & Landscaping of Alpine Beer Gardens" as revised December 2, 1978, and signed by the Town Planner on December 11, 1978, subject to the following conditions:

- a. The maximum seating capacity shall not exceed 337 persons, comprised of space for 63 persons inside and 274 persons outside. The maximum number of persons on the site shall not exceed 337 at any one time.
- b. The uses permitted shall be limited to:
  1. Serving of hamburgers, sandwiches, beer and soft drinks and related miscellaneous food items.
  2. Picnicing.
  3. Accessory and amusement devices in the front 360 sq. ft. area in the restaurant building.
- c. Food and beverages shall be consumed only within the restaurant and in the area designated on the site plan as "Beer Garden Picnic Area".
- d. The hours of operation shall be limited to 11:00 a.m. to 1:00 a.m. on weekdays and Saturdays and to 11:00 a.m. to 6:00 p.m. or dusk on Sundays, whichever is later.
- e. There shall be no amplified music or other amplified sound which in the opinion of the Planning Commission is loud enough to be objectionable to surrounding residents.
- f. The permit is limited to the improvements, including landscaping, shown on the site plan dated December 2, 1978, signed by Town Planner on December 11, 1978, entitled "Parking Layout and Landscaping of Alpine Beer Gardens" and such building plans as may be approved by the Architectural and Site Control Commission in accordance with the site plan. Minor deviations from the December 2, 1978 plan may be permitted with concurrence by the Architectural and Site Control Commission and Town Planner. All improvements shown on the site plan shall be completed pursuant to the "schedule of work to be done on the site plan" unless otherwise stipulated in conditions (a) through (w).

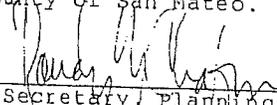
Any changes permitted shall insure a continued informal quality to the site.

- g. The buildings and site shall at all times comply with the requirements of the Health Officer, Town Engineer, Building Inspector, and Fire Chief. The main structure (bar and restaurant) shall be preserved in its present historical state and style to the maximum extent possible. In particular, the interior and exterior walls shall remain as is. The shed attached to the southwest side of the building shall be removed and may be replaced with an addition of the same or lesser floor area and in an architectural style compatible with the main structure.
- h. All lighting and signs shall be satisfactory to the Architectural and Site Control Commission.
- i. An easement shall be dedicated as necessary to accommodate the riding trail shown along the Alpine road frontage of the subject site. The riding trail shall be installed within said easement and to standards shown on the site plan by the applicants to the satisfaction of the Town Engineer.
- j. All easements across the property shall be accommodated within the site plan.
- k. Parking shall be provided for 126 cars in the areas surfaced with crushed rock or gravel as shown on the site plan. In addition, space shall be provided for tethering of a minimum of 22 horses as shown on the site plan.
- l. The existing residence may remain, but if ever destroyed to more than 50% of its appraised value, shall not be rebuilt but may be replaced with a building not exceeding 1,500 square feet to serve as a residence for the caretaker plus storage for the restaurant in a location conforming with required yards and subject to Planning Commission approval.
- m. The applicant shall provide deputy sheriffs to handle parking on the property for periods of peak customer loads. If possible, deputies shall be uniformed.
- n. The use permit shall be issued for a ten year period from the effective date of the permit, at the end of which time it may be extended at the option of the Town. The permit shall be subject to review by the Planning Commission in re compliance with the terms of the permit and applicable provisions of the zoning ordinance at the discretion of the Planning Commission.
- o. The applicant shall maintain the property in a neat and clean manner at all times. He shall in addition see that the abutting and nearby portions of adjoining Los Trancos Creek, public roads and public properties are maintained free from litter.

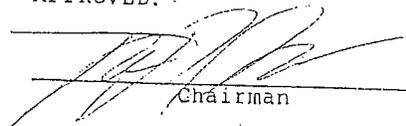
- p. If all or any portion of the main structure should be destroyed, and if rebuilt, shall be rebuilt so as to be a replica of the prior structure.
- q. The emergency access shown on the site plan shall be improved to the satisfaction of the Fire District. This access shall be used only in emergencies.
- r. Prior to installation of plantings along Alpine road, the location of plants shall be approved by the Chairman of the ASCC and Conservation Committee.
- s. If the right to use the parcel currently leased from the Town is ever lost, the seating capacity of the use will be modified within 30 days to be consistent with the zoning ordinance standards to the satisfaction of the Town Planner unless a longer period is approved by the Planning Commission.
- t. Recommendations of the Town Engineer, Traffic Committee and Conservation Committee.
- u. Traffic signs on site shall be subject to review by Architectural and Site Control Commission and the Traffic Committee.
- v. The applicant shall complete the modifications called for below within six months of the effective date of the permit:
  - 1. Revise the site plan to provide a 12' wide entrance from the parking lot to the soccer field for use by maintenance vehicles.
  - 2. Replace the broken horse tethers in the north and south tethering areas.
  - 3. Revise the north parking lot to conform with the site plan to the satisfaction of the ASCC.
  - 4. Plant the areas between the east parking lot and the creek according to a landscape plan approved by the conservation committee.
  - 5. Replace the dead tree at the northeast corner of the main building with a tree to the satisfaction of the conservation committee.
  - 6. Paint the required wording for the emergency entrance at Alpine Road on the pavement as stipulated on the site plan.
  - 7. Improve the definition of the horse crossing of the entrance road to satisfaction of the trails committee.
- w. Install the improvements called for in the site plan for the southwestern portion of the parking area according to the time schedule set forth on the site plan with the schedule to start from the effective date of this permit.

8. That the Secretary of the Planning Commission shall cause the formal conditional use permit to be issued to the applicant. Said conditional use permit shall become effective on the thirty-first day following the date of adoption of this Resolution unless the issuance of said permit shall have been appealed or the Town Council shall have determined, from a review of the decision, to set the matter for public hearing.

9. That copies of this Resolution be transmitted to the applicant, to the Town Clerk of the Town of Portola Valley and to the Building Inspector; and, within thirty days of the effective date of this Resolution, or in the event of modification hereof by the Town Council, the effective date of such modification, the Secretary of the Planning Commission shall transmit a copy of this Resolution and/or the resolution of the Town Council providing for any modification hereof to the Office of the Assessor of the County of San Mateo.

  
Secretary, Planning Commission  
Town of Portola Valley

APPROVED:

  
Chairman

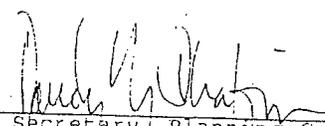
\* \* \* \* \*

I hereby certify the foregoing to be a true copy of a resolution adopted by the Planning Commission of the Town of Portola Valley at a meeting thereof held on the 16th day of June, 1982, by the following vote of the members thereof:

AYES, and in favor thereof, Members: Eastman, James, Merk, Stanford, Weaver

NOES, Members: None

ABSENT, Members: None

  
Secretary, Planning Commission  
Town of Portola Valley

## LEASE

THIS LEASE ("Lease") is made and executed on the 26 day of May, 2010, by and between the TOWN OF PORTOLA VALLEY, a municipal corporation, ("Town") and ALPINE BEER GARDEN, INC. ("Tenant").

WHEREAS, the Town and Tenant wish to lease the premises ("Premises") described below on the terms and conditions set forth below.

NOW, THEREFORE, the parties agree as follows:

1. PREMISES. The Premises consists of land in the Town of Portola Valley, County of San Mateo, State of California, that is shown as the portion of Parcel B labeled "PARKING LOT" on Exhibit A.

2. TERM. The term of this Lease shall be for a period of two (2) years commencing on July 1, 2010, and ending on June 30, 2012.

3. MONTHLY RENT.

3.1 During the first year of this Lease, Tenant shall pay to Town an annual base rent of Five Thousand Four Hundred Forty Dollars (\$5,440.00) due and payable on or before the 1<sup>st</sup> day of each month as follows:

3.1.1 The sum of Six Hundred Fifty Dollars (\$650.00) per month for the months of March, April, May, June, July, August, September and October; and

3.1.2 The sum of Sixty Dollars (\$60.00) per month for the months of November, December, January, and February.

This staggered payment schedule shall continue throughout the term of this agreement.

3.2 The annual base rent for each year of the Lease, and the proportionate monthly payments, shall be increased each year on the anniversary date of this Lease by multiplying the rent for the previous year by the Consumer Price Index on or before February 1. For the purpose of this Lease the Consumer Price Index shall be the Consumer Price Index for All Urban Consumers for the San Francisco-Oakland Metropolitan Area.

4. CONDITIONAL USE PERMIT. Tenant shall at all times comply with the Conditional Use Permit ("CUP") for the premises issued by the Town, attached as Exhibit B. Any noncompliance with the CUP by Tenant shall be deemed a default for purposes of this Lease.

5. USE OF PREMISES. Tenant shall use the Premises only for vehicle parking, garden and picnic areas, landscaping and other such purposes as may be permitted or required by the CUP and as permitted by the Grant Deed from the trustees of the Rossotti Trust to the Town of Portola Valley, recorded April 16, 1982, in the Official Records of San Mateo County, State of California, as document Number 82030372, and attached as Exhibit C. Tenant agrees to conduct its activities on the Premises in compliance with all present and future valid state, federal and municipal laws applicable to Tenant's operations, including any conditional use permits or other permits granted by the Town.

6. IMPROVEMENTS, MAINTENANCE & REPAIR. Tenant has installed at its own expense various improvements on the Premises including gravel paving, parking bumpers and lines, garden and picnic areas, and landscaping. Such improvements shall be maintained and repaired at Tenant's sole expense. Tenant shall promptly pay and discharge or bond against all claims for work or labor done, supplies and materials furnished, or services rendered at the request of Town, and will keep the Premises free and clear of all mechanic's and materialmen's liens.

7. HOLDING OVER BY TENANT. If Tenant remains in possession of the Premises after the expiration of the term of this Lease without executing a new lease, then such holding over shall be construed as a tenancy from month-to-month subject to all of the applicable conditions, provisions, and terms of this Lease.

8. POSSESSORY INTEREST TAX, ASSESSMENTS, LIENS & OTHER TAXES. This Lease may create a possessory interest subject to property tax and Tenant agrees to pay for any such tax. Tenant shall pay in full, satisfy and discharge as they become due, all assessments, liens and other taxes incurred by virtue of Tenant's leasehold interest in the Premises, or said liens, assessments and taxes shall be prorated to the date of termination as taxes would be prorated.

9. INSURANCE. Tenant shall maintain insurance in the amount of One Million Dollars (\$1,000,000) combined single limit per claim for bodily injury and property damage. Tenant shall cause Town, its officers, agents, employees, and volunteers to be included as additional insureds under said policies, and upon request of Town, Tenant shall furnish the Town a Certificate of Insurance, which shall be in accordance with this section and approved by the Town Attorney, and which shall provide that Town receive thirty (30) days prior written notice of cancellation, change in scope, or modification in coverage of any such policy. If the Town, its officers, agents, volunteers, and employees have other insurance against a loss covered by such a policy, such other insurance shall be excess insurance only.

10. INDEMNIFICATION AND HOLD HARMLESS. In addition to the insurance coverage, Tenant hereby waives any and all claims against Town for damages or injuries from any cause arising at any time from Tenant's occupancy of the Premises. Tenant agrees to indemnify and hold Town harmless from any damage or injury.

11. ASSIGNMENT AND SUBLEASE. Tenant shall not assign this Lease, or any interest therein, and shall not sublet the Premises or any part thereof, or any right or privilege related to the Premises, without the prior written consent of the Town. Consent by the Town to one assignment, subletting, occupation, or use by another shall not be deemed to be consent to any assignment, subletting, occupation or use by another. Any such assignment or subletting without the Town's prior written consent shall be void and, at the option of the Town, shall terminate this Lease.

12. UTILITIES. In the event that Tenant requires services or utilities furnished by a public utility, or public entity, Tenant agrees to take the service in its own name and pay any and all utility charges incurred for such services.

13. RESERVED RIGHTS FOR TRAIL PURPOSES. Town reserves, at no present or future cost to Town, rights of use for public equestrian and hiking trail purposes over, upon, and across a portion of the Premises comprising a strip approximately 15 feet in width adjacent to Alpine Road and approximately 354 feet in length, as generally depicted on Exhibit A and labeled "15' Easement", and as provided for in the CUP.

14. RESERVED RIGHTS FOR ACCESS AND PUBLIC PARKING PURPOSES. Town reserves, at no present or future cost to Town, non-exclusive rights of access to the lands adjoining the Premises to the west over, upon, and across that portion of the Premises to be used for vehicle parking purposes, and further reserves non-exclusive use of such portion of the Premises for public parking purposes when not in conflict with Tenant's use. Town further reserves, at no present or future cost to Town, all necessary and reasonable rights of access from that portion of Parcel B not leased by Tenant across the Premises and across adjacent lands of the Tenant so as to give and protect for the Town any and all of its recorded or retained access rights, easements and rights-of-way to and from Alpine Road and/or Arastradero Road.

15. RIGHT OF ENTRY FOR REPAIR/MAINTENANCE OF WATER PIPES. Town reserves the right to enter the Premises for repair and maintenance of water pipes which presently serve the lands of the Town to the west of the Premises. In the event that Tenant damages these water pipes, the damage shall be repaired at Tenant's sole expenses within forty eight (48) hours following notice from the Town that damage has occurred. In the event damage is not timely repaired, Town may repair the damage and charge the costs to Tenant to be paid within thirty (30) days of the invoice date.

16. HAZARDOUS MATERIALS. For the purposes of this Lease, the term "Hazardous Material" shall mean any substance or material which has been designated hazardous or toxic by any federal, state, county, municipal, or other governmental agency or determined by such agency to be capable of endangering or posing a risk of injury to, or adverse effect on, the health or safety of persons, the environment, or property, including without limitation those substances or materials described in the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended, 42 U.S.C. Section 9601, et seq. Tenant shall not use or store any Hazardous

Materials in, on, or about the Premises except in compliance with all applicable federal, state, and local laws, statutes, ordinances, and governmental regulations, and the highest standards prevailing in the industry for storage and use of any such Hazardous Materials, nor allow any Hazardous Materials to be brought in the Premises, except to use in the ordinary course of Tenant's business, and then only after written notice to Town of the Hazardous Materials to be used by Tenant. Tenant shall not cause or permit the escape, release, or disposal of any Hazardous Materials in the Premises. If any governmental agency or the beneficiary of any deed of trust against the Premises requires any testing of the Premises to ascertain whether any Hazardous Materials have been released in, on, or about the Premises, Tenant shall reimburse Town, within thirty (30) days of the invoice date, for the cost of any such inspection if the inspection, together with any other evidence obtained by Town, shows that the presence of such Hazardous Materials was caused by Tenant, its agents, employees, contractors or invitees. In addition, Tenant shall, at the Town's request, execute affidavits, representations, or other documents concerning Tenant's best knowledge and belief regarding the presence of any Hazardous Materials on the Premises. Tenant shall indemnify, defend, and hold harmless Town from any liability, cost, or expense, including reasonable attorneys' fees, arising from the use, storage, release or disposal of any Hazardous Materials in, on, or about the Premises by Tenant, its agents, employees, contractors, or invitees. The provisions of this section shall survive the expiration or earlier termination of this Lease.

17. ATTORNEYS' FEES. In any legal action brought by either party to enforce the terms of this Lease, the prevailing party is entitled to all costs incurred in connection with such an action, including reasonable attorneys' fees.

18. NOTICES. Any notice to be given hereunder must be in writing and shall be given by certified mail, return receipt requested, prepaid and addressed to the parties hereto as follows:

Town: Town of Portola Valley  
Attn: Town Clerk  
765 Portola Road  
Portola Valley, CA 94028

Tenant: Alpine Beer Garden, Inc.  
Amelia M. Alexander  
3915 Alpine Road  
Portola Valley, CA 94028

Notice shall be deemed to have been communicated on the earlier of actual receipt or forty eight (48) hours after deposit in the U. S. mail.

19. TERMINATION BY TOWN OR TENANT. If Town terminates or revokes Tenant's CUP, then Tenant may, at its option, terminate the Lease upon the effective date of the termination or revocation of the CUP provided that Tenant meets all of its

obligations of the Lease up to the effective date of termination. Town or Tenant shall have the right to terminate this Lease by written notice to the other party for any default or breach of any term or condition of this Lease by the other party; provided, however, the non-defaulting and non-breaching party must first deliver written notice to the other party of any such default or breach, and such breach or default must continue to exist for more than three (3) days after the delivery of such notice. Either party may terminate this Lease without cause by delivering sixty (60) days written notice to the other party of such termination.

20. ENTIRE AGREEMENT. Upon execution of this Lease by both parties, the prior Agreement of Lease executed July 25, 2007, and all amendments and documents relating thereto are rescinded, declared to be of no force or effect and are superseded by this Lease. This Lease contains all of the agreements of the parties and cannot be amended or modified except by written agreement.

21. NO WAIVER. Waiver by either party of a breach of any covenant of this Lease will not be construed to be a continuing waiver of any subsequent breach. Town's receipt of rent with knowledge of Tenant's violation of a covenant does not waive Town's right to enforce any covenant of this Lease. No waiver by either party of a provision of this Lease will be considered to have been made unless expressed in writing and signed by all parties.

22. BINDING ON SUCCESSORS. The terms and conditions of this Lease, subject to the provisions as to assignment set forth in Section 11, shall apply to and be binding upon the parties' successors in interest.

IN WITNESS WHEREOF, the parties hereto have executed this Lease on the day and year first above written.

TENANT:

TOWN:

ALPINE BEER GARDEN, INC.

TOWN OF PORTOLA VALLEY

By:

  
Amelia M. Alexander

By:

  
Steve Toben

Its: President

Its: Mayor

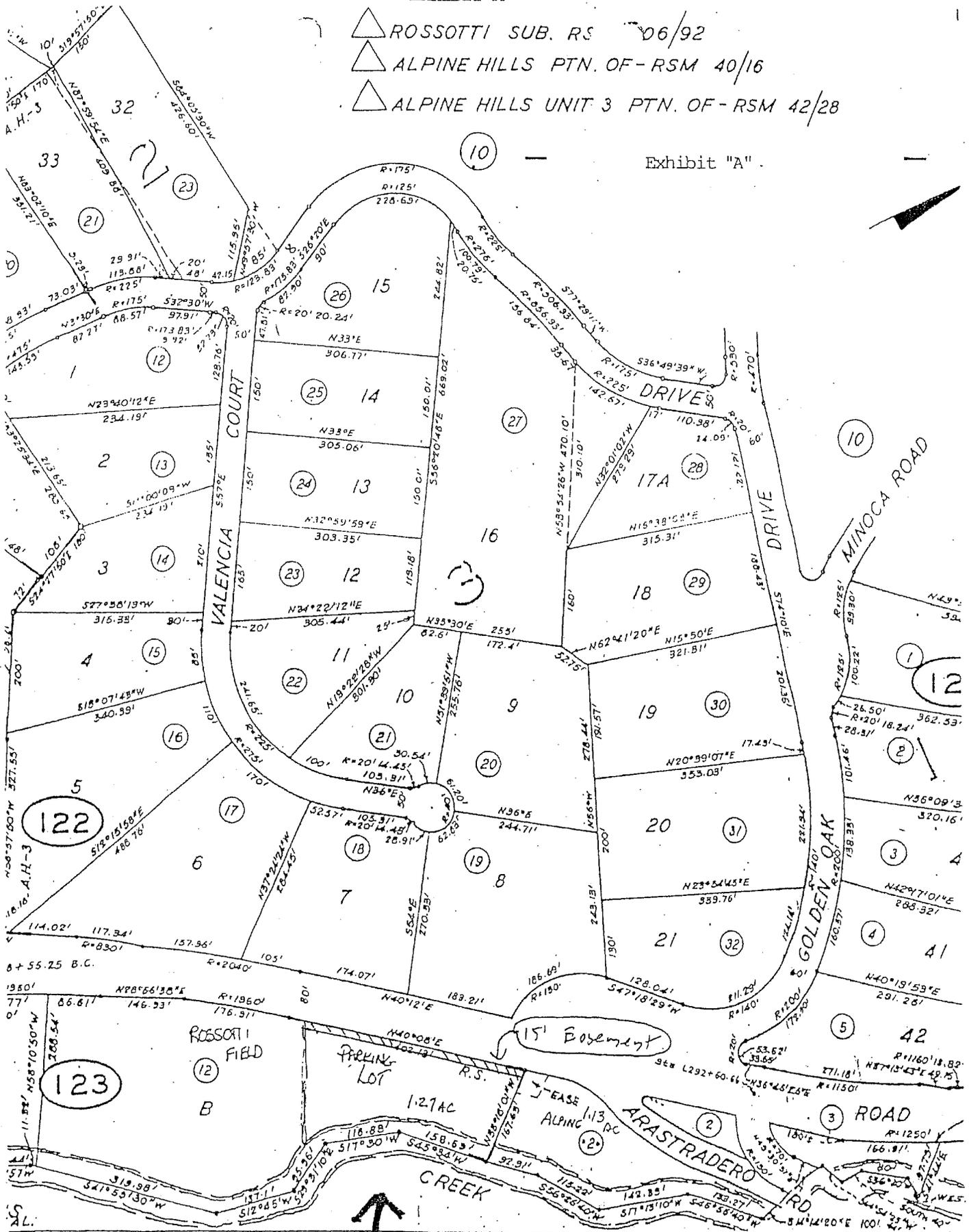
ATTEST:

  
Town Clerk

EXHIBIT A

- △ ROSSOTTI SUB. RS 06/92
- △ ALPINE HILLS PTN. OF - RSM 40/16
- △ ALPINE HILLS UNIT 3 PTN. OF - RSM 42/28

Exhibit "A"



079-123-120

## LAW OFFICES OF JOHN H. COWARD

16450 Los Gatos Blvd., Suite 108  
Los Gatos, CA 95032-5594

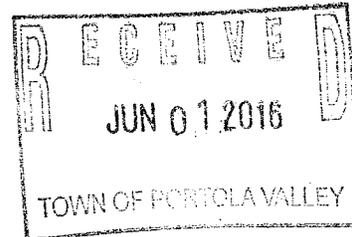
[www.cowardlawoffice.com](http://www.cowardlawoffice.com)

John H. Coward  
Attorney at Law  
[jcoward@jhclawoffice.com](mailto:jcoward@jhclawoffice.com)

Matthew Geisick  
Attorney at Law  
[mgeisick@jhclawoffice.com](mailto:mgeisick@jhclawoffice.com)

May 27, 2016

Debbie Pedro, AICP  
Planning Director  
765 Portola Rd.  
Portola Valley, CA 94028



**Re: Alpine Beer Garden, Inc.**

Dear Ms. Pedro,

Pursuant to our meeting regarding the Alpine Beer Garden (aka Rossotti's or Zott's), I have enclosed the following documents:

- 1). A copy of the last known Conditional Use Permit ("CUP") with our "redlines" and comments indicating our updates.
- 2.) Preliminary Survey of the Alpine Beer Garden Parcel. The only easements that appear on this survey are for "Ingress and Egress" near Alpine Road and a utility easement. In our meeting you and your colleagues mentioned an easement for a horse and biking trail. It appears that there is an unrecorded easement adjacent to Alpine Road on the northerly portion of the parcel. Although this easement is undisputed, our client insists that the Town of Portola Valley ("Town") and Alpine Beer Garden, Inc., enter into an easement agreement.

At our meeting, we also discussed the easement for ingress and egress to the soccer fields. No easement appears in the county records. It is in the best interest of the Town and Alpine Beer Garden, Inc., to record a map and agreement for the easement.

Another item that needs updating is the lease for the soccer field parking lot. Alpine Beer Garden, Inc., leases this parking lot in order to maintain the required number of parking spaces for its designated capacity. The latest lease I have is from 2007. It appears the lease is renewed every three (3) years. This means there would have been renewals in 2010 and 2013 with another renewal due in 2016. Please provide our office with latest copy of the parking lot lease in your possession.

Debbie Pedro, AICP  
May 27, 2016

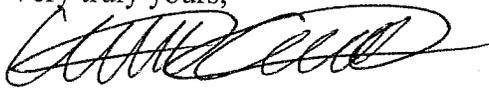
2

Finally, at this time, Alpine Beer Garden, Inc., is not pursuing any plans to re-pave its parking lot.

We have prepared a Conditional Use Permit Application, but we do not want to submit the application until you have reviewed the enclosed documents and provided your feedback so that we may ensure that our application is complete.

Please contact me regarding the Conditional Use Permit and easements. I look forward to working with the Town to complete these tasks.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Matthew Geisick', written in a cursive style.

Matthew Geisick



EXHIBIT B  
RESOLUTION NO. 1982-232

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
TOWN OF PORTOLA VALLEY MAKING DETERMINATION ON  
ENVIRONMENTAL IMPACT, AUTHORIZING CATEGORICAL  
EXEMPTION AND DIRECTING FILING OF NOTICE  
OF EXEMPTION AND GRANTING CONDITIONAL  
USE PERMIT TO ALPINE BEER GARDEN  
USE PERMIT APPLICATION X7D-34

RESOLVED, by the Planning Commission of the Town of Portola  
Valley, California, that

WHEREAS, application has been made on behalf of Tin Can Alley,  
Inc., a California corporation, by John Alexander and Don Horther for  
renewal of a lapsed conditional use permit under Section 6935.10 of the  
Zoning Ordinance comprising a permit to grant conforming status and to  
allow reinstatement of a previously granted use permit which had lapsed  
by its own limitations on Assessor's Parcel Nos. 079-123-020 and  
079-125-010, which proposed use is a conditional use, within the O-A  
zoning district in which the parcels are located;

WHEREAS, this Commission caused notice to be given of a public  
hearing to be held on June 16, 1982;

WHEREAS, evidence as to the environmental impact of the proposed  
use permit was submitted to the Commission as a part of the staff  
report which indicated that the proposed use would be consistent with  
the designation of the property on the General Plan and that the  
proposed use which might, in some circumstances, have a significant  
effect on the environment, did not in the particular application appear  
so to do and recommended findings to the Commission which would permit  
the Commission to authorize making of a categorical exemption for the  
project as existing facility pursuant to Class 4.6 A of the Town  
guidelines and 15101 of the State guidelines to be attached to the  
notice of exemption following action by the Planning Commission; and

WHEREAS, this Commission has heard and considered the evidence  
and facts presented, which evidence and facts included a study of the  
requirements of the zoning regulations of the Town;

NOW, THEREFORE, IT IS FOUND, DETERMINED AND ORDERED AS FOLLOWS:

1. That the use of the property in accordance with the use permit authorized herein is consistent with the General Plan and that the impact on the environment of the proposed method of use will not be substantial and that the Commission does hereby find and determine that in this particular instance there would not be a significant effect in the environment from the continued use and concurs in and makes the findings contained in the staff report and does hereby determine, authorize and direct the preparation of a categorical exemption for the continued use of the lands covered by the application for the conditional use permit as requested in said application and hereby authorizes and directs the filing of a notice of exemption, with a copy of the preliminary environmental assessment attached, following adoption of this resolution.

2. That the use is properly located in relation to the community as a whole and to land uses and transportation and services facilities in the vicinity.

3. That the site for the use is adequate in size and shape to accommodate the use and that all yards, open spaces, walls and fences, parking, loading, landscaping, and such other features as may be required by the zoning ordinance or are, in the opinion of the Commission, needed to assure that the uses will be reasonably compatible with land uses normally permitted in the surrounding area have been, or will be, provided.

4. That the site for the use will be served by streets and highways of adequate width and pavement type to carry the quantity and kind of traffic generated by the use.

5. That the use will not adversely affect the abutting property or the permitted use thereof.

6. That the use, subject to the conditions imposed herein, will comply with the regulations and conditions, specified in the zoning

said properties for the continued operation of the Alpine Beer Garden.

7. That a conditional use permit for the continued operation of the Alpine Beer Garden in accordance with the previously approved site plan "Parking Layout & Landscaping of Alpine Beer Gardens" as revised December 2, 1978, and signed by the Town Planner on December 11, 1978, subject to the following conditions:

- a. The maximum seating capacity shall not exceed 337 persons, comprised of space for 63 persons inside and 274 persons outside. The maximum number of persons on the site shall not exceed 337 at any one time.
- b. The uses permitted shall be limited to:
  1. Serving of hamburgers, sandwiches, beer and soft drinks and related miscellaneous food items.
  2. Picnicing.
  3. Accessory and amusement devices in the front 360 sq. ft. area in the restaurant building.
- c. Food and beverages shall be consumed only within the restaurant and in the area designated on the site plan as "Beer Garden Picnic Area".
- d. The hours of operation shall be limited to 11:00 a.m. to 1:00 a.m. on weekdays and Saturdays and to 11:00 a.m. to 6:00 p.m. or dusk on Sundays, whichever is later. 10:00 p.m.
- e. ~~There shall be no amplified music or other amplified sound which in the opinion of the Planning Commission is loud enough to be objectionable to surrounding residents.~~
- f. ~~The permit is limited to the improvements, including landscaping, shown on the site plan dated December 2, 1978, signed by Town Planner on December 11, 1978, entitled "Parking Layout and Landscaping of Alpine Beer Gardens" and such building plans as may be approved by the Architectural and Site Control Commission in accordance with the site plan. Minor deviations from the December 2, 1978 plan may be permitted with concurrence by the Architectural and Site Control Commission and Town Planner. All improvements shown on the site plan shall be completed pursuant to the "schedule of work to be done on the site plan" unless otherwise stipulated in conditions (a) through (w).~~

*from plan -  
10 pm on  
Sundays.*

~~Any changes permitted shall insure a continued informal quality to the site.~~

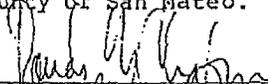
- g. The buildings and site shall at all times comply with the requirements of the Health Officer, Town Engineer, Building Inspector, and Fire Chief. The main structure (bar and restaurant) shall be preserved in its present historical state and style to the maximum extent possible. In particular, the interior and exterior walls shall remain as is. The shed attached to the southwest side of the building shall be removed and may be replaced with an addition of the same or lesser floor area and in an architectural style compatible with the main structure.
- h. All lighting and signs shall be satisfactory to the Architectural and Site Control Commission.
- i. An easement shall be dedicated as necessary to accommodate the riding trail shown along the Alpine road frontage of the subject site. The riding trail shall be installed within said easement and to standards shown on the site plan by the applicants to the satisfaction of the Town Engineer.
- j. All easements across the property shall be accommodated within the site plan.
- k. Parking shall be provided for 126 cars in the areas surfaced with crushed rock or gravel as shown on the site plan. ~~In addition, space shall be provided for tethering of a minimum of 22 horses as shown on the site plan.~~
- l. ~~The existing residence may remain, but if ever destroyed to more than 50% of its appraised value, shall not be rebuilt but may be replaced with a building not exceeding 1,500 square feet to serve as a residence for the caretaker plus storage for the restaurant in a location conforming with required yards and subject to Planning Commission approval.~~
- m. ~~The applicant shall provide deputy sheriffs to handle parking on the property for periods of peak customer loads. If possible, deputies shall be uniformed.~~
- n. The use permit shall be issued for a ten year period from the effective date of the permit, at the end of which time it may be extended at the option of the Town. The permit shall be subject to review by the Planning Commission in re compliance with the terms of the permit and applicable provisions of the zoning ordinance at the discretion of the Planning Commission.
- o. The applicant shall maintain the property in a neat and clean manner at all times. He shall in addition see that the abutting and nearby portions of adjoining Los Trancos Creek, public roads and public properties are maintained free from litter.

*rebutted*  
↓

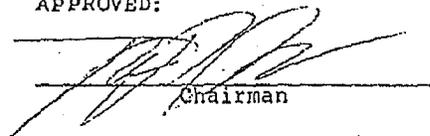
- p. If all or any portion of the main structure should be destroyed, and if rebuilt, shall be rebuilt so as to be a replica of the prior structure.
- q. The emergency access shown on the site plan shall be improved to the satisfaction of the Fire District. This access shall be used only in emergencies.
- r. Prior to installation of plantings along Alpine road, the location of plants shall be approved by the Chairman of the ASCC and Conservation Committee.
- s. If the right to use the parcel currently leased from the Town is ever lost, the seating capacity of the use will be modified within 30 days to be consistent with the zoning ordinance standards to the satisfaction of the Town Planner unless a longer period is approved by the Planning Commission.
- ~~t. Recommendations of the Town Engineer, Traffic Committee and Conservation Committee.~~
- u. Traffic signs on site shall be subject to review by Architectural and Site Control Commission and the Traffic Committee.
- v. ~~The applicant shall complete the modifications called for below within six months of the effective date of the permit:~~
  - 1. ~~Revise the site plan to provide a 12' wide entrance from the parking lot to the soccer field for use by maintenance vehicles.~~
  - 2. ~~Replace the broken horse tethers in the north and south tethering areas.~~
  - 3. ~~Revise the north parking lot to conform with the site plan to the satisfaction of the ASCC.~~
  - 4. ~~Plant the areas between the east parking lot and the creek according to a landscape plan approved by the conservation committee.~~
  - 5. ~~Replace the dead tree at the northeast corner of the main building with a tree to the satisfaction of the conservation committee.~~
  - 6. ~~Paint the required wording for the emergency entrance at Alpine Road on the pavement as stipulated on the site plan.~~
  - 7. ~~Improve the definition of the horse crossing of the entrance road to satisfaction of the trails committee.~~
- w. ~~Install the improvements called for in the site plan for the southwestern portion of the parking area according to the time schedule set forth on the site plan with the schedule to start from the effective date of this permit.~~

8. That the Secretary of the Planning Commission shall cause the formal conditional use permit to be issued to the applicant. Said conditional use permit shall become effective on the thirty-first day following the date of adoption of this Resolution unless the issuance of said permit shall have been appealed or the Town Council shall have determined, from a review of the decision, to set the matter for public hearing.

9. That copies of this Resolution be transmitted to the applicant, to the Town Clerk of the Town of Portola Valley and to the Building Inspector; and, within thirty days of the effective date of this Resolution, or in the event of modification hereof by the Town Council, the effective date of such modification, the Secretary of the Planning Commission shall transmit a copy of this Resolution and/or the resolution of the Town Council providing for any modification hereof to the Office of the Assessor of the County of San Mateo.

  
Secretary, Planning Commission  
Town of Portola Valley

APPROVED:

  
Chairman

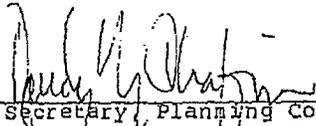
\* \* \* \* \*

I hereby certify the foregoing to be a true copy of a resolution adopted by the Planning Commission of the Town of Portola Valley at a meeting thereof held on the 16th day of June, 1982, by the following vote of the members thereof:

AYES, and in favor thereof, Members: Eastman, James, Merk, Stanford, Weaver

NOES, Members: None

ABSENT, Members: None

  
Secretary, Planning Commission  
Town of Portola Valley

## DRAFT MINUTES

### **JOINT ASCC AND PLANNING COMMISSION**

**November 14, 2016**

### **Special Joint ASCC & Planning Commission Field Meeting, 45 Granada Court, Architectural Review and Site Development Permit Review for a New Residence.**

Vice Chair Breen called the special meeting to order at 3:35 p.m.

#### **ROLL CALL:**

ASCC: Koch, Sill, Wilson, Vice Chair Breen and Chair Ross (arrived at 3:40 p.m)

Planning Commission: Vice Chair Gilbert and Chair Hasko (arrived at 3:50 p.m.)

Town Staff: Planning Director Debbie Pedro and Associate Planner Arly Cassidy

#### Others present relative to the proposal for 45 Granada Court

Timothy Chappelle, project architect

John Merten, project landscape architect

Judith Murphy, Conservation Committee

Marie & Matthew Klemchuk, Applicants

Susan Nycum & Bill Schueler, 35 Granada Court

Peter Bales, representing Susan Nycum

Carrie Rubenstein, 245 Golden Oak Drive

Christopher Atwood & Karina Tan, 50 Granada Court

Jim & Patty Brady, 55 Granada Court

Vallory London, 40 Granada Court

Associate Planner Arly Cassidy presented the report regarding the project which consists of a 4,089 square foot home with a 1,750 sq. ft. basement, a 571 sq. ft. detached garage, 864 sq. ft. pool and 124 sq. ft. pool house, 240 sq. ft. workshop, and landscaping throughout the 1.1 acre property located at 45 Granada Court. She described the site layout, tree removal and landscaping plans, and fencing. She clarified an error in the staff report, noting that a projection thought to be over the rear setback line was in fact within it.

Associate Planner Cassidy called the Commissioners' attention to a comment letter received from lawyer Peter Bales, representing neighbor Susan Nycum of 35 Granada Court, which was included in the packet. The letter described a fence and lot line dispute between the two neighbors, and claimed that the issue might impact floor area and setback calculations; Cassidy clarified that this was not the case.

Project Architect Chappelle did a brief presentation, describing the applicant's goals for use of the property and their motivation behind its redesign. He showed the demolition plan and described the driveway relocation to the west side of the property and discussed the general massing of the project. Landscape Architect Merten mentioned the possibility of changing out proposed Portuguese Laurel along the south setback for Pacific Wax Myrtle, in order to satisfy Conservation Committee comments.

Neighbor Carrie Rubenstein commented that some landscaping was called for along the east side of the pool house, which was visible from her property at 245 Golden Oak Drive. Architect Chappelle mentioned that in fact the pool house had been pushed into the grade to be as low as possible and allow for the natural slope down at that edge of the property.

Planning Commission Vice Chair Gilbert asked clarifying questions about soil distribution and off haul as part of the Site Development Permit. Architect Chappelle clarified that approximately

## DRAFT MINUTES

500 cubic yards would be off hauled. ASCC Vice Chair Breen asked about plate heights; Chappelle informed that the total plate height was approximately 20 feet.

Conservation Committee Member Murphy commented that the committee's recommended removal of the Portuguese laurel trees was due to their invasiveness in the Northwest, but seemed unnecessary in California, where they were not invasive. She found the landscape plans terrific and highly natural. She mentioned that the open slope below the pool and pool house would need regular clearing of broom and other fast growing or invasive species for a few years after construction.

Both Planning Commissioners agreed that smoother topo lines are desirable to avoid deep cuts or steep rises.

After the site discussions, other ASCC members agreed that they would offer comments on the proposal at the regular evening ASCC meeting. Members thanked the architects for participation in the site meeting. The field meeting adjourned at 4:20 p.m.

### **Special Joint ASCC/Planning Commission Field Meeting, 846 Portola Road, Preliminary Review for a Conditional Use Permit, Variance, Architectural Review and Site Development Permit for Sausal Creek, LLC (Hallett Store)**

Chair Ross called the special joint site meeting to order at 4:30 p.m.

#### **Roll Call:**

ASCC: Koch, Sill, Vice Chair Breen and Chair Ross

Planning Commission: Vice Chair Gilbert and Chair Hasko

Town Staff: Planning Director Debbie Pedro and Planner Cynthia Richardson

#### Others present relative to the proposal for 846 Portola Road

Carter Warr, Project Architect

Michael Douglass, Neighbor

Louis Ebner, Neighbor

Consulting Planner Cynthia Richardson presented the report. Project architect Carter Warr gave a presentation explaining that they would like to preserve the large redwood tree and remove 200 sq. ft. of area impacted by the tree at the eastern side of the building and relocate it to the other side of the building. The group walked around the project site and viewed the story poles.

Planning Commission Vice Chair Gilbert asked for clarification on the amount of renovation work needed and whether it would comply with the 50% requirement for nonconforming structures. Architect Warr said they will be able to meet the requirement.

Conservation Committee member Murphy said they are appreciative of the applicant's plan to preserve the large redwood tree.

Vice Chair Breen said the grove of redwoods in the area are all connected and commended the applicant for designing the improvements around saving the tree.

After the site discussions, commission members agreed that they would offer further comments on the proposal at the regular evening meeting. The field meeting adjourned at 5:00 p.m.

**ARCHITECTURAL AND SITE CONTROL COMMISSION**  
**Regular Evening Meeting, 765 Portola Road**

**NOVEMBER 14, 2016**

(1) CALL TO ORDER

Chair Ross called the regular meeting to order at 7:00 p.m. in the Town Center Historic School House Meeting Room, 765 Portola Road.

(2) ROLL CALL

Planning Director Debbie Pedro called roll:

Present: ASCC: Commissioners Koch, Sill and Wilson; and Vice Chair Breen, Chair Ross  
Absent: None  
Planning Commission Liaison: Denise Gilbert  
Town Council Liaison: None  
Town Staff: Planning Director Debbie Pedro, Planner Cynthia Richardson, and Associate Planner Arly Cassidy

(3) ORAL COMMUNICATIONS: None.

(4) NEW BUSINESS [7:02 p.m.]

(a) Preliminary Architectural Review for New Residence, Pool & Pool House, and Shed, File #33-2016, 45 Granada Court, Kemchuk Residence.

Associate Planner Arly Cassidy presented the staff report regarding a proposed new residence, pool, pool house, shed, and surrounding landscaping at 45 Granada Court. Ms. Cassidy said the applicant is proposing to keep some of the existing fencing that is not in conformity. She said fencing in the front setback must not exceed 4 feet in height and the existing fencing is 6 feet high, although it is well screened with existing vegetation.

Ms. Cassidy described the proposed tree removals and plantings. Staff asked for Commission guidance regarding the proposed linear planting as it conflicts with design guidelines.

Chair Ross called for questions.

Vice Chair Breen asked where the air conditioning unit was located. Ms. Cassidy said two units are proposed at the south side of the property. She said the applicant has been notified that, per Code, sound dampening equipment is required or they will be required to have the noise level tested at the property line.

Vice Chair Breen noted the proposed lawn was 1,945 square feet and thought the limit was 1,000 square feet. Planning Director Pedro clarified that the current outdoor water ordinance does not limit the square footage of lawn; however if no lawn is proposed, the project qualifies for a more streamlined process. Ms. Cassidy said the WELO form has been submitted and the applicants are under the required score.

With no further questions, Chair Ross invited the applicants to comment.

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The project architect, Tim Chapelle, of Arcanum Architecture, said they spoke to neighbors and have agreed to plant some kind of tree to soften the view from the neighbor's courtyard and patio.

Chair Ross called for questions for the applicant.

Commissioner Sill said the proposal designates the lawn as a medium water use item, yet WELO always considers lawns high-water use. He asked if special grass was being used. John Merten, project landscape architect, said the irrigation plan includes a subterranean mat system to reduce evaporation, which reduces the amount of water needed. Commissioner Sill said that plan would be more efficient, but the lawn is still considered a high water use. He suggested the applicant recheck their water usage calculations.

Commissioner Koch said the pool house building seemed to be merely an enclosed bathroom. Mr. Chappelle said the pool house consists of a changing area and bathroom, and the rest is just a roof covering, with recessed lights. Commissioner Koch said the lower neighbors can see the three recessed lights. The applicant said they were discussing adding more landscaping to screen them.

Commissioner Koch asked for clarification regarding the fencing. Associate Planner Cassidy pointed out the fencing on the renderings. She said all of the proposed new fencing along Granada Court is 4 feet high and is in compliance.

With no further questions, Chair Ross invited public comment.

Peter Bales, representing Susan Nycum, 35 Granada. Mr. Bales said their November 10 letter is included as an attachment to the staff report. Mr. Bales said if the Commission does not consider the fence line as the setback for the boundary, this will affect Ms. Nycum's property setbacks. He said in an agreement with the previous owner of the property, the fence served as the boundary. He asked that the Commission consider that the proposed construction affected the privacy of Ms. Nycum's property. He said the applicants will be able to look down and into Ms. Nycum's master bedroom and master bathroom from their windows. He said the garbage and air conditioning are also on that side of the residence. He said there is a light high above the garbage area, very near to Ms. Nycum's property. He asked for clarification regarding the height of the trees at the time of planting and their projected height in five years. He said that screening will be very important, considering the trees that will be removed, the construction, and the height of the building.

Virginia Bacon, 205 Golden Oak Drive. She said she did not attend the field meeting in the afternoon but in looking at the plans, the side of the house facing the Nycum property seems like a big wall. She said the building is sited high on the hill and looks bulky and massive.

With no further public comment, Chair Ross closed the public hearing and brought the item back to the Commission for discussion.

Commissioner Koch asked why the existing black metal fence was not being replaced. She said the Commission usually suggests removing oleander and there is a lot of oleander along this chain link fence. Vice Chair Breen said this is a new house, which is a good opportunity to remove the chain link fence. Planning Director Pedro said a chain link fence is discouraged, but is not illegal. She said the ASCC has, in the past, requested nonconforming fences to be brought into conformance with a large project.

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Chair Ross said not every fence is a boundary fence or built directly on a property line. He said there is an apparent agreement between the prior property owner and Ms. Nycum allowing her to use that property as if it were her own for planting purposes. He said that it does not affect the setback lines, which are defined by the recorded property line. Planning Director Pedro said the fence along the left side has also been pulled in to accommodate a neighbor's development.

Commissioner Koch said that when viewing the project from the south, the pool house and entertaining area are much more visible than the two-story house. She said there should be more screening in that area. She said there is excessive pool lighting and the light in the garbage area needs to be discussed. She said the Town does not recommend lighting water features or the house numbers at the street. She said the side fencing that is out of conformance should be replaced to match the fencing proposed along Granada Court and should not be chain link. Commissioner Koch said she was supportive of the grading to soften the hillside. She supported less new planting and maintaining the existing native planting, while eliminating invasives. She was supportive of the colors and materials board.

Commissioner Wilson said it is a beautiful property, and she was happy that they sank it down so it did not look quite as tall. She said she would prefer to see more natives along the rear property line. She was supportive of the clearing already done. She expressed some concern about the fire pit being located close to the pines and pine needles. She said the property is elegant and slim, but the gateway seemed bulky and obtrusive with the 4-foot side walls at the entry. She was concerned about the fencing and boundaries. She said there was excessive lighting.

Commissioner Sill agreed that the design is spectacular. He agreed there was excessive lighting. He said he would prefer to see the back area with more strategically placed native plantings and not so linear in layout. He said the lawn should be smaller and said the water usage calculations need to be checked. He liked that a lot of the property was left undeveloped. He was not supportive of the fence remaining at 6 feet high on the sides where it is within the setback.

Vice Chair Breen said it is a beautiful project. She was supportive of the siting of the house and driveway, the colors, and the materials. She said there was a lot of plant pollution with pines and brooms. She suggested *Prunus Lusitanica* or *Toyon* on the pool wall side rather than the *Myrica*. She suggested removing the chain link. She was not in favor of perimeter fencing, saying it would have a negative impact on habitat and animals. She suggested pulling in the fence so that animals could get across the land. She was not supportive of the stone wing walls in the entry. She said they were too decorative and should be simple and split rail, exposing some of the wonderful *Manzanitas* along the frontage. She said the pool lights were excessive and there should not be a light in the spa. She said the lower neighbor would be looking up into the recessed lights in the pool house area so there needs to be a wall or landscaping that screened the source of light. She said, however, there should also not be a lot of planting in the swale zone beneath the pool house. She would like to see the lawn size reduced. She suggested phasing out the redwoods on the western property line. She was supportive of the direction the applicants were headed with the project.

Chair Ross suggested reducing the exterior lighting overall. He reminded the applicant that lights in remote locations, such as the bicycle shed or path lights, may get left on inadvertently and they should be on a circuit that can be set to automatically turn them off. He said he was concerned about light spill from the window facing south above the stairs to the second floor. He said the first-floor south side lights are well screened. He was very supportive of the materials board. He was very supportive of the siting of the project and relocation of the driveway. He said there is a real difference between an elevation drawing and how it looks in real life and

## DRAFT MINUTES

once the house is built, it will have much less impact than the neighbors fear. He said there is already good screening and, with the pruning that has occurred, it will get vigorous and fill in. He said there will need to be screening and a secure fence for the pool area, but he would not mind seeing the chain link replaced. He agreed that the fence in the setback at the front property line should come down to 4 feet high. He said the proposed linear planting at the south property line needs to be more varied and irregular so it is not a hedge. He said he would like to see the lawn area reduced. He agreed the down lights in the barbecue area needed to be screened. He agreed that the wing walls at the entry gate were out of character with the rest of the project and could be handled more elegantly without the massive feel of the stone walls.

In response to Vice Chair Breen's question, the applicant said the driveway is asphalt up to the entry and then turns to gravel. Vice Chair Breen suggested the applicant consider pulling the fence up to the entrance of the house, eliminating the perimeter fencing along the front.

Commissioner Koch agreed with Vice Chair Breen's suggestion for thinning the redwoods, and said it would afford better views for the property owner.

(b) **Preliminary review for a Conditional Use Permit, Variance, Architectural Review and Site Development Permit for Sausal Creek, LLC (Hallett Store) 846 Portola Road, File #37-2015 and X7D-178.**

Planner Cynthia Richardson presented the staff report. She said the Conservation Committee has reviewed the landscaping plans and were in support of the plant materials used. She said the ASCC should review the variance request, decide if the tree removal is more appropriate or if the 200 square feet on the west side of the property is more appropriate, provide comments and recommendations to the Planning Commission regarding the Conditional Use Permit, and review the materials, signage, landscaping, and lighting.

Chair Ross called for questions for staff.

Commissioner Wilson asked if the corrugated roof was only being added to the new addition. Project Architect Carter Warr said the corrugated roof would cover the entire building.

In response to Chair Ross's question, Planning Director Pedro said the Planning Commission would be making the findings on the variance request and the ASCC was tasked with providing recommendations. Planner Richardson said the applicant was also looking for direction on that issue.

With no further questions for staff, Chair Ross called for comments from the applicant.

Project Architect, Carter Warr, described the history of the project and welcomed comments and guidance from the Commission in moving forward.

Chair Ross called for questions for the applicant.

Commissioner Koch asked about the pathway that previously accessed a mailbox near the oak tree. Mr. Warr pointed out the path on the landscape plan. He said it was a concrete pathway that was demolished during the house demolition and they want to put that back. He said the path would be used upon exiting the deck, going to the mailbox or to the restaurant.

Vice Chair Breen said the building is wonderful but she would prefer a floating deck rather than one with railing that is being proposed. Mr. Warr said it will be a floating deck, if possible, but

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they are not sure yet what the elevation is, and he does not want to create a public area where people will fall off of the deck. In response to Vice Chair Breen's question, Mr. Warr said the sign would be parallel to the road, and placed more in front of the building to not obstruct the sight line.

Chair Ross said he noticed on the demolition plan that the proposal was to retain the exterior walls at the back side. He said that would be tricky because of the subsidence in that area. He said the applicant needs to be mindful of the 50% rule. Mr. Warr said they were aware of that challenge and confirmed that the 50% rule applied to the value of the building and not the floor area.

With no further questions, Chair Ross called for public comment. Hearing none, Chair Ross closed the public hearing and brought the item back to the Commission for discussion.

Vice Chair Breen said she supported the variance to retain the tree. She supported the materials and colors. Vice Chair Breen said she had asked staff earlier if the applicants would be able to add more square footage if the tree ended up having to be removed 10 years from now. Planning Director Pedro clarified that this property is at the floor area limit. She said if there were a proposal for additional swapping of floor area, there would no longer be a hardship finding without the tree being there.

Commissioner Sill said this project will be a great improvement, is a striking design, and will look wonderful from the street. He supported the variance to retain the tree. He was supportive of the materials. He said the landscape plan was limited but appeared to be going in the right direction.

Commissioner Wilson said she would normally support buildings before trees, but in this case she supported keeping the tree and the variance. She was supportive of the color plan.

Commissioner Koch supported the variance to keep the tree. She was supportive of the materials.

Chair Ross said it was a great project. He said it will make a non-descript building a memorable one. He said the historical references and respect to the original use and look of the building is wonderful – redeveloping the front porch, the old signage, old-fashioned looking materials. He said there are not many places in Town where redwood trees belong, but this is one of them. He was supportive of the variance to keep the tree. He would like to see the deck done without a significant hand or guardrail. He said the 200-square-foot swap is well placed in an unobtrusive area. He was supportive of the materials palette.

### (5) COMMISSION AND STAFF REPORTS: [8:18 p.m.]

Planning Director Pedro said the ASCC vacancy applications are due on November 30.

Commissioners Sill and Koch advised that they reviewed the follow-up planting and fencing plans for 50 Iroquois Trail.

(6) APPROVAL OF MINUTES: October 27, 2016. Vice Chair Breen moved to approve the October 27, 2016, minutes as submitted. Seconded by Commissioner Sill, the motion passed 4-0; Commissioner Koch abstained. It was noted that Commissioner Wilson left halfway through the meeting, so she approved Items 1, 2, 3, 4(a), 5, and 6 of the minutes and abstained from Items 4(b) and 7.

### (8) ADJOURNMENT [8:35 p.m.]