



TOWN OF PORTOLA VALLEY

Meetings of the Architectural Site Control Commission (ASCC)
Monday, October 9, 2017
7:00 PM – Regular ASCC Meeting
Historic Schoolhouse
765 Portola Road, Portola Valley, CA 94028

SPECIAL ASCC FIELD MEETING

3:00-3:30 PM 40 Firethorn Way – Preliminary Architectural Review and Site Development Permit for a New Residence

3:45-4:15 PM 531 Wayside Road – Preliminary Architectural Review and Site Development Permit for a New Residence

4:30-5:00 PM 900 Portola Road – Architectural Review and Site Development Permit Amendments

REGULAR MEETING AGENDA

7:00 PM - CALL TO ORDER AND ROLL CALL

Commissioners Breen, Koch, Wilson, Vice Chair Sill and Chair Ross

ORAL COMMUNICATIONS

Persons wishing to address the Architectural and Site Control Commission on any subject may do so now. Please note however, that the Architectural and Site Control Commission is not able to undertake extended discussion or action tonight on items not on the agenda.

OLD BUSINESS

1. [Final Review and Recommendation for a Conditional Use Permit, Architectural Review and Site Development Permit, 838 Portola Road, Owner: Georgia Bennicas, File#: PLN_USE 7-2017 \(Staff: C. Richardson\)](#)

NEW BUSINESS

2. [Architectural Review for Modifications to the Previously Approved Family Lounge Building at Windmill School and Family Education Center, 900 Portola Road, File: PLN_ARCH0038-2017 \(Staff: C. Richardson\)](#)
3. [Preliminary Architectural Review and Site Development Permit for a New Residence, File # 35-2017, 40 Firethorn Way, YLCL Investments Residence \(Staff: C. Richardson\)](#)
4. [Preliminary Architectural Review and Site Development Permit for a New Residence, File # 34-2017, 531 Wayside Road, Sholtz/Magill Residence \(Staff: C. Richardson\)](#)

COMMISSION, STAFF, COMMITTEE REPORTS AND RECOMMENDATIONS

APPROVAL OF MINUTES

5. [ASCC Meeting of September 11, 2017](#)

ADJOURNMENT

AVAILABILITY OF INFORMATION

For more information on the projects to be considered by the ASCC at the Special Field and Regular meetings, as well as the scope of reviews and actions tentatively anticipated, please contact Carol Borck in the Planning Department at Portola Valley Town Hall, 650-851-1700 ex. 211. Further, the start times for other than the first Special Field meeting are tentative and dependent on the actual time needed for the preceding Special Field meeting.

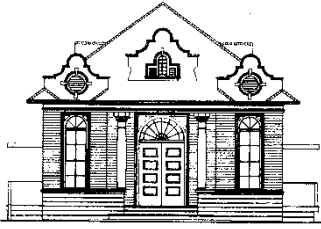
Any writing or documents provided to a majority of the Town Council or Commissions regarding any item on this agenda will be made available for public inspection at Town Hall located 765 Portola Road, Portola Valley, CA during normal business hours. Copies of all agenda reports and supporting data are available for viewing and inspection at Town Hall.

ASSISTANCE FOR PEOPLE WITH DISABILITIES

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Department at (650) 851-1700. Notification 48 hours prior to the meeting will enable the Town to make reasonable arrangements to ensure accessibility to this meeting.

PUBLIC HEARINGS

Public Hearings provide the general public and interested parties an opportunity to provide testimony on these items. If you challenge any proposed action(s) in court, you may be limited to raising only issues you or someone else raised at the Public Hearing(s) described in this agenda, or in written correspondence delivered to the Architectural and Site Control Commission at, or prior to, the Public Hearing(s).



TOWN OF PORTOLA VALLEY STAFF REPORT

TO: ASCC

FROM: Cynthia Richardson, Planner

DATE: October 9, 2017

RE: Final review for a Conditional Use Permit, Architectural Review and Site Development Permit, 838 Portola Road, Owner: Georgia Bennicas, File#: PLN_USE 7-2017

RECOMMENDATION

Staff recommends that the ASCC review all the information and provide specific recommendations to the Planning Commission for the following items:

1. **Conditional Use Permit.** Review and make recommendations to the Planning Commission for the new CUP and CUP Conditions of Approval found in Attachment 1.
2. **Architectural Review and Site Development.** Review and make recommendations to the Planning Commission for the Site Development Permit and Site Development Conditions of Approval found in Attachment 2.

BACKGROUND

The .17 acre (7,570 square feet) property is accessed directly off of Portola Road. Located to the west is Hallett Store, to the east across Sausal Creek is an office building, to the rear are two vacant parcels and across the street is Christ Church. The property is zoned AP (Administrative Professional) and is located within the Town Center Area Plan and along Portola Road which is designated as a scenic corridor.

On September 6, 2017 the ASCC and Planning Commission held a joint field meeting to walk the site. Later that evening the Planning Commission held a preliminary hearing to review the application as proposed. The staff report and meeting minutes can be found as Attachment 3 and 4. The ASCC conducted a preliminary meeting on September 11, 2017 and meeting minutes can be found as Attachment 5.

PROJECT DATA

Lot Size	.17 acre (7,570 sf)			
Average Slope	6.25%			
AP Zone District	Code Requirements	Existing	Proposed	Remaining
Floor Area Ratio for AP Zone (13%)	984	838	838	146
Max Coverage Limit (15%) (floor area plus covered porches)	1,136	838	1,018	118
Landscape Coverage (40%)	3,028	2,947	3,193	165
Landscape Front Setback	25%	2.10%	9.00%	-
Height	28'	18'	18'	-
Front Setback	50'	36'	36'	-
West Side Setback	20'	6'	6'	-
East Side Creek Setback	30'	3'	3'	-
Rear Setback	20'	56'	56'	-
Parking	4	3	4	

CODE REQUIREMENTS

As required by Sections 18.64.010 and 18.72.120 of the Portola Valley Municipal Code (PVMC), the project is subject to review by the ASCC and Planning Commission. The existing structure is legal non-conforming since it encroaches within the front, side and rear setbacks.

DISCUSSION

Georgia Bennicas is requesting a new CUP for office use, Architectural Review, and a Site Development Permit for removal of the large redwood tree within the driveway. The current structure will be remodeled both internally and externally with no expansion to the floor area. The remodel work will comply with the 50% nonconforming rule (Portola Valley Municipal Code Section 18.46.040). All variance requests have been withdrawn from the application.

Conditional Use Permit

To approve a use permit, findings as identified in PVMC Section 18.72.130 must be made. Staff has prepared conditions related to such things as hours of operation, parking minimums and periodic reviews. Staff has prepared conditions and findings in support of the new Conditional Use Permit (Attachment 1).

Architectural Review

Exterior materials and finishes, exterior lighting, and signage

This structure should be evaluated against the Portola Valley Design Guidelines as well as the Portola Road Corridor Plan and the Town Center Area Plan. Staff believes that this project meets the objectives of the Town Center Area Plan such as integration of businesses serving the residents of Portola Valley and providing a project that is a scale and design quality compatible with the rural setting of the town. The Town's Design Guidelines discusses the need to site structures, driveways and parking area with respect to the natural site conditions and to design structures around mature trees. The colors and materials have a reflectivity value less than 40% and the materials blend well with the site. The lighting plan is minimal and maintains the rural unlit

character of the environment. Draft conditions of approval for the Site Development Permit have been provided in Attachment 2.

Landscaping and fencing

The applicant's landscape architect has prepared a memo (Attachment 6) that explains the reason for leaving the Arbutus 'Marina' tree instead of the Big Leaf Maple as requested by the ASCC. He states that the Big Leaf Maple will eventually grow to a mature height of 50' to 65' and will conflict with the utility wires. Therefore he is requesting to keep the original tree in the landscape plans.

The applicant has also added to their request to extend the fencing along the north property line farther towards the creek to provide some private outdoor area on the property. The six foot tall solid fence will not encroach into the 30 foot creek setback.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

This project has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) per Sections 15301 and 15302 of the CEQA guidelines.

PUBLIC COMMENTS

No comments from the public have been received as of the writing of this report.

CONCLUSION

The ASCC should offer comments and recommendations to the Planning Commission for the following:

1. Conditional Use Permit (see attached findings and conditions of approval)
2. Site Development (see attached conditions of approval)

ATTACHMENTS

1. Resolution for Conditional Use Permit Findings and Conditions of Approval
2. Site Development Conditions of Approval
3. ASCC and Planning Commission staff report dated September 6, 2017
4. Planning Commission draft minutes dated September 6, 2017
5. ASCC draft minutes dated September 11, 2017
6. Landscape Architect memo
7. Architectural plans (ASCC only)

Report approved by: Debbie Pedro, Planning Director



**DRAFT
RESOLUTION NO. 2017 -**

**RESOLUTION OF THE TOWN OF PORTOLA VALLEY
PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT
838 PORTOLA ROAD, OWNER: GEORGIA BENNICAS
FILE PLN_USE 7-2017**

WHEREAS, Georgia Bennicas has submitted an application for a Conditional Use Permit for use of the existing building, with some modifications, on the property located at 846 Portola Road as an office building; and

WHEREAS, the Architectural and Site Control Commission (ASCC) held a duly noticed public hearing on October 9, 2017 and after reviewing and considering the staff report, all related information and public comment, recommended that the Planning Commission approve the Conditional Use Permit; and

WHEREAS, the Planning Commission held a duly noticed public hearing on October 18, 2017 to consider the Conditional Use Permit, and the entire record of proceedings, including the staff reports and public comment; and

WHEREAS, the proposed ordinance is exempt from California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15302 of the CEQA Guidelines.

NOW, THEREFORE, be it resolved that the Planning Commission of the Town of Portola Valley does hereby RESOLVE as follows:

The Planning Commission makes the following findings regarding the Conditional Use Permit:

- a. ***The proposed use or facility is properly located in relation to the community as a whole and to land uses and transportation and services facilities in the vicinity.***

The property is located within the Town Center Area Plan that is a sub-area plan within the General Plan. Office uses exist to the east of the project site and commercial uses are located to the west. The subject parcel, along with three other parcels to the east, has a community service designation in the Town Center Area Plan with offices identified as an appropriate use. The office building is well located as it is close to Town Center and is accessed by Portola Road.

- b. ***The site for the proposed use is adequate in size and shape to accommodate the proposed use and all yards, open spaces, walls and fences, parking, loading, landscaping and such other features as may be required by this title or in the opinion of the commission be needed to assure that the proposed use will be reasonably compatible with land uses normally permitted in the surrounding area and will insure the privacy and rural outlook of neighboring residences.***

The existing structure has operated as an office use since 1969 with adequate parking and landscaping. The applicant is proposing to operate a small investment advisory business with two staff members on the property. No substantial changes will be made to the use of the site and the office use will be compatible with the surrounding land uses and Town Center Area Plan.

- c. ***The site for the proposed use will be served by streets and highways of adequate width and pavement type to carry the quantity and kind of traffic generated by the proposed use.***

The project is located on Portola Road which is a major thoroughfare within the Town. There will be no change in use. According to the applicant, they will be meeting with clients throughout the day, one at a time so there will be minimal additional traffic generated by the proposed use. The parking impacts have been analyzed and the proposed spaces will serve the day to day needs of the office building.

- d. ***The proposed use will not adversely affect the abutting property or the permitted use thereof.***

An office building is located to the east and west with uses that serve the Town. The structure has been located at this site since 1969 and operated as an office for the past 48 years. No complaints have been received by the Town for this use.

- e. ***The site for the proposed use is demonstrated to be reasonably safe from or can be made reasonably safe from hazards of storm water runoff, soil erosion, earth movement, earthquake and other geologic hazards.***

The proposed project would not have a geologic impact because the project site is located outside of any Geotechnical and Seismic Hazard Zones as shown on the Town's Geotechnical and Seismic Hazard Zone Map.

- f. ***The proposed use will be in harmony with the general purpose and intent of this title and the general plan.***

The A-P (Administrative-Professional) District is intended to provide space for administrative and professional offices and related uses serving primarily the town and its spheres of influence. Provisions under the A-P District regulations allows for administrative and professional offices with a conditional use permit.

Conditional Use Permit PLN_USE 7-2017 is hereby granted for the Georgia Bennicas, subject to conditions attached hereto as Attachment A and incorporated herein by this reference.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the Town of Portola Valley on October 18, 2017.

For:

Against:

Absent:

By: _____
Denise Gilbert, Chairperson

ATTEST: _____
Debbie Pedro, Planning Director

Attachment A
Conditional Use Permit For
Georgia Bennicas
838 Portola Road, File PLN_USE 7-2017, CUP# X7D-178

1. **Property and Nature of the Use.** This Conditional Use Permit shall apply to the property owned by Georgia Bennicas with a total land area of 7,570 square feet, commonly known as 838 Portola Road, Assessor's Parcels: 076-261-050 (Property).
2. **Use.** The uses within the building shall be limited to business and professional offices serving the community and adjoining residential areas which comply with the Town of Portola Valley Zoning Ordinance or any other use contained in PVMC Section 18.22.030 such as medical and dental clinics, Veterinary Clinics, Real Estate and Insurance Offices, Convenience Goods, Residential Care Facilities and any other use which is determined by the Commission to be found to be the same character as another use. Compliance with this provision shall be determined by staff review through the zoning permit issuance procedure.
3. **Conditional Use Permit Review.** No later than one (1) year after the date of occupancy, Georgia Bennicas shall request and the Planning Commission shall then review the Conditional Use Permit at a noticed public hearing to determine that the use remains in compliance with the conditions of approval.
4. **Conformance to Plans and Use.** The development of the Property shall conform to the approved Site Development plans titled Bennicas Commercial Project, 838 Portola Road dated 7/21/2017.
5. **On-site Parking.** There shall be 3 regular parking spaces and 1 handicapped space provided at all times. One parking space may be tandem. Handicap parking on the project site shall be provided pursuant to the standards set forth in the uniform building code to the satisfaction of the building official.
6. **Refuse.** All trash areas shall be effectively screened from view, covered, and maintained in an orderly state and trash shall be picked up regularly.
7. **Street Number Visibility.** Street numbers of the building shall be easily visible from the street at all times, day and night.
8. **Landscaping.** Planting and irrigation shall be provided, as indicated, on the approved plan sheets L-001, -101, and -501. Landscaped areas shall be maintained.
9. **Lighting.** Lighting shall be the minimal amount for safety only and lighting controls shall be in place to ensure all lights are off when the site is not in use.
10. **Compliance with Local and State Laws.** The use shall be conducted in full compliance with all local and state laws. The permit shall be subject to revocation if the use is not conducted in compliance with these conditions and all applicable laws.
11. **Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the Town Council on appeal, at any time, whenever, after a noticed hearing in accordance the Town of Portola Valley Municipal Code and when the Planning Commission finds:

- a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
- b. A violation of any Town Ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation.

12. **Covenants Run with the Land.** All of the conditions contained in this Conditional Use Permit shall run with the land and shall be binding upon, and shall inure to the benefit of Georgia Bennicas and her heirs, successors, assigns, devisees, administrators, representatives and lessees.

13. **Defend, Indemnify and Hold Harmless.** Georgia Bennicas shall defend, indemnify and hold harmless the Town, and its elective and appointive boards, commissions, agents, officers and employees from any and all claims, causes of action or proceedings arising out of or in connection with, or caused on account of, the development and occupancy of the Georgia Bennicas building and the approval of this Conditional Use Permit or any related approvals.

**Recommended Conditions of Approval
Site Development Permit for Remodel of an Existing Office Building,
New Parking Lot and Tree Removal
838 Portola Road, Owner: Georgia Bennicas
File #PLN_USE 7-2017**

A. PLANNING DEPARTMENT:

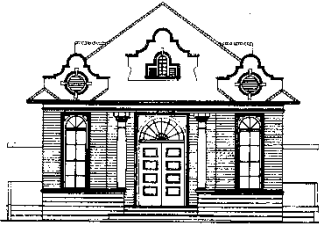
1. No other modifications to the approved plans are allowed except as otherwise first reviewed and approved by the Planning Director or the ASCC, depending on the scope of the changes.
2. The overhang of the building shall be no greater than 2 feet from the face of the building. All roof improvements constructed without benefit of a building permit shall be removed and restored to the original setbacks.
3. On-site lighting is approved as shown on the approved plans. Any additional on-site exterior lighting shall be subject to review and approval by the ASCC. All new on-site, exterior lighting shall conform to the Town's Outdoor Lighting Policy.
4. All building colors and materials are to be those specified on the Site Development Approved Plan Set and color board.
5. All recommendations contained in the Arborist Report prepared by Advanced Tree Care, dated November 5, 2016 shall be implemented during construction.
6. All invasive plants shall be removed from the site prior to final inspection.
7. Prior to submission of a Building Permit the applicant shall obtain clearance from the San Mateo County Health Department for removal of the improvements affecting the Onsite Wastewater Treatment System.

B. ENGINEERING/PUBLIC WORKS DEPARTMENT:

8. The driveway or portions of the parking lot within the Town's right of way shall be repaired and repaved to the satisfaction of the Public Works Director, prior to final sign off.
9. A detailed construction logistics plan with a schedule shall be submitted prior to building permit issuance. A construction staging and tree protection plan shall be submitted to the satisfaction of the Public Works Director prior to building permit issuance.
10. Provide adequate site visibility at the driveway approach.
11. An Encroachment Permit shall be obtained for the removal of the large redwood tree at the front of the property within the public right of way.
12. An Encroachment Permit shall be obtained for any new replacement fencing located within the public right of way.

C. FIRE DEPARTMENT:

13. Address and/or suite numbers shall be clearly posted and visible from the street with a minimum of 4" numbers on contrasting background.
14. If a Fire Sprinkler system is already installed, then reconfigure as needed to comply with the Fire Code.
15. Self-illuminating exit signs shall be installed prior to final inspection.
16. Knox Box shall be required if not already installed prior to final inspection.
17. Fire Extinguishers shall be installed prior to final inspection.



MEMORANDUM

TOWN OF PORTOLA VALLEY

TO: Planning Commission and ASCC

FROM: Cynthia Richardson, Planner

DATE: September 6, 2017

RE: Preliminary review for a Conditional Use Permit, Variance, Architectural Review and Site Development Permit, 838 Portola Road, Owner: Georgia Bennicas, File#: PLN_USE 7-2017 and VAR 2-2017.

RECOMMENDATION

Staff recommends that the Planning Commission and ASCC offer comments, reactions and directions to assist the applicant and project team to make any plan adjustments or clarifications that members conclude are need before the commission considers final action on the application.

PROJECT DATA

Lot Size	.17 acre (7,570 sf)			
Average Slope	6.25%			
AP Zone District	Code Requirements	Existing	Proposed	Remaining
Floor Area Ratio for AP Zone (13%)	984	838	838	146
Max Coverage Limit (15%) (floor area plus covered porches)	1,136	838	1,018	118
Landscape Coverage (40%)	3,028	2,947	3,193	165
Landscape Front Setback	25%	2.10%	9.00%	-
Height	28'	18'	18'	-
Front Setback	50'	36'	36'	-
West Side Setback	20'	6'	6'	-
East Side Creek Setback	30'	3'	3'	-
Rear Setback	20'	56'	56'	-
Parking	4	3	4	

BACKGROUND

The .17 acre (7,570 square feet) property is accessed directly off of Portola Road (Attachment 1). Located to the west is Hallett Store, to the east across Sausal Creek is an office building, to the rear are two vacant parcels and across the street is Christ Church. The property contains a septic system at the rear of the property and will not be connecting to the sanitary sewer system.

According to the Assessor's records the structure was originally constructed in 1960 as a dentist office. Ms. Bennicas purchased the building in 2012 and intended to move her business to this building. On May 31, 2016 the Town issued a building permit to install new windows, siding and roofing. While under construction it was found that the applicant exceeded the original scope of work and on November 11, 2016 a stop work notice was placed on the property.

The property is zoned AP (Administrative Professional) and is located within the Town Center Area Plan that is a sub-area plan within the General Plan. The project includes the remodeling of the existing office building, new asphalt paved parking lot and removal of the large redwood tree located in the front of the building. The existing structure will be remodeled and will remain only one office. The use within the building is limited to business and professional office serving the community and adjoining residential areas which comply with the Town of Portola Valley Zoning Ordinance or any other use contained in PVMC Section 18.22.030 such as medical and dental clinics, veterinary clinics, real estate and insurance offices, convenience goods, residential care facilities and any other use which is determined by the Commission to be found to be the same character as another use. The office cannot exceed 1,500 square per Municipal Code Section 18.54.052 for commercial and office uses.

CODE REQUIREMENTS

The existing structure is legal non-conforming since it encroaches within the front, side and rear setbacks. The proposed front entrance canopy and rear covered deck additions to the structure require variance approval.

DISCUSSION

The applicant is requesting preliminary review for a new Conditional Use Permit, Variance, Architectural Review and Site Development Permit for the property located at 838 Portola Road. The current structure will be remodeled both internally and externally with no expansion to the floor area. The remodel work will comply with the 50% nonconforming rule (Portola Valley Municipal Code Section 18.46.040). The applicant is requesting a variance to extend the rear portion of the roof to provide a covered patio area, a front door canopy that projects into the front setback and to not meet the landscape requirement of 25% within the front setback.

Conditional Use Permit

This property has never had a CUP for previous businesses/uses which included a veterinary office. The AP District lists administrative and professional offices as one of the uses allowed under the conditional use permit process (Municipal Code Section 18.22.030). Bennicas Associates is an investment advisor firm which consists of owner Georgia Bennicas and two assistants. They meet with only one client at a time and will have low traffic volumes at the property. A letter submitted from the applicant (Attachment 2) details the office use. Bennicas Associates was once located at 130 Portola Road and at that time had a Zoning Permit to operate her business. The business has since moved to the Town of Woodside.

The Zoning Ordinance allows for professional offices as follows:

“Administrative and professional offices that meet the domestic needs of the residents of the town and its spheres of influence or which provide services to other businesses or institutions in the town or its spheres of influence meeting domestic needs, provided any such establishment conforms to the floor area limitations of Section 18.54.052;”

The Planning Commission will need to evaluate the conditional use permit for compliance with the provisions of Municipal Code Section 18.72.130. The findings must be made to approve the project. The plan package will establish design and use controls for the project along with CUP conditions. The current project includes the remodel of the structure which will remain only one office.

The Zoning Ordinance section 18.72.030 outlines the purpose of the review as follows:

- A. Determine whether the location proposed for the conditional use applied for is properly related to the development of the neighborhood or community as a whole;
- B. Determine whether or not the use proposed in the particular location would be reasonably compatible with the types of uses normally permitted in the surrounding area;
- C. Evaluate whether or not adequate facilities and services required for such use exist or can be provided;
- D. Determine whether the site is or can be made safe from hazards of storm water runoff, soil erosion, earth movement, earthquake, and other geologic hazards;
- E. Stipulate such conditions and requirements as would reasonably assure that the basic purposes of this title and the objectives of the general plan would be served.

Variance

The existing structure, including the attached carport is legal nonconforming with the building encroaching into the front and side setbacks. The original non-conforming structure maintained a 2-foot overhang all around the building. The applicant is requesting a 4 foot extension of the rear roof to create a covered outdoor area. The extension projects into the east and west side yard setbacks. The proposed roof expansion and support columns have already been constructed without benefit of a building permit. It has been determined by the San Mateo County Environmental Health Department that the column on the west side of the building is constructed on top of the existing septic tank and must be removed or relocated (Attachment 3). The applicant in their letter dated August 11, 2017 from Peter Carlino (Attachment 4) indicates that the three columns will be removed and the roof support will be tied back to the building. The project also includes a fabricated canopy extension at the front entry that projects 2 feet farther into the front setback than the original overhang.

The following variance findings would need to be made in order to approve the variance.

- 1. There are special circumstances applicable to the property, including, but not limited to, size, shape, topography, location or surroundings that do not apply generally to other properties or uses in the district;
- 2. Owing to such special circumstances the literal enforcement of the provisions of this title would deprive such property of privileges enjoyed by other property in the vicinity and under identical zoning;
- 3. The variance is subject to such conditions as are necessary to assure the adjustment authorized will not constitute a grant of special privilege inconsistent with limitations on other properties in the vicinity and zone in which such property is situated;

4. The variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity or in the district in which the property is located;
5. A variance shall not be granted for a parcel of property which authorizes a use or activity which is not authorized by the zone regulation governing the parcel of property.
6. That the granting of such variance shall be consistent with this title and the general plan.

Pursuant to Section 18.52.070 of the PVMC, cornices, canopies, eaves or any other similar architectural features may project a distance not exceeding three feet into the required yard. The front entrance canopy extends 4' into the front yard setback and would require a variance unless the overhang is reduced by 2' to match the original roof overhang. This code section applies to conforming structures so that the anticipated projection of 3 feet is from the setback line. In this case the existing structure already extends beyond what the exception allows.

Staff is unable to make hardship findings for the variances because the rear roof and front canopy extensions are design elements and not essential to the structure.

Architectural Review

Exterior materials and finishes, exterior lighting, and signage.

The plan set includes floor plans and architectural elevations on sheet 2. The structure will be clad in horizontal wood siding along with a new black color metal standing seam roof. The applicant is proposing new updated black metal frame windows and doors. The horizontal wood siding will be stained a medium brown.

Proposed landscape lighting for the project can be found on sheet L-101. Two path lights are shown as a small hooded light fixture. Lighting on the structure includes wall mounted Lighting that can be found in (Attachment 5).

The applicant has not proposed a sign plan at this time.

Landscaping and fencing.

A conceptual landscape plan can be found on sheet L-101. The landscape plan is subject to the Water Efficient Landscape Ordinance specific information can be found on sheet L-101 in the plan packet. The applicant is proposing to increase the landscape area within the front setback from 2% to 9%, reducing the nonconformity.

The Arborist Report prepared by Advanced Tree Care dated November 5, 2016 (Attachment 6) comments only on the 80.2 inch diameter Coastal redwood tree located near the front property line. The report indicates that this tree has been topped at 30 feet due to the location of the power lines. This tree if not topped would have been approximately 100 to 120 feet tall. The report states that the tree is in poor condition and will never reach its maximum potential due to the power lines. The report supports the removal of the tree. The Conservation Committee in their memo (Attachment 7) agrees with the removal of the tree. In addition the committee has reviewed the proposed landscaping and finds it acceptable with the caution of the new tree planted at the front of the property may conflict with the power lines at maturity. The committee also recommends removal of all invasive plants on the property and non-native vegetation.

The applicant is proposing new fence along the western side of the existing structure. Details of the fencing can be found on sheet L-501. The fence will be an open three rail fence with mesh wire from the front property line to the 50 foot setback at which point the fence switches to a 6 foot tall horizontal cedar fence. The fence continues to where the property line turns west. The applicant should coordinate with the Hallett Store project because an open rail fence has already been approved on that project for the same property line. Additional details regarding the mailbox can also be found on this page.

Parking

Staff evaluated the parking requirements for the project using the Zoning Ordinance, Table 5 of Section 18.060.110 "Schedule of required off-street parking spaces". The Ordinance requires 1 space for each 200 square feet of floor area for Banks, Businesses, or professional offices. The Zoning Ordinance defines floor area in Section 18.60.040 as follows "For the purpose of this section, "floor area" shall mean the gross floor area in the building other than floor space designated and used exclusively for parking and loading spaces, building service and maintenance, or storage of equipment and furnishings belonging to the occupants of the building but not in current use."

The 800 square foot office building requires 4 parking spaces. The project site plan shows parking for three standard spaces and one handicapped space. Based on parking space requirements, the applicant has met the code requirement.

Grading and Drainage

The site is relatively level with an average slope of 6.25%. Sausal Creek runs along the entire length of the eastern property line. The property measures approximately 67 feet along Portola Road and is approximately 124 feet deep. The Public Works Director has provided a memo dated June 20, 2017 (Attachment 8) where he calls for improvements to the driveway approach and to provide adequate site visibility at the driveway approach.

Fire Department Review

The Fire Marshal has prepared a memo dated June 19, 2017 (Attachment 9) and has outlined 9 comments relating to fire alarms, fire extinguishers, panic hardware and Knox Box requirements.

Conservation Committee

The Conservation Committee reviewed the project (Attachment 7) and would like the invasive weeds removed. They reviewed the arborist report regarding the redwood tree at the front of the property and are in agreement that the tree should be removed. They also reviewed the new landscape plan and find it to be acceptable.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

This project has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) per Section 15301 and 15302 of the CEQA guidelines.

NEIGHBOR COMMENTS AND COMMUNITY OUTREACH

No neighbors have commented as of the writing of this report.

CONCLUSION

The ASCC and Planning Commission should conduct their individual preliminary reviews, including the site visit, and offer comments, reactions and directions to assist the applicant with any plan adjustments or clarifications that members conclude are needed. Specifically each Commission should review the project and provide comments as follows:

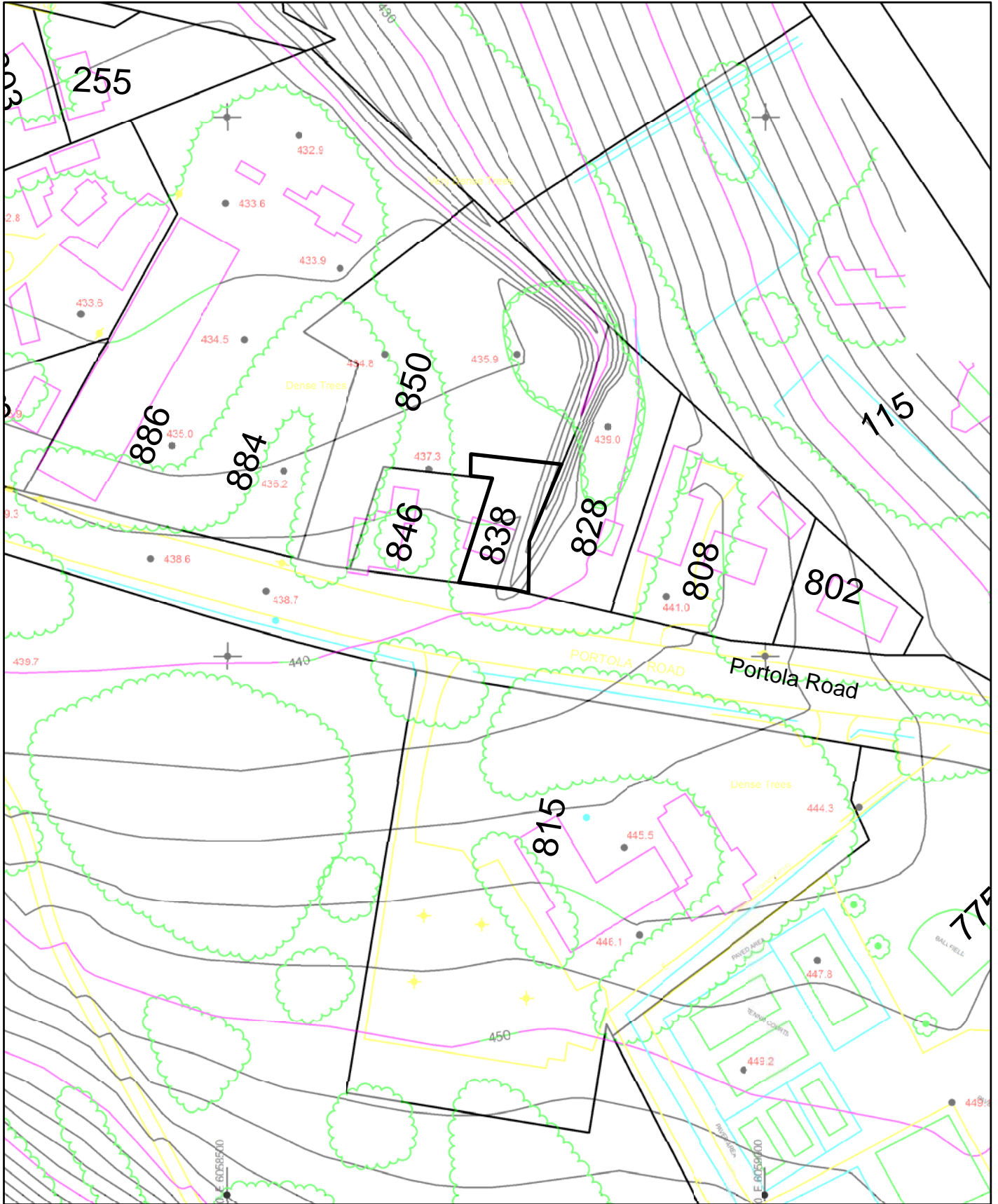
- The ASCC should review the site plan, building layout, visual character of the project including materials and landscaping, and variance requests and make suggestions and comments to the applicant.
- The Planning Commission should review the Variance and Conditional Use Permit and offer any comments or suggestions to the applicant.

ATTACHMENTS

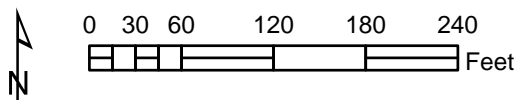
1. Vicinity Map
2. Applicants letter dated May 3, 2017
3. San Mateo County Environmental Health Department memo dated July 21, 2017
4. Pete Carlino Letter dated August 11, 2017
5. Light fixture cut sheet
6. Arborist Report prepared by Advanced Tree Care dated November 5, 2016
7. Conservation Committee Memo dated May 27, 2017
8. Town Public Works Director memo dated June 20, 2017
9. Woodside Fire Protection District memo dated June 19, 2017
10. Architectural plans (Commission only)

Report approved by: Debbie Pedro, Planning Director





Vicinity Map



838 Portola Rd

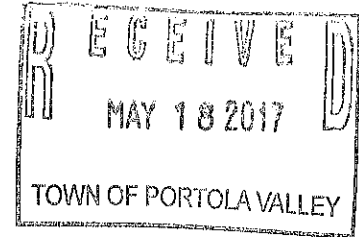
September 2017

Bennicas and Associates, Inc.

REGISTERED INVESTMENT ADVISOR

2995 Woodside Rd. Suite 250
Woodside, California 94062
(650) 851-4601
FAX (650) 851-1679
georgia@bennicasassociates.com

May 3, 2017



Debbie Pedro, Planning Director
Portola Valley Planning Commission
Town of Portola Valley
765 Portola Road
Portola Valley, CA 94028

Dear Debbie Pedro and the Portola Valley Planning Commission,

This letter is to update and provide information about myself and my firm, Bennicas and Associates, Inc.

As the owner of Bennicas and Associates, Inc., I am a SEC Registered Investment Advisor for high net worth individuals, many of whom are currently Portola Valley residents. My firm specializes in fee-based asset management services, and we provide comprehensive day-to-day administration of investment advisory accounts, including security selection, trade placement, and portfolio evaluation and reporting.

My desire has always been to relocate my business to Portola Valley from Woodside, where I have been since 1989. I would like to move my business to my property at 838 Portola Road by this summer 2017.

Before I completed the purchase of the property at 838 Portola Road, I met with Tom Vlasic, the Town Planner, and confirmed that since I had already gone through the approval process with the town, I was clear to proceed with the purchase and the move of my business. My business was approved under Conditional Use Permit #X7D-135. My Zoning Permit Application was approved as well on April 13, 2012 (attached).

My practice consists of myself and my two assistants; we do not plan to hire additional staff. My assistants will have their own small office along with a larger office for myself to conduct client meetings. We will have no need for additional parking, as we can only meet one client at a time. Therefore, four parking spaces will be sufficient.

I have enjoyed residing in Portola Valley for a combined total of over 20 years, with homes on Russell Avenue, Arastradero Road, and Golden Oak Drive. My two sons went to the Portola Valley elementary schools, before enrolling and graduating from the Woodside Priory. We continue to be involved with the Woodside Priory as Alumni, and I was involved and owned one

of the lots that were spun off from the school to raise funds for the Priory's Foundation Endowment.

I truly enjoyed my membership at Alpine Hills for 19 years, and my youngest son Westley worked there after graduating from college. Currently, Westley is employed as a personal trainer at the Woodside Priory.

I have been an active participant in past town fundraising and political organizations, serving on the committee of Blues and Barbecue, contributing time and funds to the Town Center, and as a founding committee member of the Sausal Creek Daylighting Project. I am deeply committed to improving and protecting our unique rural environment and make extensive use of our wonderful hiking trails system.

Thank you for your time.

Sincerely,



Georgia Bennicas
President

Attachment 3

7-21-17 (via email)

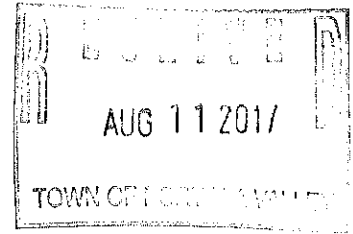
Dear Cynthia,

This is a follow up email to our site inspection conducted on 6/29/2017 to assess the potential impact created by the construction of the roof extension/deck. The inspection revealed a deck extension with a concrete pad and three 14"X22" columns supporting a cantilevered roof. The column located on the northwest corner of the deck is resting on top of the concrete septic tank. This is in violation of the setback requirements specified in the OWTS Ordinance 4.84.120 and Section 3 of the Onsite Systems Manual (OSM). The structure must be removed and the septic tank must be evaluated by a registered septic professional. A report shall be supplied to Environmental Health (EH) describing the condition of the tank and any necessary repairs. The applicant has several options for approval from EH. (1) Connect to sanitary sewer and submit application/fees to EH to obtain a septic tank destruction permit; or (2) modify structure meeting setback requirements and submit applications/fees to EH for a variance and tank replacement in the same location if necessary.

I may be reached by phone (650) 464-0613 or reply to this email if you have any questions.

Sincerely,

Edgardo Diaz
EHS IV, Land Use Program
San Mateo County Environmental Health
2000 Alameda de las Pulgas, Suite 100
San Mateo, CA 94403
Direct Phone 650-464-0613
Fax 650-627-8244
mailto: egdiaz@smcgov.org
<http://smchealth.org/landuse>



Main Office:
2495 Industrial Pkwy West
Hayward, CA 94545
Ph: 510.887.4086
Fx: 510.887.3019

Sacramento Region
3017 Douglas Blvd. Ste. 300
Roseville, CA 95661
Ph: 916.966.1338
Fx: 916.797.7363

August 11, 2017
Attn: Cynthia Richardson
Subject: **Detailed Site Description**
838 Portola Road (APN: 076-261-050)
L&B#: 2170011 CI

Dear Cynthia:

At the request of the town, we have prepared a detailed description of the existing condition of the subject property as well as the proposed improvements shown on the use permit package.

Prior to construction, the site consisted on a one-story wooden structure with a 24" roof overhang on all sides. In addition to the structure, an asphalt concrete parking/driveway area covered the entire frontage of the parcel from the building to the right of way. The site was (and still is) operating on its own standalone septic system consisting of one concrete septic tank and four leech lines located in the backyard of the property.

The existing structure, depicted above, is to remain on the use permit plans. New development shall consist of the following. The parking/driveway area is to be repaired to the satisfaction of the Town. An accessible parking space, accessible ramp, and canopy covering the front entryway are proposed. Additionally, a rear patio with a six-foot roof overhang is proposed. The rear patio overhang supports will tie back into the building and will have no columns terminating into the ground. The project team is aware that the overhang will require a variance. The 14"x22" columns, that are currently built, will be removed at the request of the San Mateo County Department of Environmental Health.

Feel free to contact me with any questions or concerns.

Best,

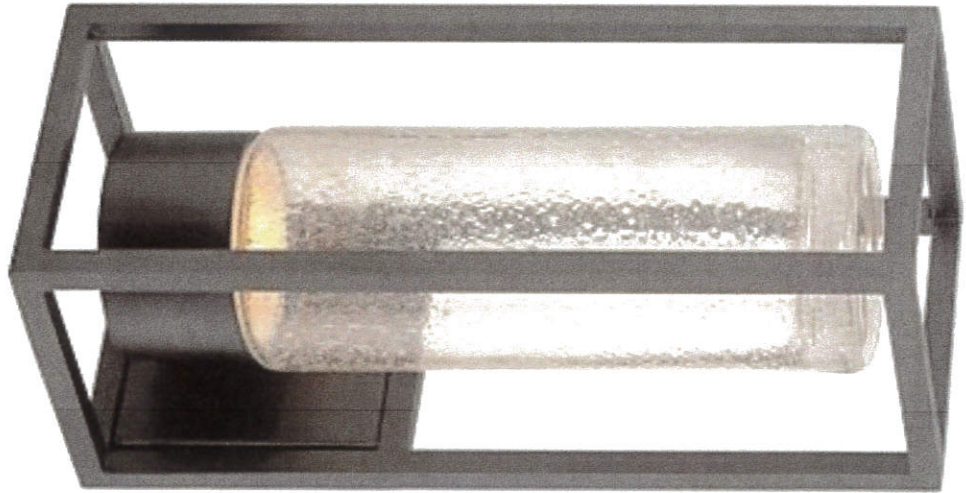
Peter Carlino
Principal, Civil Engineer





Lofings Lighting
Concept • Design • Performance

2121 J Street * Sacramento, CA 95816
Phone 916-442-3582 Fax 916-442-3644
www.lofingslighting.com



EXTERIOR LIGHTING SPECS

Product ID: 656186
Vendor #: WS-W5416-BK
Vendor: Modern Forms
Finish: Black
Collection: LED Outdoor Wall
Mount
Width: 6
Height: 15
Wattage: 58 W

Advanced Tree Care

P.O. Box 5326, Redwood City, CA 94063

650 839 9539

Georgia Bennicas
2995 Woodside Rd, Suite 250
Woodside, CA 94062

November 5, 2016

Site: 838 Portola Rd, Portola Valley

Dear Georgia,

Re: Redwood at the front of the property

I looked at the redwood at the front of the property and have the following observations and summary.

Observations

The redwood is located at the front of the property in the parking area in front of the building. The tree can be seen in the attached photos.

Coastal redwood, *Sequoia sempervirens*

Diameter at Standard Height 80.2"

Height 30 feet

Canopy Spread 45 feet by 45 feet

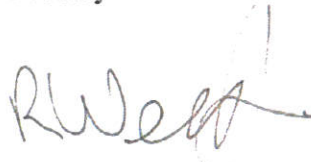
The coastal redwood is in fair health but poor condition. The trunk is massive and the root system and root flare are lifting the parking area in front of the building. A tree of this trunk diameter would typically be 100 to 120 feet tall similar to some of the other surrounding trees, unfortunately this tree is located beneath the power lines and has been topped at approximately 30 feet. There is some dead wood throughout the canopy and the trunk is covered in ivy.

Summary

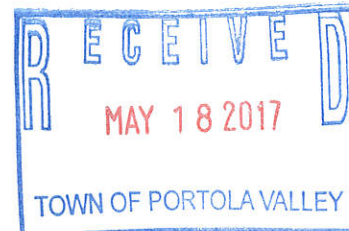
Whilst the tree is in fair health it is in poor condition and will never be able to achieve its maximum potential because of the main power lines located above the tree. The parking area in front of the building is significantly restricted because of the root flare and root system. There are many other coastal redwoods nearby in good health and condition making this one look very poor. Consequently I recommend removal of this tree.

If you have any questions or I can be of further assistance, please don't hesitate to call.

Sincerely



Robert Weatherill
Certified Arborist WE 1936a



Advanced Tree Care

P.O. Box 5326, Redwood City, CA 94063

650 839 9539



The coastal redwood at the front of the property

Advanced Tree Care

P.O. Box 5326, Redwood City, CA 94063

650 839 9539



Ivy covered trunk

Advanced Tree Care

P.O. Box 5326, Redwood City, CA 94063

650 839 9539



Root system and root flare lifting the parking area

Conservation Committee Comments

838 Portola Road

May 27, 2017

Committee members at site visit:

**Jane Bourne
Don Eckstrom
Judy Murphy**

Impermeable Surfaces

Proposed re-paving for parking area in front of the building has approximately the same surface area as did the existing paving.

Landscape Plan:

Current Site:

The biggest single conservation issue in this updating of the property for commercial use is the proposed removal of the large redwood tree currently growing at the front of the property facing Portola Road. While this tree is a dominant feature of the property when viewed from street level, it was topped many years ago to (unsuccessfully) avoid interaction with the overhead power lines. As a result, when viewed from a distance the tree is unattractive, and it may be subject to enhanced internal decay due to the long-term exposure of the topped trunk to moisture.

In addition, the tree roots have buckled the surrounding surfaces, creating roughness that would preclude use a large portion of the front yard for a driveway and parking. The arborist's report states that this combination of factors leads him to recommend removal of the tree, and we *somewhat reluctantly* agree with this recommendation. Both the removal process and the accompanying stump and root grinding must be done very carefully to avoid damage to the overhead power lines and to any underground utilities.

The rear portion of the property appears to have been unattended for a long period of time, and as a result there are some invasives that should be removed, including thistles and ivy. However, there are some native irises that should be preserved. There are also a few (currently) small non-native

trees growing along the creek bank on the east side of the property that should be removed while they are still small.

Proposed:

New landscaping proposed at this time is confined to the front part of the property, and is restricted to just 5 species that are low water demand California natives. An additional non-native species, *Arbutus x 'Marina'* (Marina Strawberry Tree) is also low water use. However it can grow to 40', which may bring it into conflict with the existing power lines overhead its proposed location. With this caution, we approve of the proposed plant choices.

Fencing

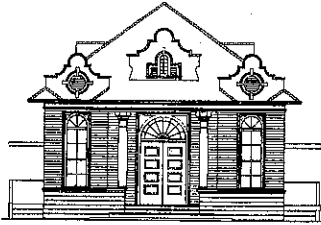
The fence running along the east side of the property (along the top of the immediately adjacent seasonal creek) is proposed to remain. The remainder of the property is unfenced.

NATIVE AREAS

As noted above, the rear portion of the property has been unattended for a long time, and the development plan does not show any planned action in this area. Again, we recommend removal of invasives. If any vegetation is added later, it should be restricted to selections from the Town Native Plant List that are appropriate to the existing habitat.

The Committee would like to accompany ASCC on their site visit to see if additional comments from us are warranted.

Submitted by Don Eckstrom



MEMORANDUM

TOWN OF PORTOLA VALLEY

TO: Cynthia Richardson, Consultant Planner
FROM: Howard Young, Public Works Director
DATE: 6/20/17
RE: Use Permit – 838 Portola Road

Public Works Use permit comments:

1. Any revisions to the Site Development plan permit set shall be resubmitted for review. The revised items must be highlighted on the plans and each item listed on letterhead.

In addition,

2. Verify if a flood plain elevation certificate is required or not
3. The driveway or portions of the parking lot within the Towns right of way should be repaired and repaved to the Towns satisfaction.
4. Provide adequate site visibility at driveway approach

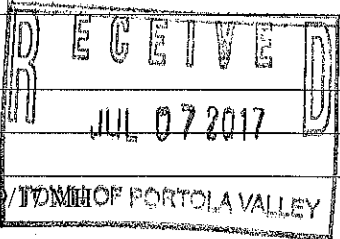
WOODSIDE FIRE PROTECTION DISTRICT

Prevention Division

4091 Jefferson Ave, Redwood City CA 94062 ~ www.woodsidefire.org ~ Fire Marshal Denise Enea 650-851-6206

ALL CONDITIONS MUST MEET WFPD SPECIFICATIONS – go to www.woodsidefire.org for more info

BDLG & SPRINKLER PLAN CHECK AND INSPECTIONS

PROJECT LOCATION: 838 Portola Rd	Jurisdiction: PV	
Owner/Architect/Project Manager: Bennicas- 650-851-4601	Permit#: PLN-use-7-2017	
PROJECT DESCRIPTION: Tenant Improvements		
Fees Paid: <input checked="" type="checkbox"/> \$YES <input checked="" type="checkbox"/> See Fee Comments Date: 6/19/17		
Fee Comments: CH#415.....\$90.00 (plan check fee) paid by: Bennicas & Ass. 6/19/17 CH#.....\$180.00(plan check fee) paid by: not yet paid		
BUILDING PLAN CHECK COMMENTS/CONDITIONS: 1. Address and/or suite number clearly posted and visible from street w/minimum of 4" numbers on contrasting background. 2. If a Fire Sprinkler System is already installed, then reconfigure as needed to comply with code. 3. Self Illuminating Exit Signs 4. Panic hardware if occupant load is over 50 5. Knox Box required if not already installed 6. Fire Extinguisher required. 7. Parking lot area- no comments.		
Reviewed by: M. Hird	Date: 6/19/17	
<input type="checkbox"/> Resubmit <input checked="" type="checkbox"/> Approved with Conditions <input type="checkbox"/> Approved without conditions		
Sprinkler Plans Approved: N/A	Date:	Fees Paid: <input type="checkbox"/> \$350 <input type="checkbox"/> See Fee Comments
As Builts Submitted: -----	Date:	As Builts Approved Date:
Fee Comments:		
Rough/Hydro Sprinkler Inspection By: -----	Date:	
Sprinkler Inspection Comments:		
Final Bldg and/or Sprinkler Insp By: -----	Date:	
Comments:		

DRAFT MINUTES

PLANNING COMMISSION REGULAR MEETING, TOWN OF PORTOLA VALLEY, SEPTEMBER 6, 2017, SCHOOLHOUSE, TOWN CENTER, 765 PORTOLA ROAD, PORTOLA VALLEY, CA 94028

Chair Gilbert called the Planning Commission regular meeting to order at 7:00 p.m. Planning Director Pedro called the roll.

Present: Commissioners Goulden and Hasko, Vice Chair Targ, and Chair Gilbert

Absent: Commissioner Von Feldt

Staff Present: Debbie Pedro, Planning Director
Cynthia Richardson, Planner
Arly Cassidy, Associate Planner

Council Liaison: Jeff Aalfs, Councilmember

ORAL COMMUNICATIONS

None.

Item #3 in New Business was moved ahead of Item #2 in Old Business on the Agenda.

NEW BUSINESS

3. Preliminary Review for a Conditional Use Permit, Variance, Architectural Review and Site Development Permit for Georgia Bennicas, 838 Portola Road, File #PLN USE 7-2017 and VAR 2-2017

Planner Richardson presented the preliminary plans for the project, as detailed in the staff report. She requested that the Commission provide comments, reactions, and direction to assist the applicant and project team make any plan adjustments or clarifications.

Chair Gilbert invited comments from the applicant. The owner, Ms. Bennicas, described her business as a small investment advisory business with two staff members. She said they meet with clients throughout the day, one at a time. Peter Carlino, from Lea & Braze Engineering, said he is there to discuss the overhang design and the Use Permit. He said the Use Permit is consistent with others in the surrounding area. He said they appreciate staff's time and diligence in researching historical records. He said he will appreciate any feedback and direction offered by the Commission regarding the front and rear roof extensions.

Chair Gilbert invited questions from the Commissioners.

In response to Vice Chair Targ's question, Ms. Bennicas said both of the staff members live in Belmont and often drive in together. Ms. Bennicas said she has one car. Vice Chair Targ asked if there was room for a fourth car to be parked at the business. Planner Richardson verified that there is one parking space in the carport, one tandem to the carport, a handicapped space, and one other space.

Chair Gilbert asked if there was room for any additional parking once the tree is removed. Mr. Carlino said they'd like to have another spot, but due to the landscaping requirements and paving in the front setback, it is not feasible.

Vice Chair Targ asked how the parking situation will be handled if Ms. Bennicas meets with two people at the same time. She said there is not space inside that building to meet with more than one client.

DRAFT MINUTES

She said it is not a usual occurrence but if there were more than one client, which only happens maybe once every 6 to 12 months, she would need to meet at the restaurant in Portola Valley. She said one reason she purchased the property was that it was single story and she has elderly clients. She said if the building needs to be redone, she will meet elsewhere, which she's been doing for quite a while anyway.

Chair Gilbert asked about the portion of the property that jogs off to the left outside of the leach fields. Ms. Bennicas said she wanted to use that space but it is not feasible because of the oak trees and the septic leach field. Chair Gilbert asked Ms. Bennicas if she had explored the idea of accessing the neighboring property to get to that spot. Ms. Bennicas said she will need an easement and that neighbor would not likely help her.

Commissioner Goulden asked if all three posts in the rear needed to be removed because of the leach field requirements. Staff confirmed that all three posts needed to be removed to address various issues, and the roof needs to be redesigned.

Vice Chair Targ asked about the rear patio overhang. Mr. Carlino said all three posts need to be removed, and they can have a smaller overhang that ties back to the building. Vice Chair Targ said he understands the restrictions regarding a structure that is built within the setback, but asked what the rationale was for disallowing a structure that is suspended over the creek setback. Planning Director Pedro said the overall purpose of the creek setbacks is to protect the scenic qualities and habitat values of the creek environment. She said while this house is already encroaching into the setback, the idea is to limit additional encroachment along creek corridors as they also serve as habitat and wildlife corridors.

Ms. Bennicas said it was never her intention to expand or extend the footprint of the building. She said the contractor is from out of the area and was not familiar with Town ordinances, and she apologized for the errors that were made. She said she is hoping to keep some of the roof because it is problematic for older clients to be exposed when in the rear yard. She asked if there was some way she could have some overhang that was not considered a structure. Chair Gilbert asked staff if there was anything that could be put there that would not conflict with the variance. Staff said nothing that would be considered a structure would be allowed. Ms. Bennicas asked if a trellis with plants, such as was there previously, would be allowed. Planning Director Pedro said the Town has no records of the trellis that Ms. Bennicas is referring to.

Commissioner Goulden asked about the applicant's request to replace the chain link fence next to the creek. Planner Richardson said it is in the right of way and is Town property. She said the purpose of the fence is to keep pedestrians from falling into the creek. Ms. Bennicas said she would like to replace it with something more attractive. Commissioner Goulden asked if a cross-rail fence could be installed there. Planner Richardson said she would need to consult with the Public Works Director.

In response to Commissioner Goulden's question, Planning Director Pedro said the current roof eave encroaches 2 feet into the setback, and any addition will require a variance. Ms. Bennicas said 2 feet is quite narrow to stand under to get out of the rain. She said she thinks it would look more balanced to have a larger overhang. Chair Gilbert said that variances are not easily granted and there are specific findings that the Planning Commission must make in granting variances.

With no further questions, Chair Gilbert invited public comment. Hearing none, Chair Gilbert brought the item back to the Commission for discussion.

In response to Chair Gilbert's question, Planner Richardson said the Planning Commission is the final body and will act on all three applications.

DRAFT MINUTES

The Commissioners were supportive of removing the redwood tree in front. Vice Chair Targ said given the size of that tree, it had potential to be a remarkable tree. Commissioner Hasko said she would defer to the recommendations by the arborist and the Conservation Committee about the condition of the tree and its potential.

Vice Chair Targ said that given the form of the ordinance, while he is sympathetic to the applicant's situation, he cannot make a finding of hardship to add a further a non-conforming element to the property. He said if the creek setback doesn't make sense, the applicant could request an amendment to the ordinance itself so no variance would be required. The applicant respectfully declined that suggestion.

Commissioner Goulden said he could not make the findings to grant a variance. He said it would not be consistent with what the Town has required of other applicants in terms of adhering to the existing code.

Commissioner Hasko concurred.

Chair Gilbert also agreed with her fellow commissioners.

Ms. Bennicas asked if there was any other type of covered structure that could be added on the property. She said she has been tied up in this project financially, and needs clarity and the ability to move forward. Planning Director Pedro said that ornamental garden structures may be allowed subject to the PVMC.

The Commissioners were supportive of the requested Conditional Use Permit.

In response to Ms. Bennicas' question, Planning Director Pedro explained that the Planning Commission is the final authority to approve variances, and based on the preliminary review comments this evening, there is consensus that a variance would be very difficult to grant in this case. Planning Director Pedro said the ASCC will review this project on Monday and Ms. Bennicas can explain what she wants to do in response to the Planning Commission's feedback. She said the ASCC should not spend time discussing design changes related to a variance if it is not likely to be granted. Mr. Carlino said they will consider the Planning Commission's feedback and modify the project accordingly. He said they would like to have the red tag removed so they can move forward with the project.

ARCHITECTURAL AND SITE CONTROL COMMISSION
Regular Evening Meeting, 765 Portola Road

SEPTEMBER 11, 2017

CALL TO ORDER AND ROLL CALL

Chair Ross called the regular meeting to order at 7:00 p.m. in the Town Center Historic School House Meeting Room, 765 Portola Road.

Planning Director Debbie Pedro called roll:

Present: ASCC: Commissioners Breen, Koch, and Wilson; and Vice Chair Sill, Chair Ross
 Absent: None
 Planning Commission Liaison: Nicholas Targ
 Town Council Liaison: None
 Town Staff: Planning Director Debbie Pedro and Planner Cynthia Richardson and Associate Planner Arly Cassidy

ORAL COMMUNICATIONS

None.

With the consent of the ASCC, the order of public hearing items were rearranged and item 4 was moved to the front of the public hearing items.

NEW BUSINESS

(4) Preliminary Review for a Conditional Use Permit, Variance, Architectural Review and Site Development Permit, 838 Portola Road, Owner: Georgia Bennicas, File#: PLN USE 7-2017 and VAR 2-2017

Planner Cynthia Richardson presented the proposed plans for the interior and exterior remodel of the building located at 838 Portola Road, as detailed in the staff report. Planner Richardson noted that the Planning Commission met last week for a preliminary review of this project, and provided the applicant with input on the variance application. She said the applicant has since decided to withdraw all variance requests for this project. Staff asked that the ASCC provide comments, reactions, and directions to assist the applicant and project team to make any plan adjustments or clarifications needed prior to final action on the application.

Chair Ross called for questions from the Commissioners.

Commissioner Koch asked if there was any street number sign or business signage proposed. Planner Richardson said there is no application for signage for the business, but the landscape plans show a mailbox labeled with the address numbers.

Commissioner Wilson asked if there would be additional fencing on the east side along the creek. Planner Richardson said there is an existing grape stake fence, and there is no plan for removal or replacement of that fence.

Vice Chair Sill asked if there was a plan to repair that fence, which is partially down. The applicant said that, per the Ordinance, the fence cannot be altered. Planner Richardson said if the applicant wanted to modify the fence, it would have to be pulled back to the 30-foot setback

line. She said the only other section of fence that was requested at the Planning Commission meeting was a small section of chain-link fence located at the culvert next to the street, in the Town's right-of-way. Public Works Director Howard Young indicated he would allow that chain link fence to be removed and replaced with an open rail and wire fence.

Chair Ross invited comments from the applicant. Project manager Peter Carlino thanked staff for working diligently with them on the project.

Chair Ross invited questions from the Commissioners.

Commissioner Breen asked for clarification on the proposed rear fence that extends approximately 50' from the west property line and then stops. Mr. Carlino said they would like an area in the back with privacy. He said they had discussed continuing with a split rail fence and then connect it with the existing fence by the creek, but they cannot put anything in the creek setback.

With no further questions from the Commission, Chair Ross invited public comment. Hearing none, he brought the item back to the Commission for discussion.

Commissioner Koch supported the placement of the light fixtures, the tree removal, and the materials. She would prefer to see the split rail fencing instead of a 6-foot solid fence.

Commissioner Wilson supported the tree removal and the lighting. She also had concerns about the 6-foot solid fence and would rather see a split rail. She wondered, considering the condition of the fence that goes along the creek, if something could be done with a split rail.

Commissioner Breen supported the project. She would like to see them recycle the redwood from the tree. The applicant said they would welcome names of people who could use the redwood. Commissioner Breen said the *Arbutus marina* should not be in the scenic corridor and suggested using a big leaf maple or a black oak instead.

Commissioner Breen said she would prefer they continue the fence run as much as possible with split rail. Property owner Ms. Bennicas said that now that she is giving up the overhang in the back yard, she is concerned with privacy for her clients. She said that space will be a meeting space, and she can't have it as a low, open, split-rail where it is open to the neighboring properties. She said she has nowhere else to sit, and it is important that she has the privacy. Commissioner Breen asked if that would change the landscape design in the back, if there would be a terrace, paths, or lighting. The applicant said she will not be out there at night. Planning Director Pedro said there is very limited area available to develop in the back due to septic leach fields that cover the entire backyard.

Vice Chair Sill was supportive of the project. He said it will be an improvement to the Portola Road Corridor. He was supportive of the design, the materials, the lighting, the landscaping, and removing the redwood.

Chair Ross said he was not concerned about the applicant wanting to have a fenced area in the back for privacy because of the intended use, the amount of construction that will be occurring next door, and because it is one of the few things that is permitted on this site. He was supportive of the materials board. He said he would recommend the three path lights in front not be on after business is closed. He said if the applicant wants a motion sensor light near the front door, it should be installed such that it would not be triggered by passing cars. He said the project will be a welcome contribution to the scenic corridor.

Transmittal for Landscape Drawings for the 838 Portola Road Project
CUP and Site Development Permits, PLN_USE 7-2017 and PLN_VAR 3-2017

The landscape drawings for the project (revision dated 26SEP2017, U P Resubmittal) have been revised as follows:

Building:

The building has been revised, deleting the columns on the north side.

Fencing:

Fencing has been extended along the west property line. A 6' high solid wood fence extends along the west and north property lines. The fence does not occur in the 30' creek setback. The 4' high horse style fence replaces the existing chain link fence in the R.O.W. Details of the fences are found on sheet L-501.

Proposed Tree:

The proposed Arbutus 'Marina' tree remains in the location between the building and Portola Road. This tree remains because of the overhead utility wires nearby and this tree grows to a height and scale that allows for minimal management and conflict with the utility wires.

The ASCC recommended replacing the Arbutus with a Big Leaf Maple, *Acer macrophyllum*. This tree will grow to a mature height of 50' to 65' and will require significant management to not conflict with the utility wires.

Please review and let us know any additional questions or concerns.

Thank you



Bob Cleaver

cleaverdesignassociates

landscape architects RLA 4145

cell 925 324 1117



TOWN OF PORTOLA VALLEY STAFF REPORT

TO: ASCC

FROM: Cynthia Richardson, Planner

DATE: October 9, 2017

RE: Final review of modifications to the Previously Approved Family Lounge Building. Windmill School and Family Education Center (File #32-2015 and X7D-177). File # PLN_ARCH 0038-2017, 900 Portola Road

RECOMMENDATION

Staff recommends that the ASCC review all aspects of the requested modifications to the Family Lounge building and modified paint color for the trim subject to the recommended conditions in Attachment 1 and any other conditions deemed necessary.

BACKGROUND

On September 14, 2016, the Town Council by a vote of 5-0 approved the Windmill School project (Attachment 2) with the following actions:

- A. **Mitigated Negative Declaration.** Approved the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Plan.
- B. **General Plan and Zoning Map Amendment.** Approved the proposed Ordinance amending the Town Center Area Plan Diagram of the General Plan and the Zoning Map to reclassify 900 Portola Road to Community Commercial.
- C. **Conditional Use Permit.** Approved the Conditional Use Permit to operate Windmill School and Family Education Center.
- D. **Variance.** Approved the construction of an 8 foot tall sound wall as shown on the approved plans dated July 6, 2016.
- E. **Site Development Permit.** Approved the Site Development Permit for the site improvements.

The Windmill School and Family Education Center Master Plan consists of 10,539 square feet of buildings. These buildings include the Family Lounge 1,208 sf, Office/Resources 1,280 sf, three classrooms 3,456 sf, kitchen 208 sf, Family Hall 2,184 sf, storage 410 sf and Toilets and

Janitor 480sf. In addition, a landscape plan for the site including the class room play yards was also approved with the project.

Construction is currently under way for the three classrooms, restrooms, administrative offices and the Family Hall. In September 2017, Windmill School representatives met with staff to discuss modifications to the Family Lounge building. The applicant has provided a letter outlining the reasons and need for these modifications (Attachment 3).

CODE REQUIREMENTS

Pursuant to Section 18.64.010.3 of the Municipal Code, applications for all building permits for structures on parcels fronting on arterial roads are subject to review by the ASCC. In addition the Conditional Use Permit adopted condition #3 which requires conformance to the Plans dated April 11, 2016. The proposal modifies these plans. In addition, the Design Guidelines were used to evaluate the proposed building modifications.

DISCUSSION

The original Family Lounge building contained an eight foot extension to the front of the structure with roof, window and exterior materials that would match the other new buildings. The original plan also included a windmill structure containing signage for the school. The school would like to eliminate the previously approved front addition to the building, repair the existing windows and doors by replacing the glazing, paint the cinder block exterior walls to match the approved colors, repair the roof "as is" and add a detached wood trellis to the front of the building. The windmill structure would be eliminated. Walkways and planting areas have also been slightly modified to fill in those areas once needed for the windmill structure and the larger family lounge. The school has also requested a change to the approved trim and door color to be more a tan color rather than the previously selected gray/green color (Attachment 4). Elevations and floor plan modifications can be found on sheet A-2.4.

It should be noted that the Family Lounge building has a B occupancy (occupant load less than 50 persons) and that only those uses allowed by the California Building Code shall be conducted in this structure. This space shall not be used as a classroom space. The Architect and applicant should provide further information regarding this occupancy type.

These modifications will result in a building that will be different than the architectural style of the other buildings on this site. The new front elevation will have wood trim installed under the windows to match the existing door pattern on the structure. This architectural feature does not appear in any other location on the site and should be discussed by the ASCC.

The project does not include any new or modified signage or any other modifications to the approved project.

Design Guidelines Review – Siting, Mass/Bulk, Scale, Exterior Materials

The revised aspects of the project were reviewed against the Town's Design Guidelines and were found to be substantially in conformance.

- 1. The size, siting and design of buildings, individually and collectively, tend to be subservient to the natural setting and serve to retain and enhance the rural qualities of the town. (Siting and Scale)**

2. **The proposed project will blend in with the natural environment in terms of materials, form and color. (Architectural Design)**
3. **The location, design and construction of the development project will minimize disturbances to the natural terrain and scenic vistas. (Grading)**
4. **The proposed project utilizes minimal lighting so that the presence of development at night is difficult to determine. (Lighting)**
5. **The proposed landscape plan will preserve the qualities of the natural environment through the use of native plant materials and provide a blended transition to adjacent open areas. (Landscaping)**

Landscaping

There are no substantial changes to the approved landscape plan. Some minor modifications have been made to the pathways and area where the windmill structure was to be located.

Lighting

Lighting locations can be found on sheet A-2.4 on the existing main floor plan detail. Most significantly 7 LED down lights have been added to the trellis structure where no lighting was originally approved. Three barn lights will be placed at the two side and one rear door locations. These light fixtures will match the barn light originally approved. No cut sheets for the LED trellis lights were provided. The ASCC should discuss whether proposed lights are appropriate and whether a reduction in light fixture is necessary,

Public Comments

No neighbor comments have been received by staff.

CONCLUSION

The ASCC should offer comments and any other conditions they require for approval of this project. Discussion at the public hearing should include the following items.

1. Consistency of materials for the Family Lounge with the remainder of the school
2. Trellis lighting
3. Clarification of colors to be used on the Family Lounge chimney and trellis
4. Light spillage from the Family Lounge
5. Site Development conditions (see attached conditions of approval)

ATTACHMENTS

1. Recommended Conditions of Approval
2. Approval letter dated September 29, 2016 including all conditions of approval
3. Letter from Windmill School dated October 3, 2017
4. Colors and materials
5. Architectural Plans dated 7-14-17

Report approved by: Debbie Pedro, Planning Director



Recommended Conditions of Approval
for Modifications to the Family Lounge Building and Color and Material Board
Windmill School and Family Education Center, 900 Portola Road
File: PLN_ARCH0038-2017

PLANNING DEPARTMENT:

1. The project is subject to the Town's original conditions as identified in the staff letter dated September 29, 2016.
2. No other modifications to the approved plans are allowed except as otherwise first reviewed and approved by the Planning Director or the ASCC, depending on the scope of the changes.
3. This Site Development Permit shall automatically expire two years from the date of issuance by the Planning Commission, if within such time period a Building Permit has not been obtained.
4. A detailed construction logistics plan with a schedule shall be submitted prior to building permit issuance. A construction staging and tree protection plan for the construction shall be submitted to the satisfaction of the Public Works Director prior to building permit issuance.
5. A final landscape plan shall be submitted for review and approval by two designated ASCC members, prior to issuance of the building permit.

The permit(s) granted by this approval may be appealed if done so in writing within 15 days of the date of approval. The building permit cannot be issued until the appeal period has lapsed. The applicant may submit construction plans to the Building Department provided the applicant has completed all conditions of approval required prior to acceptance of plans for building plan check.

The ASCC approval is valid for two years from the approval date. All required building permits must be obtained within this two year period.

TOWN of PORTOLA VALLEY

Town Hall: 765 Portola Road, Portola Valley, CA 94028 Tel: (650) 851-1700 Fax: (650) 851-4677



September 29, 2016

Mr. Carter War
CJW Architecture
30 Portola Road, Suite A
Portola Valley, CA 94028

Re: **Windmill School – Application for a Conditional Use Permit, Zoning Ordinance Amendment and General Plan Amendment for a Nursery School, 900 Portola Road File #32-2015, X7D-177.**

Dear Carter,

On September 14, 2016, the Portola Valley Town Council reviewed subject proposals and acted to approve the project applications. On September 28, 2016 the Portola Valley Town Council approved the second reading of the ordinance amending the Town Center Area Plan Diagram of the General Plan and the Zoning Map to reclassify 900 Portola Road.

After conducting the public hearing and considering the staff reports and other information developed through the hearing process, including the mitigated negative declaration, the Town Council took the following actions, each approved 5-0.

- A. **Mitigated Negative Declaration.** Approved the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Plan circulated from June 29, 2016 to July 20, 2016. Subject to the attached Mitigation Measures.
- B. **General Plan and Zoning Map Amendment.** Approved the proposed Ordinance amending the Town Center Area Plan Diagram of the General Plan and the Zoning Map to reclassify 900 Portola Road to Community Commercial.
- C. **Conditional Use Permit.** Approved the Conditional Use Permit to operate Windmill School and Family Education Center subject to the attached conditions of approval and Exhibit A (table) Windmill Family Education Center Summary of Activities (table)
- D. **Variance.** Approved the construction of an 8 foot tall sound wall as shown on the approved plans dated July 6, 2016.
- E. **Site Development Permit.** Approved the Site Development Permit for the site improvements subject to the attached conditions.

Windmill School and Family Education Center
September 29, 2016
Page 2

Sincerely,



Cynthia Richardson
Consulting Planner

Attachments:

1. Mitigation Measures
2. Conditional Use Permit conditions of approval
3. Exhibit A of Windmill Family Education Center Summary of Activities (table)
4. Site Development conditions of approval

Conditional Use Permit File #32-2015, X7D-177
Windmill School and Family Education Center
900 Portola Road
Mitigated Negative Declaration
Adopted Mitigation Measures

MM – Biologic Resources – 1) To the extent feasible, construction activities should be scheduled to avoid the nesting season. If construction activities are scheduled to take place outside the nesting season, all impacts to nesting birds protected under the MBTA and California Fish and Game Code will be avoided. The nesting season for most birds in San Mateo County extends from February 1 through August 31.

MM – Biologic Resources – 2) If it is not possible to schedule construction activities between September 1 and January 31, then pre-construction surveys for nesting birds shall be conducted by a qualified ornithologist to ensure that no nests will be disturbed during Project implementation. The surveys shall be conducted no more than seven days prior to the initiation of construction activities. During this survey, the ornithologist will inspect all trees and other potential nesting habitats (e.g., trees, shrubs, ruderal grasslands, buildings) in and immediately adjacent to the impact areas for nests. If an active nest is found sufficiently close to work areas to be disturbed by these activities, the ornithologist will determine the extent of a construction-free buffer zone to be established around the nest (typically 300 ft for raptors and 100 ft for other species), to ensure that no nests of species protected by the MBTA and California Fish and Game Code will be disturbed during Project implementation.

MM – Biologic Resources – 3) If construction activities will not be initiated until after the start of the nesting season, all potential nesting substrates (e.g., bushes, trees, grasses, and other vegetation) that are scheduled to be removed by the Project be removed prior to the start of the nesting season (e.g., prior to February 1). This will preclude the initiation of nests in this vegetation, and prevent the potential delay of the Project due to the presence of active nests in these substrates.

MM – Cultural Resources – 1) The applicant shall ensure the construction specifications include a stop work order if human remains are discovered during construction activities. There shall be no further excavation or disturbance of the site within a 50 foot radius of the location of such discovery, or any nearby area reasonably suspected to overlie adjacent remains. The San Mateo County Coroner shall be notified and will make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, s/he shall notify the Native American Heritage Commission, which will attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this state law, then the landowner shall reinter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.

MM - Geology and Soils - 1) Beneath all hardscape and structures, only non-expansive import or non- expansive site earth materials shall be utilized for the construction of engineered fill. Site expansive earth materials are not approved for placement beneath pavement areas or site structures.

MM - Hydrology - 1) The applicant shall submit to the Building Department, a grading and drainage plan designed by a civil engineer. This plan shall be submitted to the Building Department with the building permit.

MM – Noise – 1) An 8 foot tall approximately 105 foot long acoustic sound wall shall be constructed along the northern end of the property as depicted on the approved site plan.

MM – Noise – 2) In order to keep noise levels less than 50 dBA. Highly active play areas shall be kept at a distance of at least 25 feet from the nearest residential property line to the north.

MM – Noise – 3) For events after 7:00 pm within the buildings, the rear (eastern) doors and north- facing windows of the Family Hall shall be kept closed after 7:00 pm. For special program/events after 7:00 pm, noise shall be controlled so not to exceed 50 dBA beyond the property lines adjacent to residential neighborhood.

MM – Noise – 4) The quiet zone garden area within 25 feet of the sound wall shall be reserved for teacher supervised listening and observing activities while using low voices. The quiet zone garden area shall not be used between the hours of 7:00 pm and 8:00 am.

Conditional Use Permit File #32-2015, X7D-177
Windmill School and Family Education Center
900 Portola Road
Adopted Conditions of Approval

1. **Property and Nature of the Use.** This Conditional Use Permit shall apply to the property owned by Windmill School, Inc. and operating as the Windmill School and Family Education Center (Windmill School) with a total land area of 1.67 acres, commonly known as 900 Portola Road, Assessor's Parcels: 076-261-010 (Property). The Windmill School is deemed the primary use of the Property and is a private non-profit 501(c)(3) school serving preschool and K-8 students in the community.
2. **Conditional Use Permit Review.** No later than one (1) year after the date of occupancy, Windmill School shall request and the Planning Commission shall then review the Conditional Use Permit at a noticed public hearing to determine that the use remains in compliance with the conditions of approval and to determine if any additional conditions are necessary to ensure harmony between the use and the community. This review will also provide for any requested amendments. No later than one (1) year after the date of occupancy, Windmill School shall request and the Planning Commission shall then review the Conditional Use Permit at a noticed public hearing to determine that the use remains in compliance with the conditions of approval and to determine if any additional conditions are necessary to ensure harmony between the use and the community. This review will also provide for any requested amendments.

Notwithstanding the foregoing, the Planning Commission's review pursuant to Condition No. 2 shall not result in any reduction in the following fundamental operating conditions of the school: allowed uses (set forth in Condition Nos. 5 and 26) with respect to pre-school activities and after school enrichment activities only, maximum student enrollment (set forth in Condition No. 6), maximum staff (set forth in Condition No. 7), maximum number of persons (set forth in Condition No. 8), or hours of operation (set forth in Condition No. 9) with respect to pre-school activities, after school enrichment activities only as set forth in Exhibit A. Any subsequent review of the Conditional Use Permit following the Planning Commission hearing pursuant to this Condition No. 2 shall be governed by Condition No. 4 and Condition No. 29.

3. **Conformance to Plans and Use.** The development of the Property shall conform to the approved Conditional Use Permit plans entitled Windmill School dated July 6, 2016 and to the Summary of Proposed Activities and Facilities Use for Windmill Family Education Center (table) dated April 11, 2016 and updated July 5, 2016 (Exhibit A).
4. **Annual Report.** Windmill School shall report annually to the Planning Commission on the status of compliance with the terms of this permit. Specifically, by the end of June of each year, Windmill shall provide an annual status report to the Planning Commission as to compliance with the use permit conditions. Specifically, the report shall, include, but not be limited to:

- a. Address enrollment limits including preschool program, after school enrichment program and staffing. The report shall indicate the percentage of students who reside in the Town of Portola Valley or sphere of influence. Further, the report shall provide projections for enrollment and staffing for the next school year.
 - b. Review of the activities for the year so they can be judged against all conditions of approval.
5. **Allowed Uses.** This Conditional Use Permit allows the construction of 10,593 square feet, contained within six (6) buildings for a pre-school and family education center, with a 41 stall parking lot. The buildings would all be one-story. A 34,385 square foot play area is included on the north side of the buildings. The pre-school would include three (3) classrooms for students between the ages of two (2) years to five (5) years old. An afterschool program would be open to children through 8th grade. During the course of its 60 years of operations in Portola Valley, the School's students have come primarily from Portola Valley, its sphere of influence, and the portions of Woodside that are within the Portola Valley School District. The School shall implement reasonable measures to continue to serve preschool students from this local community.
6. **Maximum Student Enrollment.** Maximum enrollment shall be 132 preschool students. After school enrichment programs for K-8 students, maximum enrollment shall be 300 with no more than 45 students on campus at any given time.
7. **Maximum Staff.** The maximum number of staff on campus at any given time, including but not limited to teachers and administrators, shall be 12 people. Windmill School does not have regular teaching aids or volunteers working in the classrooms. There may be volunteers helping to maintain the property from time to time after 3:00 pm.
8. **Maximum Number of Persons.** The maximum number of persons (i.e., 66-students, 12-staff and 24-parent/adults) on site at any one time shall not exceed 120 persons, except as provided for under events condition #11c. The maximum number of pre-school students on campus at any one time shall not exceed 66 students. The maximum number of enrichment students on campus at any one time shall not exceed 45 students.
9. **Hours of Operation.** Hours of operation are as specifically described in the attached Summary of Proposed Activities (Exhibit A) and Facilities Use for Windmill family Education Center dated April 11, 2016 and amended July 5, 2016 and follows:
 - a. Monday to Friday 7:00 am to 7:15 pm
 - b. Monday to Friday 7:15 pm to 10:00 pm (Indoor gatherings and outdoor use of areas west of the classrooms and family hall only.)
 - c. Saturday 8:00 am to 10:00 pm

- d. Thursday to Saturday, 8:00 am to 10:00 pm five (5) times per year, excluding when school is in session (3 of which could be used by non-Windmill groups) special program/events for up to 200 people.
 - e. Sunday 9:00 am to 7:00 pm (shall not include use of play yard space).
10. **Start Times.** Classes start and end times shall be staggered by approximately 15 minutes, so that only one class of students (consisting of a maximum of 24 students) will be arriving or departing at one time. There shall no more than three classes operating simultaneously.
11. **Events.** Windmill School shall ensure that all events held at the Property shall be in furtherance of the family and educational purposes of the school to support school age children and their families. The number of events, the number of persons and occurrences per calendar year shall be limited as follows:
- a. Under 50 persons – Unlimited
 - b. 51 to 75 persons – Twelve (12) times a year
 - c. 76 to 200 persons – Five (5) times a year, special program/events, shall occur only between Thursdays through Saturdays and end no later than 10:00 pm.
12. **On-site Parking.** There shall be 39 regular parking spaces and 2 handicapped spaces provided at all times. No parking shall be allowed within the turn-around provided at the north end of the parking lot. Windmill shall arrange all classes and events so that participants are able to park within the onsite parking spaces; provided however, this shall not apply to events for which the school has made off-site arrangements. In advance of the school year or other class commencement, Windmill will provide preschool parents, enrichment class parents and family education center participants with information about proper parking and traffic procedures.
13. **Handicap parking.** Handicap parking on the project site shall be provided pursuant to the standards set forth in the uniform building code to the satisfaction of the building official.
14. **Overflow Parking.** Windmill School shall organize and schedule its large events (as defined in 11.c. above) at times that do not conflict with such large events at Town Hall or the surrounding churches. Windmill School shall coordinate with Town Hall and surrounding churches for shared use of the parking lots during special events, if necessary, so as to help coordinate parking on existing parking spaces rather than on Portola Road. At least 30 days prior to any large events, Windmill School shall provide proof of a adequate parking arrangement to the Planning Department.
15. **Drop-off and Pick-up.** Curbside drop-offs and pick-ups are not allowed.
16. **Noise Control 7:00 am to 7:15 pm.** Noise levels shall not exceed 50 dBA. Highly active play areas shall be kept at a distance of at least 25 feet from the nearest residential property line to the north.

17. **Noise Control After 7:15 pm.** The rear (eastern) doors and north-facing windows of the Family Hall shall be kept closed after 7:00 pm. For special program/events noise shall be controlled so not to exceed 50 dBA beyond the property lines adjacent to residential neighborhood.
18. **Quiet Zone Garden Use** - The quiet zone garden area within 25 feet of the sound wall shall be reserved for teacher supervised listening and observing activities while using low voices. The quiet zone garden area shall not be used between the hours of 7:00 pm and 8:00 am.
19. **Outdoor Sound Amplification.** No outdoor sound amplification shall be allowed on the site, except as allowed under special program events, Condition #9 and subject to Condition #17.
20. **Maximum Coverage Limits.** The maximum and minimum coverage limitations are as follows and the proposed square footage must be within these limitations:

Site	Maximum Sq. Ft.	Proposed Sq. Ft.
Floor Area Ratio (0.18%)	13,101	10,593
Max Coverage Limit (20%) (floor area plus covered porches)	14,557	13,800
Site	Minimum Sq. Ft.	Proposed Sq. Ft.
Landscape Coverage (30%)	21,835	34,385
Landscape Front Setback (25%)	3,183	3,210
Impervious Surface Limit	None	20,000*

*Maximum impervious surface limits will be established by the hydrologic calculations contained in a hydrology study that will be prepared for the site drainage.

21. **Refuse.** All trash areas shall be effectively screened from view, covered, and maintained in an orderly state and trash shall be picked up regularly. Trash bins shall located away from neighboring residences.
22. **Sign Approval.** This permit approves one wall-mounted sign located on the front façade of the windmill structure and one wall-mounted sign located on the front of the office building as shown on the approved plans not to exceed 24 square feet maximum for two signs.
23. **Street Number Visibility.** Street numbers of the building shall be easily visible from the street at all times, day and night.
24. **Landscaping.** Planting and irrigation shall be provided, as indicated, on the Approved Plan Set. Landscaped areas shall be maintained.
25. **Lighting.** Lighting shall be the minimal amount for safety only and lighting controls shall be in place to ensure all lights are off when the site is not in use.
26. **Windmill Farm.** This Conditional Use Permit allows for the construction and maintenance of a farm for small animals in the rear (eastern) end of the property; the School may have small animals including up to 12 chickens (no roosters), up to 12 bunnies and up to 2 goats.

The School may have up to 600 square feet of structures in the Farm area, such as a storage shed for supplies. Such structures and animals shall be located outside the required setbacks. It is understood that the Farm will likely be developed after the School's initial opening.

27. **Compliance With Local and State Laws.** The use shall be conducted in full compliance with all local and state laws. The permit shall be subject to revocation if the use is not conducted in compliance with these conditions and all applicable laws.
28. **Compliance with Mitigation Measures.** Approval of this Conditional Use Permit is conditioned on compliance with all of the mitigation measures referenced in the adopted mitigated negative declaration.
29. **Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the Town Council on appeal, at any time, whenever, after a noticed hearing in accordance the Town of Portola Valley Municipal Code and when the Planning Commission finds:
 - a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
 - b. A violation of any Town ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation.
30. **Covenants Run with the Land.** All of the conditions contained in this Conditional Use Permit shall run with the land and shall be binding upon, and shall inure to the benefit of Windmill School and its heirs, successors, assigns, devisees, administrators, representatives and lessees.
31. **Defend, Indemnify and Hold Harmless.** The Windmill School shall defend, indemnify and hold harmless the Town, and its elective and appointive boards, commissions, agents, officers and employees from any and all claims, causes of action or proceedings arising out of or in connection with, or caused on account of, the development and occupancy of Windmill School and the approval of this Conditional Use Permit or any related approvals.
32. **Traffic Flow.** Vehicle turns entering or exiting the Windmill School site shall not significantly impede the flow of traffic on Portola Road or otherwise create any unsafe driveway condition.

Exhibit A
Windmill Family Education Center, Summary of Proposed Activities
PRESCHOOL

- Maximum of 66 students at any one time
- In total, 6 different preschool classes with up to 132 students enrolled across all programs
- Maximum # of teachers on campus at any one time: 12
- Maximum # of people on site at one time: 120
- Extended day includes “Lunch Bunch” and preschool afternoon enrichment classes from noon to 5:30 pm (small group of preschool students after 3:00 pm)
- Windmill Farm including up to 12 chickens, 12 bunnies and 2 goats.

	# of people on site	Occurrence	Time
Preschool and Preschool Enrichment Classes (includes late afternoon weekday class potlucks in fall)			
Preschool classes (Total enrollment 132)	120	Mon-Fri, (Sat up to 6X/year)	7:00 am – 7:15 pm (with children present from 8:30am to 6:30pm) (Sat 8:00 am to 12:00 pm up to 6X/year)

Events and Meetings Related to Preschool Operations (Under 51 persons)			
	# of people	Occurrence	Time
Weekday Daytime			
Parent Teacher conference	2 families at a time	2X/year	7:00 am - 5:30 pm
All staff meetings	12	24X/year	7:00am – 7:15 pm
Families visiting in the Lounge/Hall/Grove	Up to 4 families before noon; up to 8 in afternoon	Unlimited	7:00am – 7:15 pm
Weekday Evenings			
Board of Director Meetings	15	12X /year	Weekday evening
Back to School Nights	20-30	4X/year In September	7:00 pm - 8:00 pm
Preschool evening events	<51	4X/year	7:00 pm - 10:00 pm
Kindergarten Readiness Talks	20	2X/year Fall/Spring	7:00 pm - 8:00 pm
Spring Parent Nights	30	6X/year	7:00 pm - 9:00 pm
Weekend Daytime			
Fix It Days	15-40	4X/year	Sat mornings 2-3 hours
Harvest the Garden Day	40	2X/year	Sat/Sun mornings 2-3 hours
New Family Gatherings	<51	Up to 4X/year	Sat 8:00 am – 7:00 pm
Families visiting in the Lounge/Hall/Grove	30	Unlimited	Sat 8:00 am - 7:00 pm Sun 9:00 am - 7:00 pm
Weekend Evening			
0	0	0	0

Events and Meetings Related to Preschool Operations (51-75 persons) Maximum of 12 events per year*			
	# of people	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday/Weekend Evenings			
Parenting Education Classes	51-75	Up to 4X/year	7:00 am – 10:00 pm
Weekend Daytime			
0	0	0	0

Events and Meetings Related to Preschool Operations (76-200 persons) *Maximum of 5 events per year, 3 of which could be used by non-Windmill groups if not needed by Windmill			
	# of people	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday/Weekend Evenings			
Parent Fundraising Event	Up to 200	1X/year	7:00 pm -10:00 pm
Other Windmill Events	Up to 200	Up to 3X/year*	7:00 pm -10:00 pm
Weekend Daytime			
School Picnic	200	1X/year	Fall or Spring

Windmill Family Education Center, Summary of Proposed Activities

AFTERSCHOOL ENRICHMENT K-8

- Maximum of 66 students at any one time (including preschool students)
- Maximum # of people on site at one time: 120
- Enrichment classes for K-8 in the afternoons, e.g. children's yoga, cooking, book club, gardening, science, enrichment reading

	# of enrichment students on site	Occurrence	Time
K-8 Enrichment Classes (total enrollment 300)	45	Mon -Fri	3:00 pm – 7:15 pm (with children present until 6:30pm)

Events and Meetings Related to K-8 Afterschool Enrichment (Under 50 persons)			
	# of people	Occurrence	Time
Weekday Daytime			
Families visiting in the Lounge/Hall/Grove	Up to 8 families at a time	Unlimited	3:00 pm – 7:15 pm.
Weekday Evenings			
0	0	0	0
Weekend Daytime			
Families visiting in the Lounge/Hall/Grove	30 max at a time	Unlimited	Sat 8:00 am - 7:00 pm Sun 9:00 am - 7:00 pm
Weekend Evening			
0	0	0	0

Events and Meetings Related to K-8 Afterschool Enrichment (51-75 persons) Maximum of 12 events per year*			
	# of people on site	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday Evenings			
0	0	0	0
Weekend Daytime			
0	0	0	0
Weekend Evenings			
0	0	0	0

Events and Meetings Related to K-8 Afterschool Enrichment (76-200 persons) *Maximum of 5 events per year, 3 of which could be used by non-Windmill groups			
	# of people on site	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday Evenings			
0	0	0	0
Weekend Daytime			
0	0	0	0
Weekend Evenings			
0	0	0	0

Windmill Family Education Center, Summary of Proposed Activities

WINDMILL SPONSORED FAMILY EDUCATION CENTER EVENTS

- Use of Family Hall and Lounge for Windmill sponsored meeting space and/or events should be related to children and family education and serve primarily community members of Portola Valley and its spheres of influence and Woodside
- Outdoor classroom play yard space will not be made available on Sundays.

Events (Under 50 persons)			
	# of people on site	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday Evening/Weekend Daytime and Evening			
Windmill Sponsored General Parenting Classes	<51	Up to 12X/year	Weekday evenings 7:to 10pm Sat 8:00 am – 10:00 pm Sun 9:00am – 7:00 pm
Weekend Daytime			
Windmill Sponsored Family Education Classes, e.g., yoga, art, cooking	30 max at a time	Up to 312X/year (up to 6X per weekend)	Sat 8:00 am - 7:00 pm Sun 9:00 am - 7:00 pm
Families visiting in the Lounge/Hall/Grove	30 max at a time	Unlimited	Sat 8:00 am – 10:00 pm Sun 9:00am – 7:00 pm
Weekend Evening (see above)			

Events (51-75 persons) Maximum of 12 events per year			
	# of people on site	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday/Weekend Evenings, Weekend Daytime			
Windmill Sponsored Education Speaker/Event	51-75	Up to 4X/year (see maximum)	Mon to Fri 6:00 pm - 10:00 pm Sat 8:00 am - 10:00 pm Sun 9:00 am - 7:00 pm
Windmill Sponsored Young local artists performance/Art exhibit	51-75	Up to 4X/year (see maximum)	Mon to Fri 6:00 pm - 9:00 pm Sat 8:00 am - 10:00 pm Sun 9:00 am - 7:00 pm

Events (76-200 persons) *Maximum of 5 events per year, 3 of which could be used by non-Windmill groups			
	# of people on site	Occurrence	Time
0	0	0	0

Windmill Family Education Center, Summary of Proposed Activities

COMMUNITY USE OF FAMILY EDUCATION CENTER

- Use of facilities for meeting space and/or for community events by other local community groups should be related to children and family education and come primarily from Portola Valley and its spheres of influence and Woodside; Windmill will collaborate with such groups and secure documentation to cover such use. Excludes community use for life events such as weddings, birthday parties, memorial services, etc.
- Outdoor classroom play yard space will not be made available for local community groups.

Events (Under 50 persons)			
	# of people on site	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday/Weekend Evenings			
Weekend Daytime			
Use of facilities by local community groups, e.g., Scouts, 4H, Robotics, Bay Area Lyme Foundation, Garden Clubs, Book Clubs.	<51	Up to 104X/year (~2x per week)	Sat 8:00 am - 10:00 pm Sun 9:00 am - 7:00 pm (could also be on a weekday evening)
Weekend Evening (see above)			

Events (51-75 persons) Maximum of 12 events per year			
	# of people on site	Occurrence	Time
Weekday Daytime			
0	0	0	0
Weekday Evenings			
Weekend Daytime			
0	0	0	0
Weekend Evenings			
0	0	0	0

Events (76-200 persons) *Maximum of 5 events per year, 3 of which could be used by non-Windmill groups			
	# of people on site	Occurrence	Time
Weekday Daytime			
Community event (excluding when school is in session)	Up to 200	See maximum *	Thu-Sat, 8:00 am-10:00 pm
Weekday Evenings			
Community event	Up to 200	See maximum *	Thu-Sat, 8:00 am-10:00 pm
Weekend Daytime			
Community event	Up to 200	See maximum *	Thu-Sat, 8:00 am-10:00 pm Sun , 9:00 am-7:00 pm
Weekend Evenings			
Community event	Up to 200	See maximum *	Thu-Sat, 8:00 am-10:00 pm Sun , 9:00 am-7:00 pm

Conditional Use Permit File #32-2015, X7D-177
Windmill School and Family Education Center
900 Portola Road
Adopted Site Development Conditions of Approval

1. This Site Development Permit shall automatically expire two years from the date of issuance by the City Council, if within such time period, a Building Permit has not been obtained or the use has not commenced.
2. On-site lighting is approved as shown on the approved plans. Any additional on-site exterior lighting shall be subject to review and approval by the ASCC. All new on-site, exterior lighting shall conform to the Town's Outdoor Lighting Policy.
3. All building colors and materials are to be those specified on the Site Development Approved Plan Set and color board.
4. Windmill School shall install and maintain a four foot wide asphalt trail along the entire frontage of the property with landscaping separating the road and pathway subject to approval by the Public Works Director. The trail and landscaping shall be installed prior to final inspection.
5. The turn-around spaces at the north end of the parking lot shall be striped as turn-around only, no parking.
6. In keeping with the rural character of the Town, any traffic control improvements proposed in the Town's right of way will be limited to those that are mandatory and subject to approval by the Town, its Traffic Committee and ASCC.
7. All utilities shall be underground.
8. The project shall be connected to the sanitary sewer system and shall be annexed into the West Bay Sanitary Sewer District prior to building permit final inspection. Any existing septic system shall be abandon in accordance with the San Mateo County Environmental Health Department regulations.
9. The Site Development Plan shall be revised to move the proposed driveway gates that cross the main entry driveway to be setback a minimum of 20 feet from the traveled way of Portola Road. Further, the gates shall be for security purposes only and shall be of a minimal design consistent with that purpose.
10. All non-native plants must be removed from the site prior to final inspection.
11. A final, comprehensive landscape plan for the entire site shall be submitted for review and approval by two designated members of the ASCC prior to issuance of the building permit.
12. The design of the individual play yards shall be reviewed and approved by the ASCC if impervious hardscape materials are to be used in the design.
13. An 8 foot tall sound wall shall be constructed adjacent to 303 Wyndham Drive to mitigate sound for the adjacent residential neighbors. The quiet zone garden shall be the area that is within 25 feet from the property line of 303 Wyndham Drive. The sound wall shall be constructed prior construction of any buildings.

14. Buildings shall be designed to minimize sound and light intrusion toward neighbors.
15. The applicant shall comply with the conditions set forth in the letter from the Town Geologist dated June 28, 2016. Specifically, beneath all hardscape and structures, only non-expansive import or non-expansive site earth materials may be utilized for the construction of engineered fill. Site expansive earth materials are not approved for placement beneath pavement areas or site structures.
16. The applicant shall comply with the conditions set forth in the letter from the Fire Marshal dated April 21, 2016.
17. The applicant shall comply with the conditions set forth in the memo from the Public Works Director dated March 29, 2016.
18. A detailed construction staging and tree protection plan shall be submitted to the satisfaction of planning staff prior to building permit issuance.
19. A hydrology study shall be prepared by a registered civil engineer prior to submission for building permit. An onsite detention system shall be designed based on the total impervious surface and roofed areas. The grading and drainage plan shall show how to reduce the increased peak runoff of the project site. The drainage system shall be in place prior to final building permit inspection.
20. Stormwater C.3. requirements shall be met to comply with the requirements in the San Francisco Bay Region Municipal Regional Stormwater Permit (MRP) and as described on the San Mateo County website.



Windmill School
and
Family Education Center

October 3, 2017

Dear Town of Portola Valley, Members of the ASCC:

As you know, Windmill School is thrilled – after 60 years! - to have a permanent home under construction at 900 Portola Road. The project continues at a rapid pace and with extraordinary support. We are so grateful for the help of countless members of our community who have made this project possible. We have worked hard with our contractor to have the campus ready in late January for our students to move from our rented site at Alpine Hills, where our lease will end on January 31st, 2018.

We are writing this letter, and coming before the ASCC on October 9th, in order to request a modification to our plans for the “family lounge” structure, which we also refer to as the “storefront” since that is what the structure served as when the property was operated as “Al’s Nursery.” After discussing this structure and its intended use with current donors, and after careful review of our current capital campaign budget, we are requesting that instead of doing repairs and rehabilitation to the storefront building *and* putting on an addition to the front portion of the storefront (facing the Portola Road) plus a separate windmill structure, that we instead *only* perform the repairs and rehabilitation to the existing storefront structure (i.e., no additions to the storefront, no windmill structure). We believe that the storefront, having been a familiar place in the community for decades, will serve as a charming, comfortable place for families with the repair and rehabilitation work we are outlining here. It is also a wonderful way to transition a “nursery for plants” into a “nursery for children,” something the owners of Al’s Nursery, Karin and John Wu, were very excited about.

We have provided more detailed plans in our recent submittal to the ASCC; the key repairs we believe are necessary at this time are:

- sheetrock the interior and paint
- exterior paint (with same color scheme as already approved for rest of site by ASCC)
- repair broken pieces of wood and/or brick on exterior where needed (otherwise, exterior would remain the same)
- repair roof
- replace the trellis that existed and was damaged

In addition, we propose to adjust the pathways to accommodate the omission of the previously proposed windmill structure.

Windmill is truly thrilled to be able to continue providing families with rich, play-based preschool education and cultivating the deep social connections that support our greater community. Our construction is progressing very well with the other structures on site. We ask that you consider this proposal in an expeditious manner given our need to provide families in this community a preschool site in late January and our ability to mobilize current construction crews for the storefront repairs.

We sincerely appreciate your time and consideration of this modification request.

Sincerely yours,

Monika Cheney, Co-Chair
mgc@gruterinstitute.org

Karen Tate, Co-Chair
karentate@sbcglobal.net

on behalf of
Windmill School, Inc.
4141 Alpine Rd

Revised Material Board
Windmill School

ROOF



TRIM & DOORS



SIDING

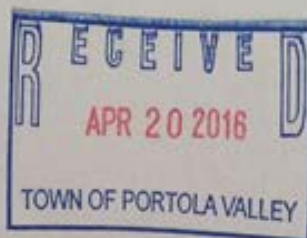
Revised Trim Color

WINDOWS & DOOR



WINDMILL SCHOOL

900 PORTOLA ROAD
PORTOLA VALLEY, CALIFORNIA
CJW #2009-0500



CJW ARCHITECTURE

130 Portola Road, Suite A
Portola Valley, CA 94028
(650)851-9335 / Fax (650)851-9337



TOWN OF PORTOLA VALLEY STAFF REPORT

TO: ASCC

FROM: Cynthia Richardson, Planner

DATE: October 9, 2017

RE: Preliminary Architectural Review and Site Development Permit for a New Residence, File # 35-2017, 40 Firethorn Way, YLCL Investments, Residence.

RECOMMENDATION

Staff recommends that the ASCC offer comments, reactions and directions to assist the applicant and project architect make any plan adjustments or clarifications that members conclude are needed before the commission considers final action on the application.

PROJECT DATA

Lot Size	6.86 acres (Proposed Lot A)		
Average Slope	35%		
RE/3.5A/SD-2/DR	Code Requirements	Proposed	Remaining
Max Floor Area	8,530	8,425 (2,531)*	105
85% of MFA	7,215	7,251 (2,531)*	0
Max Impervious Surface	16,813	16,043	770
Height	28'/34'	23'/32'	--
Front Setback	50'	421	--
Side Setbacks	25'	55	-
Rear Setback	25'	60	--
Parking Spaces	2 covered 2 uncovered	4 covered 5 uncovered	--

*() – basement square footage

BACKGROUND

The site currently contains an existing 6,181 square foot two-story home with two attached garages constructed in 1979, a greenhouse, and a swimming pool. All the existing structures will be removed with this application. On May 23, 2016 the ASCC approved an addition to the existing residence that proposed a floor area of 7,249 square feet concentrated in the main structure, which is approximately 85% of the allowed floor area for Parcel A. The proposed impervious surface was approved to be 14,027 square feet and below the 16,813 square foot limit. This project was never completed and the property was sold to the current owner.

The site is gently to moderately sloped, with the house and improvements located in the western portion of the property. Surrounding uses include single family homes to the north, south, and east, and Midpeninsula Regional Open Space District land to the west (Vicinity Map, Attachment 1).

In addition to this ASCC application, the applicant has submitted a two-lot subdivision application that is under review. The two lots proposed by the subdivision are shown on Sheet DR-10, and the lot containing the proposed new residence is designated as Parcel A. All area calculations are based on the proposed new lot.

The applicant is proposing to demolish the existing residence and construct a new 7,251 square foot two story residence with a basement. The residence contains a 2,531 square foot basement, a 4,029 square foot main floor and a 2,786 square foot second story. Also included in the project is a detached structure which includes an Accessory Dwelling Unit (ADU) containing 629 square feet and a four car garage that is 981 square feet. The structure is considered detached even though there is a bridge connecting the second floor of the main residence to a roof deck on the accessory structure.

There are existing driveway entry gates and columns/walls located in the Firethorn Way right of way. These structures were permitted by the Town Council in 1977 and are legal non-conforming. The existing gates are proposed to be removed and new gates installed farther up the driveway. The proposed new double swing horizontal wood gate details can be found on sheet L1.0. The project includes minor work to the existing driveway including turnouts for the Fire Department.

The proposal is further described in the set of architectural, landscape and civil plans received 9/25/17 (Attachment 12).

CODE REQUIREMENTS

As required by Portola Valley Municipal Code (PVMC) 18.64.010.A.1 and 15.12.100.C of the Municipal Code, this application has been forwarded to the ASCC for review. In addition the ASCC is required to make findings for the expanded light well per Portola Valley Municipal Code Section 18.04.065.C.

DISCUSSION

The new home is a two story, contemporary style with a detached structure that contains a four car garage and ADU. An expanded lightwell is located on the basement level and can be seen on sheet DR1.03. Portola Valley Municipal Code Section 18.04.065.C allows the ASCC to approve the expansion when it finds the lightwell will not be visible from adjoining or nearby

properties. The ASCC should discuss this aspect of the project and provide guidance to the applicant. Staff believes that the expanded lightwell will not be directly visible from any neighboring properties and can be confirmed on the site visit prior to the meeting.

The new home is accessed from the existing driveway which terminates in a circular auto court at the front door and then continues to a parking and driveway area near the garage. An 18 inch deep pond is located at the front entry to the house. The project includes a new pool located on the eastern side of the detached garage structure. An elevated wooden deck is located to the east of the pool. Stone tile decks and a gravel and stone walkway to a viewing area are also proposed.

The house is contemporary style with stucco, stone and wood siding. See the colors and materials board in Attachment 9. The window frames will be clear anodized aluminum along with a Gray TPO roof. Additional portions of the roof will have pebble rock ballast. The color palette ranges from warm browns in wood to cool flat greys in stucco stone and metal. The proposed materials and treatments meet town reflectivity guidelines.

The home will have deep overhangs in some places, a varying façade and there will be interest in the combination of exterior materials that will break up the elevations. The applicant has provided a series of photo renderings that help to understand the exterior elevations and materials (Attachment 10).

The house site is partially screened by existing vegetation. However, the ASCC at the Subdivision hearing requested that the applicant remove several trees on the property below the proposed home site to open up the view of the golden hill. In addition many of the oaks in the "oak hedge row" along Los Trancos are proposed for removal to create a more natural setting. The applicant has provided a view study showing seven off-site view points and photo renderings of how the house will look from off site from these vantage points (Attachment 11).

Compliance with floor area, impervious surface, height, and setback standards

As shown in the table on page one of this staff report, all of the measurable aspects of the project are at or below the allowed maximums, including floor area, impervious surface, height, setbacks and parking.

Required parking in the R-E/3.5A zoning district is two covered spaces and two guest spaces. There are four covered spaces in the proposed garage, and five guest spaces located within the proposed auto court.

Design Guidelines Review – Siting, Mass/Bulk, Scale, Exterior Materials

The project was reviewed against the Town's Design Guidelines.

- 1. The size, siting and design of buildings, individually and collectively, tend to be subservient to the natural setting and serve to retain and enhance the rural qualities of the town. (Siting and Scale)**

The new home is sited in the same location as the current structure. It is sited on the ridge however it integrates with the natural context of the hillside. The proposed material palette creates a natural feeling that enhances the rural qualities of the town. The varied rooflines and offset facades help to break up the building mass and bulk.

- 2. The proposed project will blend in with the natural environment in terms of materials, form and color. (Architectural Design)**

The design, materials and color palette of the proposed new residence are in harmony with the natural environment. The proposed materials include wood, stucco and stone finishes with steel window framing. The flat roof is gray and in some places is covered with a pebble rock ballast. All proposed materials and treatments meet town reflectivity guidelines.

3. The location, design and construction of the development project will minimize disturbances to the natural terrain and scenic vistas. (Grading)

Very little disturbance to the natural terrain will occur within the building footprint due to its same general location of the previous home. For this size home the proposed grading has been kept to a minimum and minimizes disturbance to the natural terrain.

4. The proposed project utilizes minimal lighting so that the presence of development at night is difficult to determine. (Lighting)

The proposed lighting for this project has been kept to a minimum with safety lighting for walkways and building exiting. All lighting is down facing and meets the Town's guidelines. A minor amount of reduction in light fixtures could help to minimize lighting.

5. The proposed landscape plan will preserve the qualities of the natural environment through the use of native plant materials and provide a blended transition to adjacent open areas. (Landscaping)

A substantial area of new landscaping is proposed surrounding the new home. While the majority of the property will remain in its natural state, there is still over 20,000 sq. ft. of irrigated landscape area proposed with an estimated water use of 283,489 gallons per year. Even though most plants are either native or low water use or both, the ASCC should provide comments and recommendations regarding the proposed landscape plan.

Grading and Drainage

The project's proposed cut, fill and total soil movement for site work, are shown in the table below. The table illustrates that the proposed totals are within the amount requiring ASCC review (100-999 cubic yards). Total soil export for the site is 1,090 cubic yards. The majority of the grading that occurs outside the building footprint is for the patios and walkways below the home and the driveway above the home. A grading exhibit can be found on sheet EX-1.

Grading (in cubic yards)	Cut	Fill	Total
Outside Building Footprint	800	170	970
Within Building Footprint	760	300	1,060
Site Total	1,560	470	2,030
Export			1,090

Landscaping

The applicant has provided an Arborist report prepared by Kielty Arborist Services dated May 2, 2017 (Attachment 2). The report delineates 369 trees on the property and calls for removal of several redwood trees, orchard trees, nonnative trees and two large blue oak trees (#292 - #293). In addition the row of oak trees along Los Trancos Road is shown for removal to make way for subdivision road widening improvements and to open up the view of the golden hill. A tree removal plan can be found on sheet L1.1. The remaining trees will not be adversely affected according to the report. Tree protection measures are recommended and will become part of the conditions of approval for the project.

The proposed planting plan can be found on sheet L4.0 in the plan set package. Proposed landscaping is focused around the house, pool patios and walkways. The Conservation Committee has provided a memo dated September 15, 2017 (Attachment 3). The Committee requests some revisions to the landscape plan because some of the species requested are on the Portola Valley do not plant list. The applicant's Landscape Architect has provided a response letter (Attachment 4) outlining how the changes will be made prior to final approval. The Committee also commented on the amount of impervious area proposed for the site. In response the applicant has provided a graphic detail showing where the hardscape occurs (see sheet DR1.02A).

The water budget can be found on sheet L3.2 and DR6.02. The Estimated Total Water Use (ETWU) is shown as 283,489 gallons out of a Maximum Adjusted Water Allowance (MAWA) of 381,319 g/y. As noted earlier in the report, staff is seeking comments from the ASCC on the proposed landscape plan and to determine if there may be opportunities to reduce the landscape water use for the project.

Lighting

Proposed exterior lighting for the residence is shown on sheets DR1.11 and DR1.10 and cut sheets are provided on sheet DR6.00 and DR6.01. Landscape lighting can be found on sheet L1.2. The applicant has done a good job in keeping the lighting both on the house and in the landscaping to a minimum however due to the location of the house the lighting may be visible from off site. A slight reduction to the ceiling lights on the exterior of the home could be achieved with still maintaining the minimum amount necessary for safety. The Town Design Guidelines call for the "minimum amount of lighting necessary to achieve essential illumination". The ASCC should discuss options for reducing the potential visual impacts of the lighting.

Fences and Gates

All existing chain link fencing that is on the property line will be removed from the site including the barbed wire fence along the MPROSD property. A four foot tall open rail fence is proposed along the western property line and along some of the southern property line. The fence on the eastern side is pulled away from the property line and then on the north property line the applicants are proposing an open galvanized wire mesh deer fence that will be 6 feet tall. This fence will coincide with the new driveway gate that will be a 6 foot tall solid horizontal wood double swinging gates that are setback beyond the 50 foot front setback.

Sustainability Aspects of Project

The Outdoor Water Efficiency checklist can be found on sheet DR6.02. The project was submitted showing 20,609 square feet of non-turf irrigated landscape. The project architect has provided the Build-It-Green checklist (Sheet DR6.03) targeting 108 points for the project.

Committee Recommendations

Town Geologist. The Town Geologist, in his letter dated August 16, 2017 (Attachment 5), recommended approval of the site development permit, with continued involvement of the geotechnical consultant in the building process.

Town Engineer. The Town Engineer, in his memorandum dated August 18, 2017 (Attachment 6), submitted a number of comments and questions mainly regarding drainage design. The applicant has responded by updating the plans. The Town Engineer is in the process of

reviewing the revised plans. Staff is confident that these issues can be worked out before the final approval.

Fire Marshal. The Fire Marshal comments dated August 10, 2017 (Attachment 7) include a request for modifications to the plans for necessary turn-around widths and fire hydrant locations. Staff is confident that these issues can be resolved prior to final review.

Conservation Committee. The Committee's September 15, 2017 comments (Attachment 3) recommend some changes to the plant palette, reduction in the impervious pavement and removal of invasive plants. The applicant's Landscape Architect has prepared a response letter (Attachment 4) and will revise the plans accordingly prior to final ASCC review.

Trails Committee. The Trails Committee reviewed the project and recommends scoring the trail crossing at the driveway and to be sure the trail remains unobstructed during construction (Attachment 8).

Public Comments

No neighbor comments have been received by staff.

Unresolved Issues

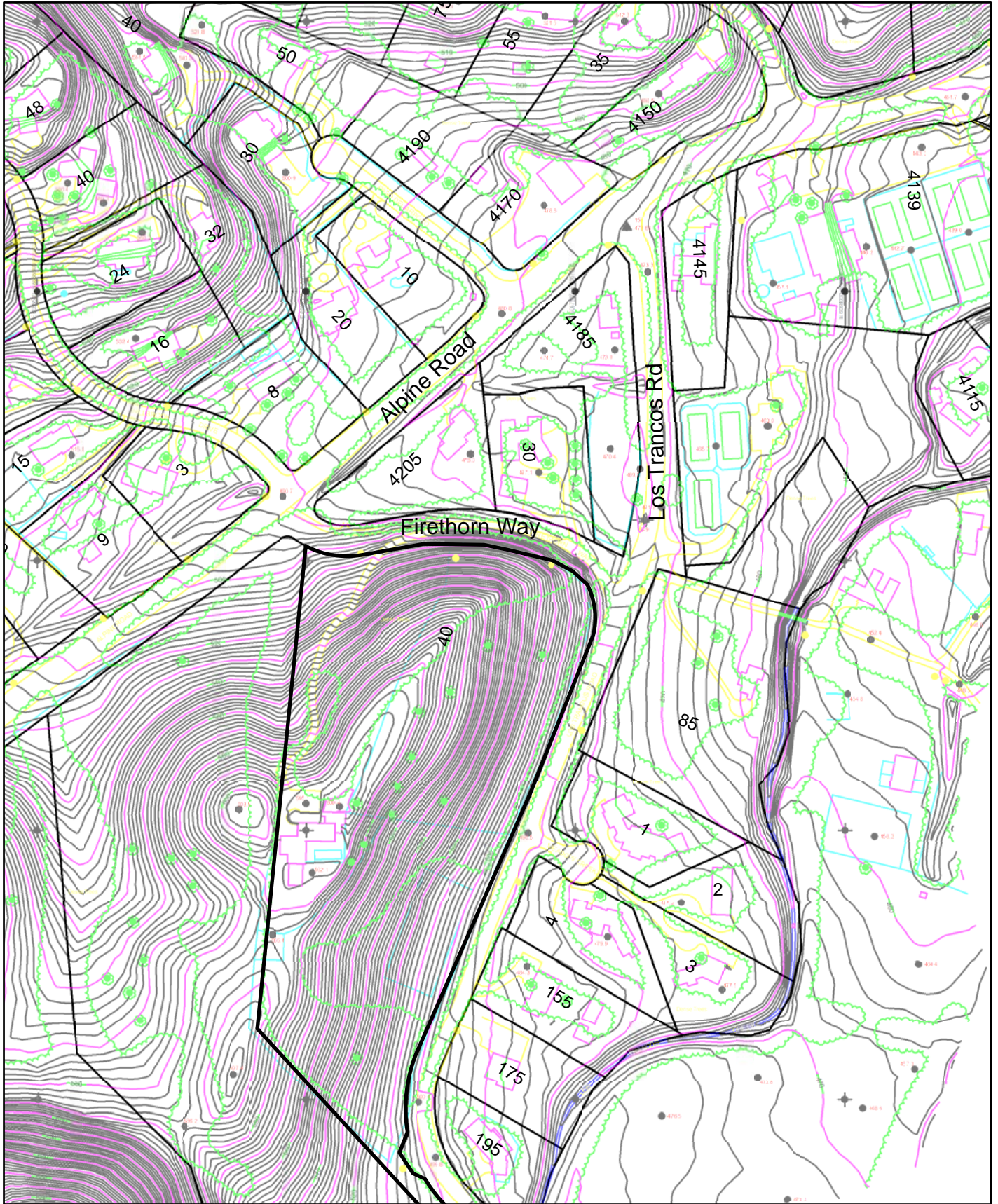
There are some outstanding issues with the Town Engineer and the Fire Department related to drainage and driveway/turn around width that staff is confident can be worked out before the final approval.

ATTACHEMENTS

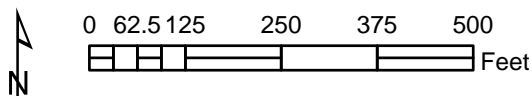
1. Vicinity Map
2. Arborist Report prepared by Kielty Arborist Services dated 5-2-2017
3. Comments from Conservation Committee, dated 9-15-17
4. Memo from Joseph Huetti, Landscape Architect
5. Comments from Town Geologist, dated 8-16-17
6. Comments from Town Engineer, dated 8-18-17
7. Comments from Fire Marshal, dated 8-10-17
8. Comments from the Town Trails Committee
9. Colors and materials
10. Renderings
11. Off-Site view study
12. Architectural Plans (ASCC only)

Report approved by: Debbie Pedro, Planning Director





Vicinity Map



40 Firethorn Way
October 2017

Kielty Arborist Services LLC

P.O. Box 6187
San Mateo, CA 94403
650-515 9783

May 2, 2017

Swatt/Miers Architects
Attn: Ying Liu (Owner)
5845 Doyle Street, Suite 104
Emeryville, CA 94608



Site: 40 Firethorn, Portola Valley, CA

Dear Ying Liu,

As requested on Thursday, April 20, 2017 I visited the above site to inspect and comment on the trees. A new home is planned for this site as well as a subdivision of the large property and as required by the Town of Portola Valley a survey of the trees and a tree protection plan will be included.

Method:

The significant trees on this site were located on a map provided by you. Each tree was given an identification number. This number was inscribed on a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). A condition rating of 1 – 100 was assigned to each tree representing form and vitality using the following scale:

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of each tree was estimated and the spread was paced off. Lastly, a comments section is provided. The survey of the trees will be on a separate excel spread sheet.

Summary:

The majority of the trees on site are a mix of native trees consisting of coast live oaks, valley oaks, blue oaks and a few bay trees. Few imported trees were surveyed. The majority of the oak trees are in fair condition. Most of the oak trees on the property have not been maintained as they are far from the home. The only oak trees that have received maintenance pruning are the oak trees in close proximity to the home and driveway. It is recommended to expose the root crowns of the oak trees to be retained as some of the oak tree root crowns were buried. Buried roots crowns can often encourage oak root fungus growth and eventual death of the tree, as the proper amount of gas exchange is reduced. It is also recommended to prune oak trees that have poor codominant unions or included bark. Pruning shall consist of reduction cuts. No over thinning or lions tailing shall be done. When making reduction cuts, cuts should be made back to a limb able to take on apical growth. This will reduce the risk of failure associated with the poor form of some of the trees as the weight will be reduced. Trees with swelling or seams in their codominant unions are recommended to have their leaders cabled to reduce the risk of failure as well as the recommended pruning. In the town of Portola Valley significant trees are to be protected. If a tree proposed for removal falls into this category it will need a permit to be removed. Below is a list of tree species and their size when considered a significant tree in the town of Portola Valley. If you have one of the trees listed below that meets or exceeds the diameter listed, it is considered a "significant tree", and you are required to apply for a site development permit (tree removal permit), even if the tree appears to be dead.

<u>Species</u>	<u>Diameter</u>
<u>Coast Live Oak (Quercus agrifolia)</u>	<u>11.5"</u>
<u>Black Oak (Quercus kelloggii)</u>	<u>11.5"</u>
<u>Valley Oak (Quercus lobata)</u>	<u>11.5"</u>
<u>Blue Oak (Quercus douglasii)</u>	<u>5.0"</u>
<u>Coast Redwood (Sequoia sempervirens)</u>	<u>17.2"</u>
<u>Douglas Fir (Pseudotsuga menziesii)</u>	<u>17.2"</u>
<u>California Bay Laurel (Umbellularia californica)</u>	<u>11.5"</u>
<u>(if multiple trunk, measurements pertain to largest trunk)</u>	
<u>Big Leaf Maple (Acer macrophyllum)</u>	<u>7.6"</u>
<u>Madrone (Arbutus menziesii)</u>	<u>7.6"</u>



Redwood trees have been planted on this site in the past. The redwood trees have been planted in groves. All of the redwood trees are exhibiting minor to moderate drought stressed symptoms. A few dead redwood trees were also surveyed. No supplemental irrigation has been supplied to the growing irrigation needs for the redwood trees. The redwood trees are out of their native range and will require supplemental irrigation to thrive. The supplemental irrigation needed for the redwood trees can often cause problems with the native oak trees that are in close proximity to these trees. Native oak trees do not require irrigation as they survive off of annual rainfall. Summer irrigation applied to native oak trees can encourage oak root fungus growth and eventual decline and death of the oak trees. It is recommended to remove redwood trees that are in close proximity to the oak trees or redwood trees in significant decline.

Showing redwood trees along driveway showing drought stress symptoms.

Orchard trees consisting of plum, peach, pear, and apricot, were once planted on this site. The majority of these trees are in significant decline as no supplemental irrigation has been provided. None of these trees are protected in the town of Portola Valley. If any of these trees are to be retained they must be irrigated.



The proposed site plan will require the removal of 2 large blue oak trees(#292-#293) that are close to the existing home. The city will likely require replacement trees for the removal of the protected trees. Any proposed excavation within the dripline of a retained significant tree will need to be done by hand with the site arborist on site to document the work. Roots shall be exposed and remain damage free for the site arborist to view. During demolition and construction all equipment must stay on existing hardscapes when possible. If large equipment is to be located underneath a significant tree a landscape barrier must be installed in order to reduce the risk of soil compaction to the trees root zones.

Showing blue oak trees #292 and #293

Tree Protection Plan:

Tree Protection Zones

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying “Tree Protection Zone - Keep Out”. No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The spreading of chips will help to reduce compaction and improve soil structure

Landscape Buffer

Where tree protection does not cover the entire root zone of the tree, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Root Cutting and Grading

Any roots to be cut shall be monitored and documented. Large roots (over 2” diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots. The site arborist must be called out to the site to document any excavation underneath a protected trees dripline.

Irrigation

Normal irrigation shall be maintained on this site at all times. The oaks on site should not need additional irrigation unless their roots have been traumatized or leaves or stems have been scorched. The imported trees will require irrigation, this includes the redwood trees on site. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of

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(5)

irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A

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Tree #	Species	Botanical name	DBH	Condition	Ht/Spread	Comments
1	Coast Live Oak	<i>Quercus agrifolia</i>	13.7	70	25/20	Fair vigor, good form, 8' from driveway.
2	Coast Live Oak	<i>Quercus agrifolia</i>	20.6	70	25/20	Fair vigor, fair form, codominant at 10', 1' from driveway.
3	Coast Live Oak	<i>Quercus agrifolia</i>	18 - 12	45	20/20	Fair vigor, poor form, codominant at base, under utilities.
4	Coast Live Oak	<i>Quercus agrifolia</i>	12.5	60	20/15	Fair vigor, fair form, poor location, under utilities.
5	Valley Oak	<i>Quercus lobata</i>	13.9	45	25/20	Fair vigor, poor form, suppressed, history of limb loss, decay at 10'.
6	Coast Live Oak	<i>Quercus agrifolia</i>	16.8	45	20/20	Fair vigor, poor form, suppressed, heavy lean, lateral limbs.
7	Coast Live Oak	<i>Quercus agrifolia</i>	13.9	65	25/20	Fair vigor, fair form, suppressed, slight lean.
8	Coast Live Oak	<i>Quercus agrifolia</i>	15.9	65	25/20	Fair vigor, fair form, codominant at 4', good crotch, suppressed.
9	Valley Oak	<i>Quercus lobata</i>	18.1	80	30/25	Fair vigor, good form.
10	Valley Oak	<i>Quercus lobata</i>	18.9	80	30/25	Fair vigor, good form.
11	Coast Live Oak	<i>Quercus agrifolia</i>	6.9-10.8	50	25/20	Poor vigor, fair to poor form, codominant at 1' with poor crotch formation.
12	Redwood	<i>Sequoia sempervirens</i>	17.2	45	50/15	Fair to poor vigor, fair form.
13	Redwood	<i>Sequoia sempervirens</i>	10.2-15.4	50	55/15	Fair vigor, poor form, codominant at base.
14	Redwood	<i>Sequoia sempervirens</i>	10.8-8.0	45	45/15	Fair vigor, poor form, codominant at base, suppressed.
15	Redwood	<i>Sequoia sempervirens</i>	10.1-9.8	45	50/15	Fair vigor, poor form, codominant at base, suppressed.
16	Redwood	<i>Sequoia sempervirens</i>	18.7	50	55/15	Good vigor, good form.
17	Redwood	<i>Sequoia sempervirens</i>	9.0-11.5	45	45/15	Fair vigor, poor form, codominant at base, suppressed.
18	Blue Oak	<i>Quercus douglasii</i>	17-14-12	65	30/40	Fair vigor, fair to poor form, multi at 2', decay on leaders, spreading canopy.
19	Valley Oak	<i>Quercus lobata</i>	21.6	65	35/35	Fair vigor, fair form, mistletoe in canopy, heavy towards home.
20	Blue Oak	<i>Quercus douglasii</i>	8.5-11.0	70	20/20	Fair vigor, fair form, codominant at 3'.
21	Blue Oak	<i>Quercus douglasii</i>	11.8-12.0	60	20/20	Fair vigor, fair form, multi at 2' with included bark.
22	Blue Oak	<i>Quercus douglasii</i>	11.5	70	20/15	Fair vigor, fair form.
23	Blue Oak	<i>Quercus douglasii</i>	11.6	80	20/20	Good vigor, good form.
24	Blue Oak	<i>Quercus douglasii</i>	17.1	65	20/30	Fair vigor, fair form, heavy mistletoe - remove.
25	Blue Oak	<i>Quercus douglasii</i>	13.5	50	20/20	Fair vigor, poor form, codominant at 4' with included bark.
26	Valley Oak	<i>Quercus lobata</i>	11.3	60	20/18	Fair vigor, fair form, heavily suppressed, heavy to one side.
27	Coast Live Oak	<i>Quercus agrifolia</i>	16.6-19.8	55	30/35	Fair vigor, fair form, sycamore borer, codominant at 3', poor crotch, recommend to cable and expose root crown.
28	Coast Live Oak	<i>Quercus agrifolia</i>	5.2-6.2	50	15/10	Fair vigor, poor form, codominant at base.
29	Valley Oak	<i>Quercus lobata</i>	2.1-8.2-9.4	40	20/12	Fair vigor, fair form, multi at base, decay at base.
30	Valley Oak	<i>Quercus lobata</i>	11.7	60	25/20	Fair vigor, fair form, suppressed.
31	Coast Live Oak	<i>Quercus agrifolia</i>	16.2-18.9	55	40/45	Good vigor, fair form, codominant at 2'.
32	Coast Live Oak	<i>Quercus agrifolia</i>	21.1	65	40/40	Good vigor, fair form, codominant at 12'.
33	Blue Oak	<i>Quercus douglasii</i>	9.3	60	30/25	Fair vigor, fair form.
34	Blue Oak	<i>Quercus douglasii</i>	10.7	55	35/25	Fair vigor, poor form, abundance of deadwood.
35	Coast Live Oak	<i>Quercus agrifolia</i>	11.5	50	35/25	Fair vigor, poor form.
36	Coast Live Oak	<i>Quercus agrifolia</i>	14.6	55	40/35	Good vigor, fair form, suppressed.
37	Coast Live Oak	<i>Quercus agrifolia</i>	20.9	60	40/40	Good vigor, fair form, trunk leans East.
38	Coast Live Oak	<i>Quercus agrifolia</i>	14.3	60	40/35	Good vigor, fair form, one of 3 trees.
39	Coast Live Oak	<i>Quercus agrifolia</i>	28.4	65	45/40	Good vigor, fair form, largest in grove.
40	Coast Live Oak	<i>Quercus agrifolia</i>	12.6	50	35/30	Good vigor, fair form, leans East.
41	Coast Live Oak	<i>Quercus agrifolia</i>	11.9	50	35/30	Good vigor, fair form, leans East.
42	Blue Oak	<i>Quercus douglasii</i>	9.2	0	20/23	Dead.
43	Coast Live Oak	<i>Quercus agrifolia</i>	12.4-9.4	55	30/30	Good vigor, fair form, suppressed.
44	Coast Live Oak	<i>Quercus agrifolia</i>	23.6	65	35/35	Good vigor, fair form, edge of grove.
45	Blue Oak	<i>Quercus douglasii</i>	11.6	60	15/15	Fair vigor, fair form, suppressed.
46	Coast Live Oak	<i>Quercus agrifolia</i>	4x10"	55	35/40	Fair vigor, fair form, multi at 1'.
47	Blue Oak	<i>Quercus douglasii</i>	7.3	55	25/20	Fair vigor, fair form.
48	Blue Oak	<i>Quercus douglasii</i>	7.3	50	20/25	Poor vigor, fair form, suppressed.
49	Blue Oak	<i>Quercus douglasii</i>	9.8	55	30/30	Fair vigor, fair form, codominant at 4'.
50	Coast Live Oak	<i>Quercus agrifolia</i>	14.9	55	35/30	Fair vigor, fair form, poor crotch at 5'.
51	Coast Live Oak	<i>Quercus agrifolia</i>	9.6	50	30/30	Fair vigor, fair form, suppressed by trunk.
52	Coast Live Oak	<i>Quercus agrifolia</i>	17.7	50	35/40	Poor vigor, fair form, poor crotch.
53	Bay	<i>Umbellularia californica</i>	12.4	55	35/30	Good vigor, fair form, alternative host of sudden oak death.
54	Blue Oak	<i>Quercus douglasii</i>	8.1	45	30/25	Poor to fair vigor, poor for, suppressed.
55	Coast Live Oak	<i>Quercus agrifolia</i>	20.3	65	35/40	Fair vigor, fair form, multi at 5'.
56	Valley Oak	<i>Quercus lobata</i>	13	55	40/35	Fair vigor, fair form, at top of stairs.
57	Coast Live Oak	<i>Quercus agrifolia</i>	21.1	55	40/35	Fair vigor, fair form, heavy low limb.
58	Valley Oak	<i>Quercus lobata</i>	13.1	60	35/35	Fair vigor, fair form.
59	Coast Live Oak	<i>Quercus agrifolia</i>	9.9	55	30/30	Fair vigor, fair form, decay at base.
60	Coast Live Oak	<i>Quercus agrifolia</i>	7.6	50	30/20	Fair vigor, poor form, suppressed.
61	Coast Live Oak	<i>Quercus agrifolia</i>	16.2	65	35/35	Fair vigor, fair form, lower deadwood.
62	Blue Oak	<i>Quercus douglasii</i>	9.6	55	25/25	Fair vigor, fair form, near fence.
63	Coast Live Oak	<i>Quercus agrifolia</i>	16.8-15.6	50	35/35	Fair vigor, poor to fair form, low leader at 1'.
64	Bay	<i>Umbellularia californica</i>	13.2	50	35/30	Good vigor, fair form, codominant at 10'.
65	Coast Live Oak	<i>Quercus agrifolia</i>	15.7	60	35/30	Fair vigor, fair form, codominant at 10'.
66	Redwood	<i>Sequoia sempervirens</i>	16.3	40	45/30	Poor vigor, fair form, in decline.
67	Coast Live Oak	<i>Quercus agrifolia</i>	10.1-6.3	65	30/30	Good vigor, fair form, codominant at 3'.
68	Coast Live Oak	<i>Quercus agrifolia</i>	14-12	20	35/30	Fair vigor, poor form, codominant failed at ground level.
69	Coast Live Oak	<i>Quercus agrifolia</i>	17.6	45	35/35	Poor vigor, fair form, poor crotch.
70	Coast Live Oak	<i>Quercus agrifolia</i>	13.9	50	30/35	Fair vigor, poor form, suppressed.

71	Valley Oak	<i>Quercus lobata</i>	15	55	35/40	Poor vigor, fair form, squatty.
72	Coast Live Oak	<i>Quercus agrifolia</i>	13.3	70	25/25	Good vigor, fair form, codominant at 8.5'.
73	Coast Live Oak	<i>Quercus agrifolia</i>	13.5	60	25/20	Good vigor, fair form, suppressed.
74	Coast Live Oak	<i>Quercus agrifolia</i>	15.4	30	20/12	Poor vigor, fair form, in decline, nearly dead, buried root crown.
75	Coast Live Oak	<i>Quercus agrifolia</i>	11.5	40	20/12	Fair to poor vigor, fair form, in decline, suppressed, abundance of sprout growth.
76	Coast Live Oak	<i>Quercus agrifolia</i>	11.2	30	20/15	Poor vigor, fair form, nearly dead.
77	Coast Live Oak	<i>Quercus agrifolia</i>	26.4	30	20/20	Fair vigor, poor form, split crotch, heavy decline.
78	Bay	<i>Umbellularia californica</i>	9.3	70	40/12	Fair vigor, fair form.
79	Coast Live Oak	<i>Quercus agrifolia</i>	11.6	60	30/15	Fair vigor, fair form, suppressed.
80	Coast Live Oak	<i>Quercus agrifolia</i>	10.2	40	15/15	Fair vigor, poor form, suppressed, leans at 45 degrees.
81	Coast Live Oak	<i>Quercus agrifolia</i>	14.2	55	20/15	Fair vigor, fair form, suppressed.
82	Coast Live Oak	<i>Quercus agrifolia</i>	17	60	15/20	Fair vigor, fair form, sprawling canopy.
83	Coast Live Oak	<i>Quercus agrifolia</i>	13.7	45	15/15	Fair vigor, poor form, suppressed, heavy lean.
84	Coast Live Oak	<i>Quercus agrifolia</i>	14.4	55	15/20	Fair vigor, fair form, suppressed, abundance of deadwood.
85	Coast Live Oak	<i>Quercus agrifolia</i>	25.4-18-12	65	30/335	Fair vigor, fair form, multi at base, aesthetically pleasing.
86	Coast Live Oak	<i>Quercus agrifolia</i>	10.7	45	20/15	Fair to poor vigor, poor form, heavily suppressed.
87	Coast Live Oak	<i>Quercus agrifolia</i>	10.9	50	20/10	Fair vigor, poor form, suppressed, leans.
88	Coast Live Oak	<i>Quercus agrifolia</i>	13.4	65	20/15	Good vigor, fair form, suppressed.
89	Bay	<i>Umbellularia californica</i>	14-10	30	20/10	Poor vigor, fair form, topped.
90	Valley Oak	<i>Quercus lobata</i>	10.8	55	20/15	Fair vigor, fair form, close to utilities.
91	Coast Live Oak	<i>Quercus agrifolia</i>	10.2	60	30/20	Fair vigor, fair form, codominant at 10' with bad crotch.
92	Coast Live Oak	<i>Quercus agrifolia</i>	6.1-14	40	20/15	Fair vigor, poor form, larger leader dead.
93	Coast Live Oak	<i>Quercus agrifolia</i>	13	60	30/20	Fair vigor, fair form, codominant at 10' with fair crotch, close to utilities.
94	Coast Live Oak	<i>Quercus agrifolia</i>	12.1	65	20/15	Fair vigor, fair form.
95	Coast Live Oak	<i>Quercus agrifolia</i>	12.6	60	30/12	Fair vigor, fair form, suppressed.
96	Coast Live Oak	<i>Quercus agrifolia</i>	13.4	45	20/15	Fair vigor, poor form, codominant at 10', one leader dead, under utilities.
97	Coast Live Oak	<i>Quercus agrifolia</i>	18.1	65	30/12	Fair vigor, fair form.
98	Coast Live Oak	<i>Quercus agrifolia</i>	26.4	45	25/20	Fair vigor, poor form, topped for utilities.
99	Coast Live Oak	<i>Quercus agrifolia</i>	16.8	45	25/30	Fair vigor, poor form, topped for utilities.
100	Coast Live Oak	<i>Quercus agrifolia</i>	18-18	60	30/40	Fair vigor, fair form, codominant at 1', close to utilities
101	Coast Live Oak	<i>Quercus agrifolia</i>	20-18-15	60	30/40	Fair vigor, fair form, sprawling canopy.
102	Coast Live Oak	<i>Quercus agrifolia</i>	17.3	60	25/20	Fair vigor, fair form, codominant at 5' with weak crotch.
103	Coast Live Oak	<i>Quercus agrifolia</i>	15.1	60	20/20	Good vigor, fair form, suppressed, leans.
104	Valley Oak	<i>Quercus lobata</i>	13.4	60	20/15	Good vigor, fair form, suppressed, leans.
105	Coast Live Oak	<i>Quercus agrifolia</i>	24.6	70	20/30	Good vigor, fair form, aesthetically pleasing
106	Valley Oak	<i>Quercus lobata</i>	9.8	60	18/15	Good vigor, fair form, aesthetically pleasing
107	Coast Live Oak	<i>Quercus agrifolia</i>	25 at base	55	20/20	Fair vigor, fair form, codominant at base with poor crotch.
108	Red Gum Eucalyptus	<i>Eucalyptus</i>	12-12-11-11	45	45/35	Fair vigor, poor form, multi at base.
109	Red Gum Eucalyptus	<i>Eucalyptus camaldulensis</i>	10"x3	45	40/25	Fair vigor, poor form, multi at base with included bark.
110	Coast Live Oak	<i>Quercus agrifolia</i>	8.8-11.8	70	20/20	Good vigor, fair form, codominant at base.
111	Coast Live Oak	<i>Quercus agrifolia</i>	20.5 at base	80	25/25	Good vigor, good form.
112	Coast Live Oak	<i>Quercus agrifolia</i>	8.8	75	20/20	Good vigor, fair form, codominant at 1' with fair crotch.
113	Coast Live Oak	<i>Quercus agrifolia</i>	10"x4	50	15/15	Fair vigor, poor form, multi at base with poor crotch.
114	Red Iron Bark		18.7-19.7	50	40/20	Fair vigor, poor form, codominant at base with poor crotch.
115	Coast Live Oak	<i>Quercus agrifolia</i>	8-5-6.1	45	15/15	Fair vigor, poor form, codominant at base with poor crotch.
116	Red Gum Eucalyptus	<i>Eucalyptus camaldulensis</i>	10"x3	45	50/35	Fair vigor, poor form, multi at base.
117	Coast Live Oak	<i>Quercus agrifolia</i>	13.1-8.1-2.8	70	15/15	Good vigor, fair form, multi at base.
118	Coast Live Oak	<i>Quercus agrifolia</i>	12.4	55	15/15	Fair to poor vigor, fair form, buried root crown, abundance of deadwood.
119	Coast Live Oak	<i>Quercus agrifolia</i>	10.8	70	20/15	Fair vigor, fair form, buried root crown, abundance of deadwood.
120	Coast Live Oak	<i>Quercus agrifolia</i>	14.2	80	25/20	Good vigor, good form.
121	Coast Live Oak	<i>Quercus agrifolia</i>	13.4	80	20/20	Good vigor, good form.
122	Coast Live Oak	<i>Quercus agrifolia</i>	7.7-7.3	60	15/20	Fair vigor, fair form, codominant at base with poor crotch, abundance of deadwood.
123	Coast Live Oak	<i>Quercus agrifolia</i>	15.1	55	25/20	Good vigor, fair form, codominant failure at 10'.
124	Coast Live Oak	<i>Quercus agrifolia</i>	18.8	65	25/20	Fair vigor, fair form, minor deadwood, buried root crown.
125	Coast Live Oak	<i>Quercus agrifolia</i>	8.1-8.8	60	20/20	Fair vigor, poor form, codominant at base, included bark, good screen.
126	Coast Live Oak	<i>Quercus agrifolia</i>	5.6-6.2-9 est.	40	15/15	Poor vigor, poor form, multi at base, heavy sycamore borer, decay at base, included bark.
127	Coast Live Oak	<i>Quercus agrifolia</i>	10.8-8.6	50	20/20	Fair vigor, poor form, codominant at 2 feet with included bark.
128	Coast Live Oak	<i>Quercus agrifolia</i>	13.4	60	20/20	Fair vigor, fair to poor form, multi at 5 feet with fair crotch.
129	Coast Live Oak	<i>Quercus agrifolia</i>	11.6	60	15/15	Fair vigor, fair form, sycamore borer with crotch at 4 feet.
130	Coast Live Oak	<i>Quercus agrifolia</i>	11.5	70	20/20	Good vigor, good form.
131	Coast Live Oak	<i>Quercus agrifolia</i>	7.4-6.9	70	15/15	Good vigor, good form, codominant at 1 foot with fair crotch.
132	Coast Live Oak	<i>Quercus agrifolia</i>	11	80	20/20	Good vigor, good form.
133	Coast Live Oak	<i>Quercus agrifolia</i>	7,8,5,0,4,0,3	55	20/20	Fair vigor, poor form, multi at base.
134	Coast Live Oak	<i>Quercus agrifolia</i>	9.5	80	15/15	Good vigor, good form.
135	Coast Live Oak	<i>Quercus agrifolia</i>	9.1,8.1	80	15/15	Good vigor, good form, codominant at 3 feet with good crotch.
136	Coast Live Oak	<i>Quercus agrifolia</i>	11.0-6.9	65	20/20	Good vigor, fair form, codominant at 2 feet, sycamore borer at base.
137	Coast Live Oak	<i>Quercus agrifolia</i>	10.0,8.0, 4.0	65	20/20	Good vigor, fair form, multi at 3 feet.
138	Coast Live Oak	<i>Quercus agrifolia</i>	9.0-9.0-6.0	60	20/20	Good vigor, fair form, multi at base.
139	Coast Live Oak	<i>Quercus agrifolia</i>	9.0,13.9	75	25/25	Fair vigor, fair form, codominant at 1 foot with fair crotch.
140	Coast Live Oak	<i>Quercus agrifolia</i>	9.9-3.5	75	15/15	Fair vigor, fair form, sycamore borer at base.
141	Coast Live Oak	<i>Quercus agrifolia</i>	4.1-4.6	75	12/12	Fair vigor, fair form, codominant at base, heavy sycamore borer in crotch.
142	Coast Live Oak	<i>Quercus agrifolia</i>	6,8,6,1,4,9,5,0	65	12/12	Fair vigor, fair form.
143	Coast Live Oak	<i>Quercus agrifolia</i>	10.4	80	15/15	Good vigor, good form, sycamore borer at base.
144	Coast Live Oak	<i>Quercus agrifolia</i>	8"x5	65	20/20	Good vigor, fair form, multi at 4 feet with poor crotch, sycamore borer.
145	Coast Live Oak	<i>Quercus agrifolia</i>	7,5,5,2,4,3	55	12/12	Fair vigor, poor form, multi at base, included bark.
146	Coast Live Oak	<i>Quercus agrifolia</i>	9,7,10,9,11,4, 10.0	50	20/20	Fair vigor, fair to poor form, multi at base, included bark.

147	Coast Live Oak	<i>Quercus agrifolia</i>	6, 7, 8, 8	50	20/15	Fair vigor, poor form, codominant at base with included bark.
148	Coast Live Oak	<i>Quercus agrifolia</i>	9.3,11.5,12.5	70	20/20	Good vigor, fair form, multi at 4 feet.
149	Coast Live Oak	<i>Quercus agrifolia</i>	6.3,12.2,10.1, 9.6	65	15/15	Good vigor, fair to poor form, multi at base, included bark.
150	Coast Live Oak	<i>Quercus agrifolia</i>	7,8,8	50	20/20	Fair vigor, poor form, codominant at base with poor crotch, sycamore corer at base.
151	Coast Live Oak	<i>Quercus agrifolia</i>	13.5	80	20/20	Good vigor, good form.
152	Coast Live Oak	<i>Quercus agrifolia</i>	13, 13, 5, 5	80	20/20	Good vigor, good form.
153	Coast Live Oak	<i>Quercus agrifolia</i>	5.3, 8.2	75	15/15	Good vigor, fair form, sycamore borer at base.
154	Coast Live Oak	<i>Quercus agrifolia</i>	9.4, 10.1	50	15/15	Fair vigor, poor form, codominant at 1 foot with included bark.
155	Coast Live Oak	<i>Quercus agrifolia</i>	8.2,9.5,5.1	70	20/20	Good vigor, fair form, codominant at 1 foot with fair crotch.
156	Coast Live Oak	<i>Quercus agrifolia</i>	10.4, 13.2	80	20/20	Good vigor, fair form.
157	Coast Live Oak	<i>Quercus agrifolia</i>	11.1, 6.0	70	20/20	Fair vigor, fair form.
158	Coast Live Oak	<i>Quercus agrifolia</i>	8.6, 6.2	70	15/15	Fair vigor, good form.
159	Coast Live Oak	<i>Quercus agrifolia</i>	9.1, 9.5	70	15/15	Fair vigor, fair form, heavy sycamore borer.
160	Coast Live Oak	<i>Quercus agrifolia</i>	13.2	80	20/20	Good vigor, good form.
161	Coast Live Oak	<i>Quercus agrifolia</i>	14.4, 6.5	80	20/20	Good vigor, good form.
162	Coast Live Oak	<i>Quercus agrifolia</i>	14.2, 6.5	70	20/20	Fair vigor, fair form.
163	Coast Live Oak	<i>Quercus agrifolia</i>	9.3,9.4,11.6	65	20/20	Fair vigor, fair form.
164	Coast Live Oak	<i>Quercus agrifolia</i>	10.6	65	15/15	Fair vigor, fair form.
165	Coast Live Oak	<i>Quercus agrifolia</i>	13.4,12.7	65	20/20	Good vigor, fair form, codominant at 1 foot with poor crotch.
166	Coast Live Oak	<i>Quercus agrifolia</i>	12.6	80	20/20	Good vigor, good form.
167	Coast Live Oak	<i>Quercus agrifolia</i>	11.7, 9.8	45	20/20	Poor to fair vigor, poor form, codominant at base with included bark.
168	Coast Live Oak	<i>Quercus agrifolia</i>	16.1	80	25/25	Good vigor, good form, multi at 6 feet.
169	Coast Live Oak	<i>Quercus agrifolia</i>	14.5	80	25/20	Good vigor, fair form.
170	Coast Live Oak	<i>Quercus agrifolia</i>	15.6	80	25/25	Good vigor, good form.
171	Coast Live Oak	<i>Quercus agrifolia</i>	16.6	80	20/20	Good vigor, good form.
172	Coast Live Oak	<i>Quercus agrifolia</i>	14.2	80	20/20	Good vigor, good form.
173	Coast Live Oak	<i>Quercus agrifolia</i>	11	70	18/18	Fair vigor, fair form.
174	Coast Live Oak	<i>Quercus agrifolia</i>	10	80	20/20	Good vigor, good form.
175	Coast Live Oak	<i>Quercus agrifolia</i>	17.1	70	20/30	Good vigor, fair form, suppressed by #176, leans.
176	Coast Live Oak	<i>Quercus agrifolia</i>	16	70	35/30	Good vigor, fair form, suppressed.
177	Coast Live Oak	<i>Quercus agrifolia</i>	12.1	50	30/30	Fair vigor, poor form, heavily suppressed, leans.
178	Coast Live Oak	<i>Quercus agrifolia</i>	6.4	45	35/12	Poor vigor, poor form, suppressed, nowhere to grow.
179	Coast Live Oak	<i>Quercus agrifolia</i>	17.7	70	40/35	Good vigor, fair form, codominant at 10 feet, suppressed.
180	Coast Live Oak	<i>Quercus agrifolia</i>	12.4	30	15/30	Fair vigor, poor form, lateral lean.
181	Coast Live Oak	<i>Quercus agrifolia</i>	18.5	45	30/30	Fair vigor, poor form, topped for utilities.
182	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	9.5	50	20/12	Fair vigor, poor form, bend in trunk.
183	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	7.6, 3.0	50	20/12	Fair vigor, poor form, codominant at 3 feet.
184	Coast Live Oak	<i>Quercus agrifolia</i>	14.1,14.2	55	30/40	Good vigor, poor form, codominant at base with included bark.
185	Coast Live Oak	<i>Quercus agrifolia</i>	21.1, 15.6	60	40/40	Good vigor, poor form, codominant at 3 feet with included bark.
186	Coast Live Oak	<i>Quercus agrifolia</i>		80	35/35	Good vigor, good form.
187	Coast Live Oak	<i>Quercus agrifolia</i>	12.8	80	30/30	Good vigor, good form.
188	Silver Dollar Eucalyptus	<i>Eucalyptus polyanthemos</i>	15.9, 15.4	45	35/30	Fair vigor, poor form, codominant at base with included bark, history of limb loss.
189	Coast Live Oak	<i>Quercus agrifolia</i>	13.3, 13.1	65	35/30	Good vigor, fair to poor form, codominant at 2 feet with included bark.
190	Coast Live Oak	<i>Quercus agrifolia</i>	9.6	80	15/15	Good vigor, good form, young tree.
191	Coast Live Oak	<i>Quercus agrifolia</i>	8.6	80	12/12	Good vigor, good form, young tree.
192*	Valley Oak	<i>Quercus lobata</i>	17 est.	70	35/40	Good vigor, good form, heavy into property.
193*	Valley Oak	<i>Quercus lobata</i>	40 est.	50	40/40	Fair vigor, poor form, history of limb loss, mature.
194*	Valley Oak	<i>Quercus lobata</i>	18 est.	60	35/30	Fair vigor, fair form.
195	Coast Live Oak	<i>Quercus agrifolia</i>	7.0, 8.9	65	25/20	Fair vigor, fair to poor form, codominant at base, young tree.
196	Coast Live Oak	<i>Quercus agrifolia</i>	7.5,3	45	15/15	Fair to poor vigor, poor form, multi at base.
197*	Coast Live Oak	<i>Quercus agrifolia</i>	12 est.	60	25/20	Fair vigor, fair form, heavy into property.
198	Coast Live Oak	<i>Quercus agrifolia</i>	13.9	70	25/20	Good vigor, good form.
199	Coast Live Oak	<i>Quercus agrifolia</i>	7.1	80	15/10	Good vigor, good form, young tree.
200	Coast Live Oak	<i>Quercus agrifolia</i>	15.5	80	30/30	Good vigor, good form, multi at 5 feet with good crotch.
201	Coast Live Oak	<i>Quercus agrifolia</i>	11.5,10.5,9.8	50	30/30	Fair vigor, poor form, multi at base with included bark.
202	Coast Live Oak	<i>Quercus agrifolia</i>	11.5	80	30/30	Good vigor, good form.
203	Coast Live Oak	<i>Quercus agrifolia</i>	10.3	40	12/12	Poor vigor, poor form, in decline.
204	Coast Live Oak	<i>Quercus agrifolia</i>	17.3	70	25/20	Good vigor, fair form, multi at 5 feet.
205	Coast Live Oak	<i>Quercus agrifolia</i>	11	50	20/18	Fair vigor, poor form, codominant at 2 feet with included bark.
206	Coast Live Oak	<i>Quercus agrifolia</i>	15	65	25/20	Good vigor, fair form, multi at 6 feet.
207	Coast Live Oak	<i>Quercus agrifolia</i>	15.4	65	25/25	Good vigor, good form, codominant at 5 feet with fair crotch.
208	Coast Live Oak	<i>Quercus agrifolia</i>	14.4	65	20/20	Good vigor, good form, codominant at 5 feet with fair crotch.
209	Valley Oak	<i>Quercus lobata</i>	7.4	80	20/15	Good vigor, good form, young tree.
210	Valley Oak	<i>Quercus lobata</i>	5.6	80	20/12	Good vigor, good form, young tree.
211	Coast Live Oak	<i>Quercus agrifolia</i>	18.8	70	25/25	Fair vigor, fair form, multi at 5 feet.
212	Coast Live Oak	<i>Quercus agrifolia</i>	4,5,7	90	15/15	Fair vigor, fair to poor form, suppressed, codominant at 1 foot.
213	Coast Live Oak	<i>Quercus agrifolia</i>	12.2,12.3,10	65	20/30	Good vigor, fair form, spreading canopy.
214	Redwood	<i>Sequoia sempervirens</i>	9.8	45	25/12	Good vigor, poor form, codominant at 20 feet.
215	Redwood	<i>Sequoia sempervirens</i>	11.4,8.7	45	30/12	Good vigor, poor form, codominant at 1 foot.
216	Redwood	<i>Sequoia sempervirens</i>	11	70	30/12	Good vigor, good form.
217	Redwood	<i>Sequoia sempervirens</i>	6.3	45	15/8	Fair to poor vigor, poor form, suppressed.
218	Redwood	<i>Sequoia sempervirens</i>	11.1	70	35/12	Fair vigor, fair form.
219	Redwood	<i>Sequoia sempervirens</i>	7.7	60	25/12	Fair vigor, poor form, suppressed.

220	Redwood	<i>Sequoia sempervirens</i>	14	70	30/12	Fair vigor, fair form.
221	Redwood	<i>Sequoia sempervirens</i>	11	70	35/12	Fair vigor, fair to poor form, suppressed.
222	Redwood	<i>Sequoia sempervirens</i>	7	60	25/12	Fair vigor, fair form, drought stressed.
223	Redwood	<i>Sequoia sempervirens</i>	6.7	60	25/12	Fair vigor, fair form, crook in top.
224	Redwood	<i>Sequoia sempervirens</i>	10.9	60	35/12	Fair vigor, fair form, suppressed.
225	Redwood	<i>Sequoia sempervirens</i>	6.5	60	25/12	Fair vigor, poor form, suppressed.
226	Redwood	<i>Sequoia sempervirens</i>	15.4	60	40/12	Fair vigor, poor form, codominant at top.
227	Coast Live Oak	<i>Quercus agrifolia</i>	15.5,9.6	55	20/25	Fair vigor, fair to poor form, codominant at base, suppressed.
228	Redwood	<i>Sequoia sempervirens</i>	10	60	30/12	Fair vigor, fair form, drought stressed.
229	Redwood	<i>Sequoia sempervirens</i>	7	0	20/10	DEAD.
230	Redwood	<i>Sequoia sempervirens</i>	16	60	30/12	Fair vigor, fair form, drought stressed.
231	Redwood	<i>Sequoia sempervirens</i>	10	60	30/12	Fair vigor, fair form, drought stressed.
232	Redwood	<i>Sequoia sempervirens</i>	8	60	30/12	Fair vigor, fair form, drought stressed.
234	Redwood	<i>Sequoia sempervirens</i>	7	60	30/12	Fair vigor, fair form, drought stressed.
235	Redwood	<i>Sequoia sempervirens</i>	5	60	30/12	Fair vigor, fair form, drought stressed.
236	Redwood	<i>Sequoia sempervirens</i>	8	60	30/12	Fair vigor, fair form, drought stressed.
237	Redwood	<i>Sequoia sempervirens</i>	9	60	30/12	Fair vigor, fair form, drought stressed.
238	Redwood	<i>Sequoia sempervirens</i>	9	60	30/12	Fair vigor, fair form, drought stressed.
239	Redwood	<i>Sequoia sempervirens</i>	9	60	30/12	Fair vigor, fair form, drought stressed.
240	Redwood	<i>Sequoia sempervirens</i>	7	60	30/12	Fair vigor, fair form, drought stressed.
241	Redwood	<i>Sequoia sempervirens</i>	7	60	30/12	Fair vigor, fair form, drought stressed.
242	Plum	<i>Prunus spp.</i>	3.1	40	10/6	Fair to poor vigor, fair form, in decline.
243	Plum	<i>Prunus spp.</i>	10x1"	40	10/10	Fair vigor, poor form, multi, in decline.
244	Peach	<i>Prunus persica</i>	5.1	45	10/10	Fair to poor vigor, poor form, abundance of dead wood, in decline.
245	Peach	<i>Prunus persica</i>	3.2	0	10/10	DEAD.
246	Peach	<i>Prunus persica</i>	3.4	0	10/10	DEAD.
247	Peach	<i>Prunus persica</i>	3.3	0	8/8	DEAD.
248	Plum	<i>Prunus spp.</i>	2-4	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
249	Pear	<i>Pyrus spp.</i>	4.4	0	8/8	DEAD.
250	Pear	<i>Pyrus spp.</i>	6.1	45	10/10	Fair to poor vigor, poor form, abundance of dead wood, in decline.
251	Plum	<i>Prunus spp.</i>	2-4-5	45	10/10	Fair to poor vigor, poor form, abundance of dead wood, in decline.
252	Pear	<i>Pyrus spp.</i>	4.1	0	8/8	DEAD.
253	Plum	<i>Prunus spp.</i>	3-3-3	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
254	Apricot	<i>Prunus armeniaca</i>	4-4-6	0	8/8	DEAD.
255	Plum	<i>Prunus spp.</i>	4.4	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
256	Apricot	<i>Prunus armeniaca</i>	6.6	45	10/10	Fair to poor vigor, poor form, abundance of dead wood, in decline.
257	Plum	<i>Prunus spp.</i>	5.1	45	10/10	Fair to poor vigor, poor form, abundance of dead wood, in decline.
258	Pear	<i>Pyrus spp.</i>	3.3	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
259	Pear	<i>Pyrus spp.</i>	3-4	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
260	Plum	<i>Prunus spp.</i>	5.5	45	10/10	Fair to poor vigor, poor form, abundance of dead wood, in decline.
261	Plum	<i>Prunus spp.</i>	4.8	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
262	Plum	<i>Prunus spp.</i>	4.4	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
263	Apple	<i>Malus spp.</i>	4.6	45	8/8	Fair to poor vigor, poor form, abundance of dead wood, in decline.
264	Peach	<i>Prunus persica</i>	3	0	8/8	DEAD.
265	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	9.4	50	20/12	Fair vigor, poor form, codominant at 3 feet.
266	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	8.1,6.5	20	15/10	Poor vigor, poor form, in decline.
267	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	7.2	0	15/10	Dead.
268	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	8.8,10.3	55	25/12	Fair vigor, poor form, codominant at base.
269	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	10.1	55		Fair to poor vigor, fair form, suppressed.
270	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	7.6, 9.5	45	30/12	Fair vigor, poor form, codominant at base.
271	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	12.3	70	30/12	Fair vigor, fair form.
272	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	4, 5	45	20/10	Poor vigor, poor form, codominant at base.
273	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	8,8	45	30/18	Poor vigor, poor form, codominant at base.

274	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	5.9	45	20/10	Fair vigor, poor form, suppressed.
275	Coast Live Oak	<i>Quercus agrifolia</i>	4x6"	50	20/15	Fair vigor, poor form, multi at base.
276	Redwood	<i>Sequoia sempervirens</i>	7-7	45	30/12	Fair vigor, poor form, codominant, drought stressed.
277	Redwood	<i>Sequoia sempervirens</i>	8.4	50	25/12	Fair vigor, fair form, drought stressed.
278	Redwood	<i>Sequoia sempervirens</i>	8	55	30/12	Fair vigor, fair form, drought stressed.
279	Redwood	<i>Sequoia sempervirens</i>	2-4	45	20/10	Fair vigor, poor form, codominant, drought stressed.
280	Redwood	<i>Sequoia sempervirens</i>	8	60	30/12	Fair vigor, fair form, drought stressed.
281	Redwood	<i>Sequoia sempervirens</i>	8	60	25/10	Fair vigor, fair form, drought stressed.
282	Redwood	<i>Sequoia sempervirens</i>	6	55	25/10	Fair vigor, fair form, drought stressed.
283	Redwood	<i>Sequoia sempervirens</i>	11	60	30/12	Fair vigor, fair form, drought stressed.
284	Redwood	<i>Sequoia sempervirens</i>	12-12	45	30/12	Fair vigor, poor form, codominant, drought stressed.
285	Pear	<i>Pyrus spp.</i>	6-8	50	15/15	Fair to poor vigor, fair form, abundance of dead wood.
286	Coast Live Oak	<i>Quercus agrifolia</i>	19.9	70	25/25	Good vigor, fair form, multi at 5 feet.
287	Red Iron Bark	<i>Eucalyptus sideroxylon</i>	10.3	60	30/12	Fair vigor, fair form.
288	Coast Live Oak	<i>Quercus agrifolia</i>	10.3	70	20/20	Good vigor, fair form, leans.
289	Valley Oak	<i>Quercus lobata</i>	6.8	70	15/12	Good vigor, good form, young tree.
290	Valley Oak	<i>Quercus lobata</i>	7.2	80	15/12	Good vigor, good form, young tree.
291	Valley Oak	<i>Quercus lobata</i>	6.9	80	12/12	Good vigor, good form, young tree.
292	Blue Oak	<i>Quercus douglasii</i>	16.4	65	25/35	Fair vigor, fair form, buried root crown, codominant at 3 feet with included bark.
293	Blue Oak	<i>Quercus douglasii</i>	11.5,11.2,8,9	65	30/35	Fair vigor, fair form, multi at 4 feet with crotch, buried root crown.
294	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	65	12/10	Fair vigor, fair form, transplantable, needs irrigation.
295	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	70	12/10	Fair vigor, fair form, transplantable, needs irrigation.
296	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	70	12/10	Fair vigor, fair form, transplantable, needs irrigation.
297	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	70	12/10	Fair vigor, fair form, transplantable, needs irrigation.
298	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	70	12/10	Fair vigor, fair form, transplantable, needs irrigation.
299	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	70	12/10	Fair vigor, fair form, transplantable, needs irrigation.
300	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	70	12/10	Fair vigor, fair form, transplantable, needs irrigation.
301	Crepe Myrtle	<i>Lagerstroemia spp.</i>	5	70	12/10	Fair vigor, fair form, transplantable, needs irrigation.
302	Queens palm	<i>Syagrus romanzoffiana</i>		80	20/12	Fair vigor, fair form, transplantable.
303	Queens palm	<i>Syagrus romanzoffiana</i>		80	20/12	Fair vigor, fair form, transplantable.
304	Queens palm	<i>Syagrus romanzoffiana</i>		80	20/12	Fair vigor, fair form, transplantable.
305	Queens palm	<i>Syagrus romanzoffiana</i>		80	20/12	Fair vigor, fair form, transplantable.
306	Queens Palm	<i>Syagrus romanzoffiana</i>		80	20/12	Fair vigor, fair form, transplantable.
307	Queens palm	<i>Syagrus romanzoffiana</i>		80	20/12	Fair vigor, fair form, transplantable.
308	Queens palm	<i>Syagrus romanzoffiana</i>		80	20/10	Fair vigor, fair form, transplantable.
309	Queens Palm	<i>Syagrus romanzoffiana</i>		80	20/10	Fair vigor, fair form, transplantable.
310	Queens Palm	<i>Syagrus romanzoffiana</i>		80	20/10	Fair vigor, fair form, transplantable.
311	Queens Palm	<i>Syagrus romanzoffiana</i>		80	20/10	Fair vigor, fair form, transplantable.
312	Queens Palm	<i>Syagrus romanzoffiana</i>		80	20/10	Fair vigor, fair form, transplantable.
313	Japanese Maple	<i>Acer palmatum</i>		70	12/12	Good vigor, fair form, minor deadwood,
314	Coast Live Oak	<i>Quercus agrifolia</i>	15.4	60	25/20	Fair vigor, fair form, suppressed, heavy towards driveway, minor decay on trunk.
315	Coast Live Oak	<i>Quercus agrifolia</i>	26.4	70	40/35	Good vigor, fair form, multi at 6 feet.
316	Coast Live Oak	<i>Quercus agrifolia</i>	14.8	60	40/25	Fair vigor, fair form, poorly pruned in past, decay on trunk.
317	Valley Oak	<i>Quercus lobata</i>	28.6	40	45/40	Fair to poor vigor, poor form, heavy decay at base.
318	Valley Oak	<i>Quercus lobata</i>	9.6	70	30/15	Good vigor, good form, young tree.
319	Coast live oak	<i>Quercus agrifolia</i>	36est	70	40/40	Good vigor, fair form, 10 feet from driveway.
320	Madrone	<i>Arbutus menziesii</i>	13-Aug	70	35/20	Good vigor, fair form, on slope, heavy over driveway, aesthetically pleasing.
321	Redwood	<i>Sequoia sempervirens</i>	5-8-8	45	30/12	Fair to poor vigor, poor form, codominant, drought stressed, close to existing driveway.
322	Redwood	<i>Sequoia sempervirens</i>	17.3	50	35/15	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
323	Redwood	<i>Sequoia sempervirens</i>	4-6-8	45	30/12	Fair to poor vigor, poor form, codominant, drought stressed, close to existing driveway.

324	Redwood	Sequoia sempervirens	15.1	50	35/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
325	Redwood	Sequoia sempervirens	12.3	50	30/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
326	Redwood	Sequoia sempervirens	19.6	50	35/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
327	Redwood	Sequoia sempervirens	19.1	50	35/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
328	Redwood	Sequoia sempervirens	18.9	50	35/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
329	Redwood	Sequoia sempervirens	10.3	50	25/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
330	Redwood	Sequoia sempervirens	9.4	45	35/14	Fair to poor vigor, poor form, codominant, drought stressed, close to existing driveway.
331	Redwood	Sequoia sempervirens	14-17	45	35/15	Fair to poor vigor, poor form, codominant, drought stressed, close to existing driveway.
332	Redwood	Sequoia sempervirens	5-13-17	45	35/15	Fair to poor vigor, poor form, codominant, drought stressed, close to existing driveway.
333	Redwood	Sequoia sempervirens	8.3	50	25/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
334	Redwood	Sequoia sempervirens	9-8	45	25/12	Fair to poor vigor, poor form, codominant, drought stressed, close to existing driveway.
335	Redwood	Sequoia sempervirens	7.3	50	20/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
336	Redwood	Sequoia sempervirens	7.8	50	20/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
337	Redwood	Sequoia sempervirens	7.1	50	20/12	Fair to poor vigor, fair form, drought stressed, close to existing driveway.
338	Redwood	Sequoia sempervirens	4-5	45	15/10	Fair vigor, poor form, codominant, close to driveway.
339	Redwood	Sequoia sempervirens	11.3	50	20/12	Fair vigor, fair form, close to existing driveway.
340	Redwood	Sequoia sempervirens	4-4-4	45	15/10	Fair vigor, poor form, codominant.
341	Redwood	Sequoia sempervirens	7.1	50	15/10	Fair vigor, fair form, young tree.
342	Redwood	Sequoia sempervirens	3-5	45	15/10	Fair vigor, poor form, codominant, young tree.
343	Coast live oak	Quercus agrifolia	6-7-7-8	75	20/20	Good vigor, good form,
344	Coast live oak	Quercus agrifolia	6est	65	20/15	Fair vigor, fair form, pruned for view.
345	Coast live oak	Quercus agrifolia	6-6-7est	65	20/15	Fair vigor, fair form, pruned for view.
346	Coast live oak	Quercus agrifolia	5-6 est.	65	20/15	Fair vigor, fair form, pruned for view.
347	Coast Live Oak	Quercus agrifolia	3-3-4 est	65	20/15	Fair vigor, fair form, pruned for view.
348	Coast Live Oak	Quercus agrifolia	7-7est	65	20/15	Fair vigor, fair form, pruned for view.
349	Coast live oak	Quercus agrifolia	3-5est	65	20/15	Fair vigor, fair form, pruned for view.
350	Coast live oak	Quercus agrifolia	10-10est	65	20/15	Fair vigor, fair form, pruned for view.
351	Coast live oak	Quercus agrifolia	8est	65	20/15	Fair vigor, fair form, pruned for view.
352	Coast live oak	Quercus agrifolia	8-8-8est	65	20/15	Fair vigor, fair form, pruned for view.
353	Coast live oak	Quercus agrifolia	7-8est	65	20/15	Fair vigor, fair form, pruned for view.
354	Coast live oak	Quercus agrifolia	8-9est	65	20/15	Fair vigor, fair form, pruned for view.
355	Coast live oak	Quercus agrifolia	9est	65	20/15	Fair vigor, fair form, pruned for view.
356	Coast live oak	Quercus agrifolia	6-9est	65	20/15	Fair vigor, fair form, pruned for view.
357	Coast live oak	Quercus agrifolia	5-9est	65	20/15	Fair vigor, fair form, pruned for view.
358	Coast live oak	Quercus agrifolia	5-12est	65	20/15	Fair vigor, fair form, pruned for view.
359	Coast live oak	Quercus agrifolia	8est	65	20/15	Fair vigor, fair form, pruned for view.
360	Coast Live Oak	Quercus agrifolia	11est	65	20/15	Fair vigor, fair form, pruned for view.
361	Coast Live Oak	Quercus agrifolia	6-7est	65	20/15	Fair vigor, fair form, pruned for view.
362	Bay	Umbellularia californica	10-12est	65	20/15	Fair vigor, fair form, pruned for view.
363	Coast Live Oak	Quercus agrifolia	6est	65	20/15	Fair vigor, fair form, pruned for view.
364	Coast Live Oak	Quercus agrifolia	6est	65	20/15	Fair vigor, fair form, pruned for view.
365	Bay	Umbellularia californica	6est	65	20/15	Fair vigor, fair form, pruned for view.
366	Coast Live Oak	Quercus agrifolia	10.5	70	20/20	Good vigor, fair form
367	Coast Live Oak	Quercus agrifolia	12.9	70	25/25	Good vigor, fair form.
368	Coast live oak	Quercus agrifolia	9.4	70	18/18	Good vigor, fair form.
369	Coast Live Oak	Quercus agrifolia	6.9	70	10/10	Good vigor, fair fom.

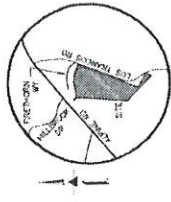


LEA & BRAZE ENGINEERS, INC.
 1400 S. GARDEN AVENUE, SUITE 100
 PORTOLA VALLEY, CALIFORNIA 94028
 TEL: (650) 947-1000 FAX: (650) 947-1001
 WWW.LEA-AND-BRAZE.COM

**40 FIRETHORN WAY
 PORTOLA VALLEY
 CALIFORNIA**

**TOPOGRAPHIC
 SURVEY**

DATE	11/15/11
PROJECT	40 FIRETHORN WAY
SCALE	1" = 10'
DRAWN BY	LEA
CHECKED BY	LEA
SHEET NO.	1 OF 1



VICINITY MAP
 NO SCALE



SCALE: 1" = 10'

EASEMENT NOTE
 A SUBSET OF THE REPORT FOR THE SUBJECT PROPERTY HAS BEEN DAMAGED BY LEA AND BRAZE ENGINEERS, INC. AND THE RECORD MAY BE IN THE RECORDS OF THE COUNTY OF SAN MATEO.

SITE BENCHMARK
 PORTOLA VALLEY BENCHMARK
 MAG. ELEVATION = 481.17'
 (PORTOLA VALLEY DATUM)

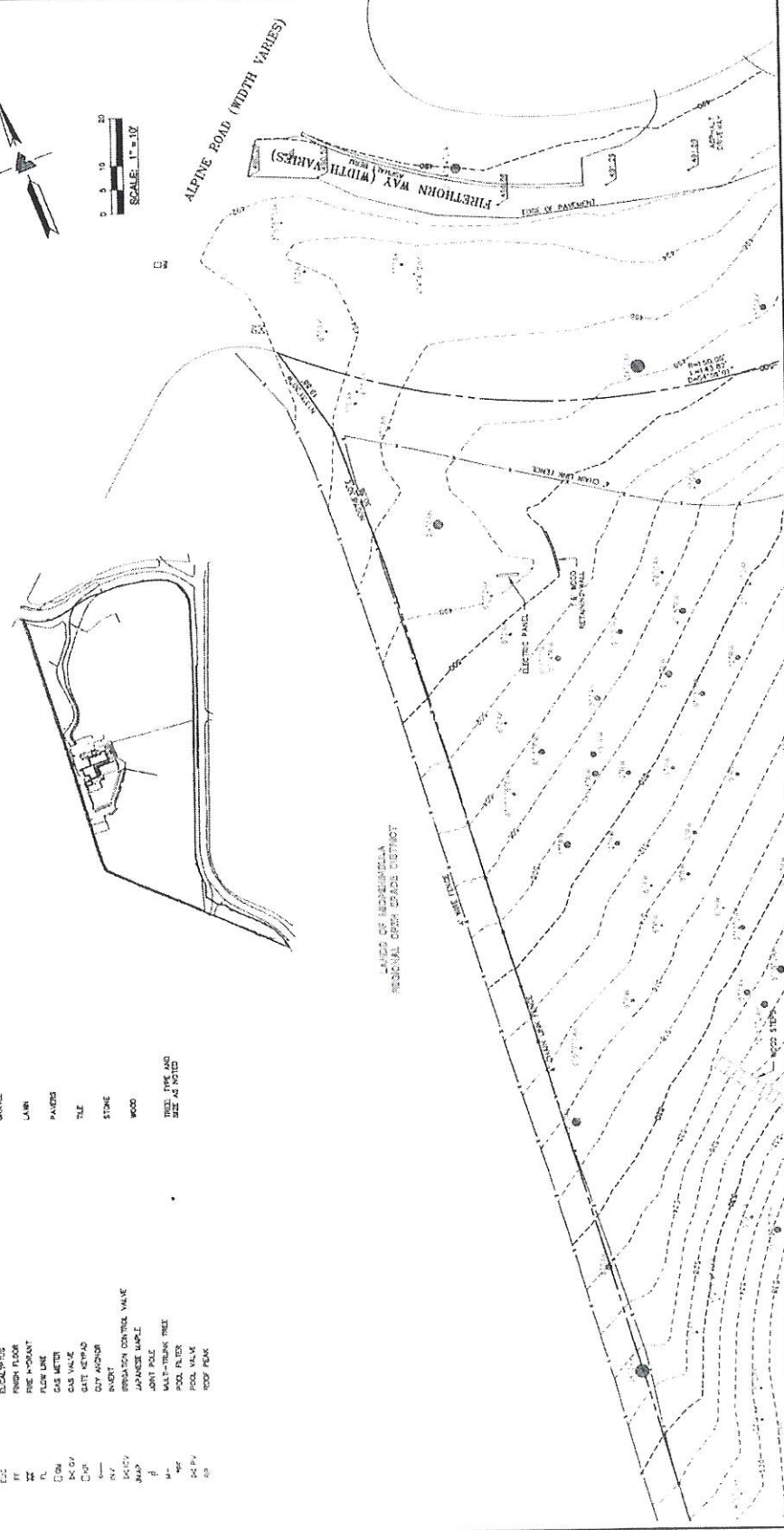
NOTES
 ALL DISTANCES ARE AS SHOWN UNLESS OTHERWISE NOTED.
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 UNLESS OTHERWISE NOTED, ALL DISTANCES ARE AS SHOWN.
 UNLESS OTHERWISE NOTED, ALL DISTANCES ARE AS SHOWN.

BENCHMARK
 PORTOLA VALLEY BENCHMARK
 37.5' SE OF STREET CORNER, 37.5' SE OF STOP SIGN
 INDICATED BY A LINE TO AND TO THE THIRDS RD.
 ELEVATION = 481.17'
 (PORTOLA VALLEY DATUM)

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING EXTERIOR LINE
- CONCRETE
- DRIVEWAY
- EASEMENT
- FENCE LINE
- FLOW LINE
- PROPERTY LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- AREA DRAIN
- BENCHMARK
- BELLAND
- BOTTOM RETAINING WALL
- CATCH BASIN
- CATCH BASIN METAL PIPE
- ELECTRICAL METER
- ELECTRICAL PANEL
- ELECTRICAL PANEL
- ELECTRICAL PANEL
- FINISH FLOOR
- FIRE MOUNT
- FLOW LINE
- GAS METER
- GAS VALVE
- GATE KEYPAD
- GUY ANCHOR
- INVERT
- IRRIGATION CONTROL VALVE
- JAPANESE LAMP
- JOINT POLE
- MOUNTAIN TREE
- MULTI-PURPOSE
- POD VALVE
- POD VALVE
- POD POLE

- WOOD
- WOOD PILE AND SIZE AS NOTED



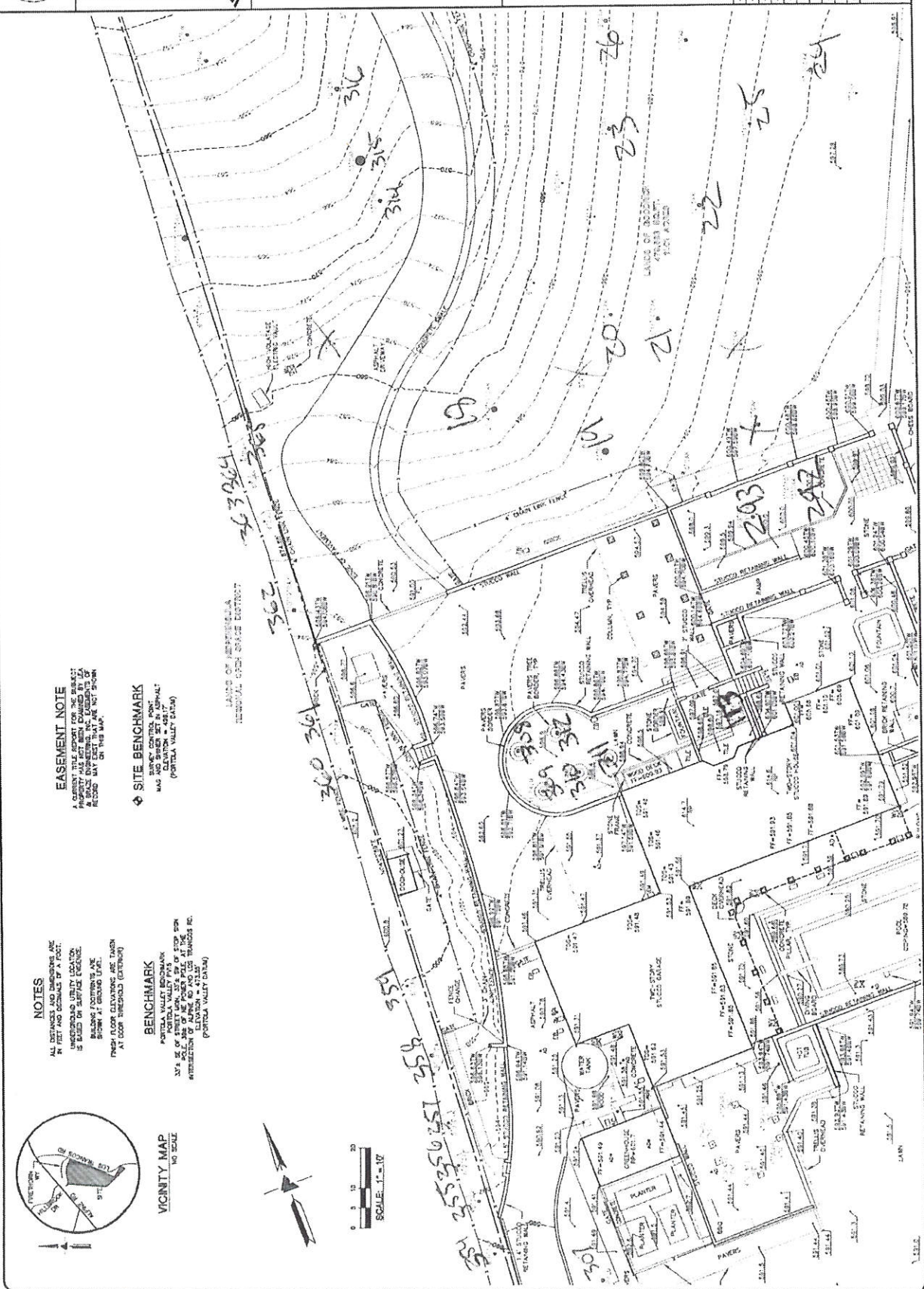


LEA & BRAZE ENGINEERING, INC.
 2055 CALIFORNIA STREET
 PORTOLA VALLEY, CA 94028
 (415) 947-7500
 WWW.LEA-BRAZE.COM

**40 FIRETHORN WAY
 PORTOLA VALLEY
 CALIFORNIA**

**TOPOGRAPHIC
 SURVEY**

DATE	12/15/2011
PROJECT NO.	111111
CLIENT	111111
SCALE	1"=100'
DATE	12/15/2011
BY	111111
CHECKED BY	111111
DATE	12/15/2011
SCALE	1"=100'
DATE	12/15/2011
SCALE	1"=100'
DATE	12/15/2011
SCALE	1"=100'



EASEMENT NOTE

A RECORDING OF THIS EASEMENT NOTE FOR THE TRACT PROPERTY HAS NOT BEEN FORWARDED TO THE COUNTY CLERK'S OFFICE. THIS EASEMENT NOTE IS VALID AND ENFORCEABLE IN ALL STATES THAT ACCEPT RECORDS THAT ARE NOT SHOWN ON THIS MAP.

◆ SITE BENCHMARK

SURVEY CONTROL POINT
 MARK
 ELEVATION = 428.17'
 (PORTOLA VALLEY DATUM)

NOTES

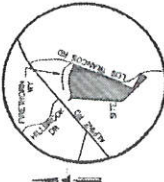
ALL DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
 UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING FOOTINGS ARE SHOWN AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE SHOWN IN DEEP RED ON THE MAP.

BENCHMARK

PORTOLA VALLEY BENCHMARK
 N.Y. 1/2 OF STREET WALK, S.E. 1/4 OF STOP SIGN
 INTERSECTION OF ALPINE RD AND LOS TUNOS RD.
 ELEVATION = 428.17'
 (PORTOLA VALLEY DATUM)

VICINITY MAP

NO SCALE



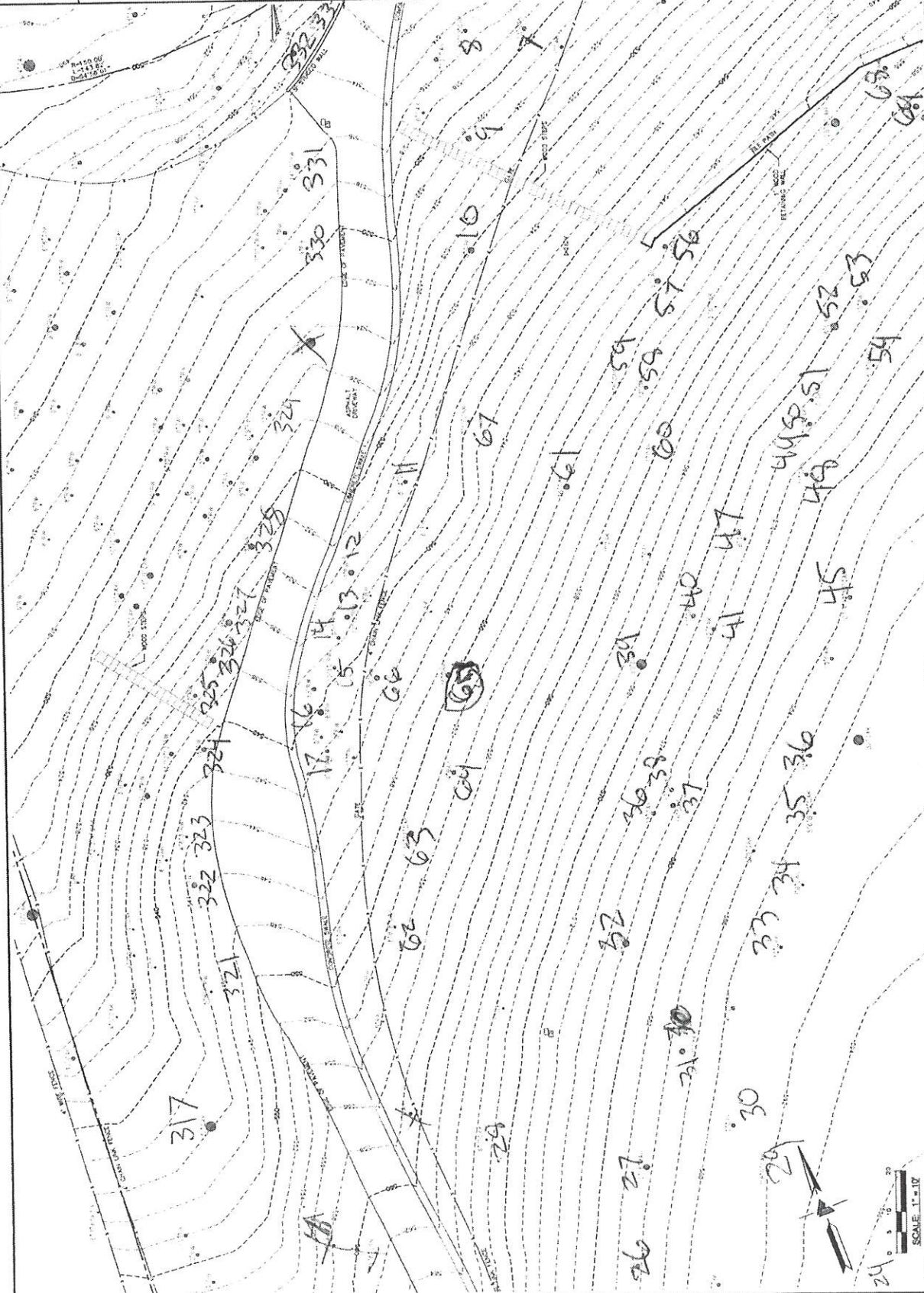


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 1000 W. 10TH STREET
 SUITE 100
 DENVER, CO 80202
 (303) 733-1100
 (303) 733-1101
 (303) 733-1102

40 FIRETHORN WAY
 PORTOLA VALLEY
 CALIFORNIA
 SAN MATEO COUNTY
 MAP DATE: 08/11/09
 MAP SCALE: 1" = 40'

TOPOGRAPHIC
 SURVEY

DATE	08/11/09
SCALE	1" = 40'
SHEET NO.	23
PROJECT NO.	09-001
CLIENT	09-001
DATE	08/11/09
SCALE	1" = 40'
SHEET NO.	23
PROJECT NO.	09-001
CLIENT	09-001



SCALE 1" = 40'

24

25

26

27

28

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35

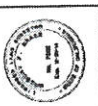
36

37

38

39

40

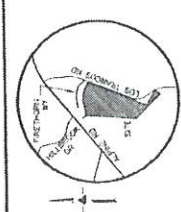
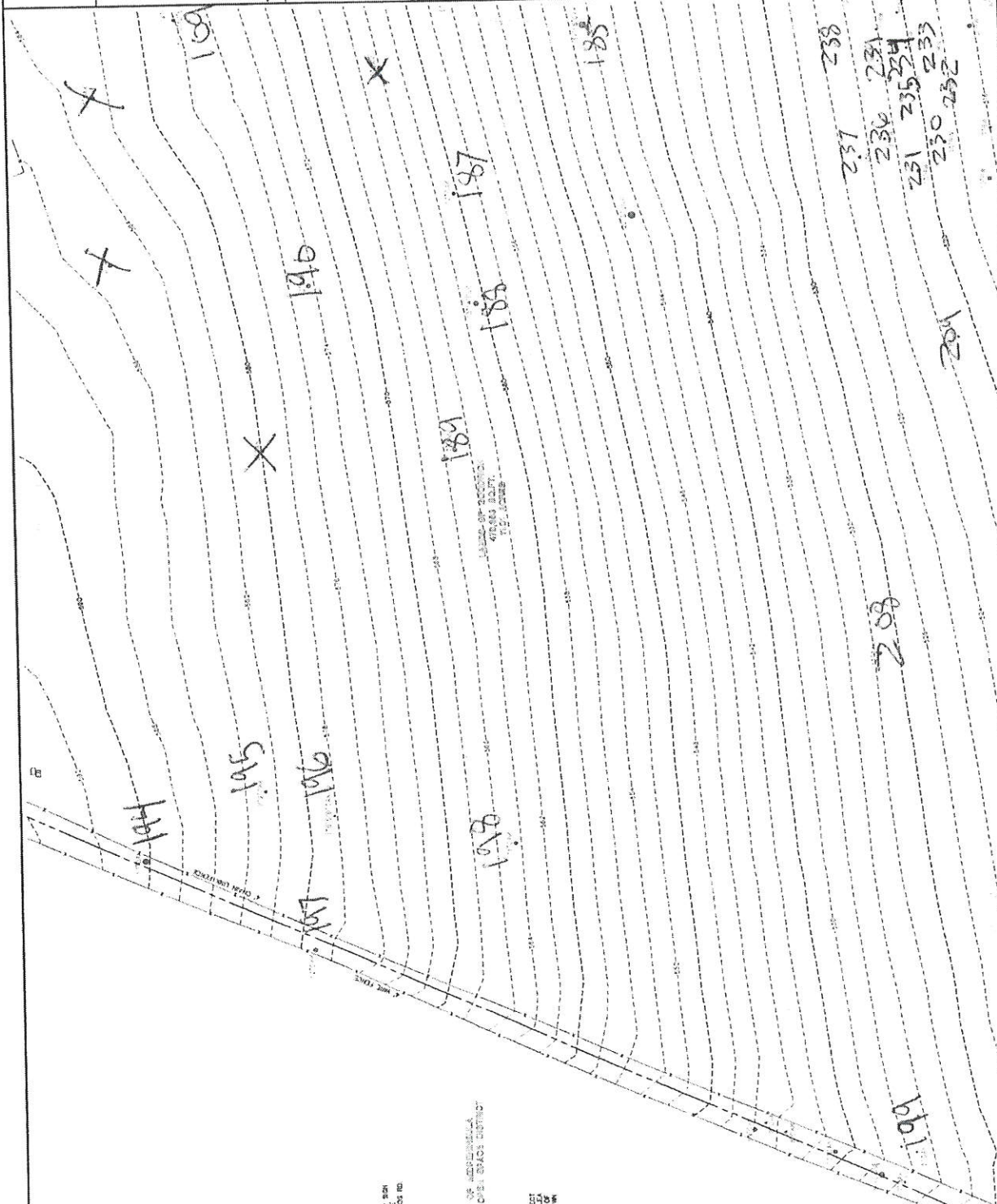


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 10000 BAY AREA BLVD., SUITE 100
 SAN FRANCISCO, CALIFORNIA 94134
 (415) 778-1000
 WWW.LEABRAZE.COM

40 FIRETHORN WAY
PORTOLA VALLEY
CALIFORNIA

TOPOGRAPHIC SURVEY

DATE	08/11/2011
PROJECT	40 FIRETHORN WAY
CLIENT	LEA & BRAZE ENGINEERING, INC.
DRAWN BY	LEA & BRAZE ENGINEERING, INC.
CHECKED BY	LEA & BRAZE ENGINEERING, INC.
SCALE	AS SHOWN
SHEET NO.	1
TOTAL SHEETS	1



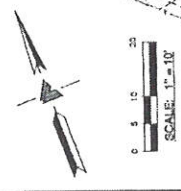
VICINITY MAP
 AS SHOWN

NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT. UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE TO FACE OF CURB OR FINISH GRADE. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

BENCHMARK
 PORTOLA VALLEY BENCHMARK
 PORTOLA VALLEY, CALIF. STOP SIGN
 1/4 MI. SE OF PORTOLA VALLEY, CALIF.
 ELEVATION 140.00 FT. (PORTOLA VALLEY DATUM)

EASEMENT NOTE
 PORTOLA VALLEY BENCHMARK
 PORTOLA VALLEY, CALIF. STOP SIGN
 1/4 MI. SE OF PORTOLA VALLEY, CALIF.
 ELEVATION 140.00 FT. (PORTOLA VALLEY DATUM)

SITE BENCHMARK
 SURVEY CENTER POINT
 MAG. WAGON # 48117
 ELEVATION 140.00 FT. (PORTOLA VALLEY DATUM)



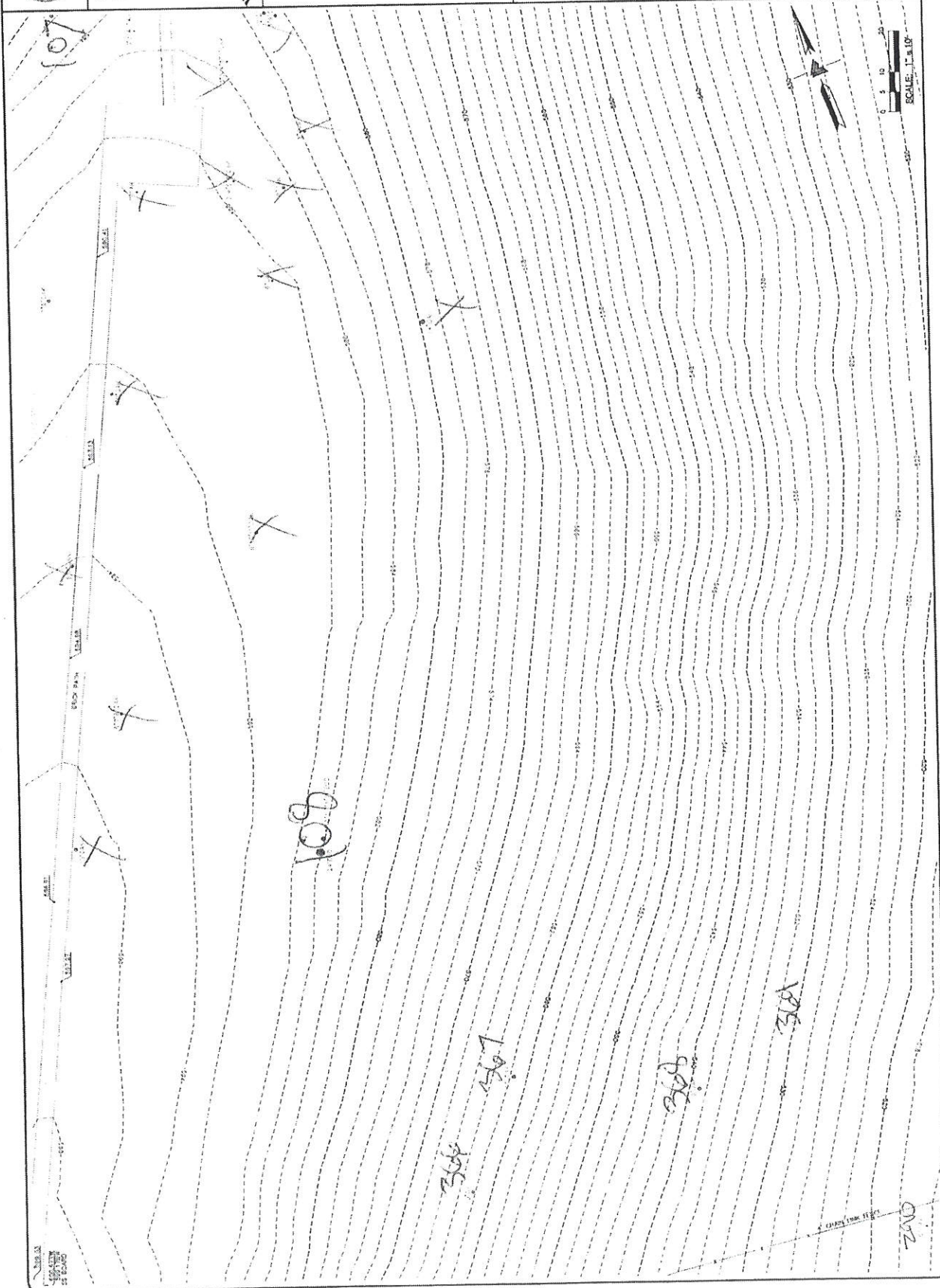
8110
SUB

DATE	10/1/12
PROJECT	PORTOLA VALLEY
SCALE	1" = 100'
DRAWN BY	...
CHECKED BY	...
DATE	...

TOPOGRAPHIC SURVEY

40 FIRETHORN WAY PORTOLA VALLEY CALIFORNIA

LEA & BRAZE ENGINEERING, INC.
1000 S. GARDEN AVENUE
SANTA ANA, CALIFORNIA 92705
TEL: (714) 941-1111
WWW.LEA-AND-BRAZE.COM



DATE: 10/1/12

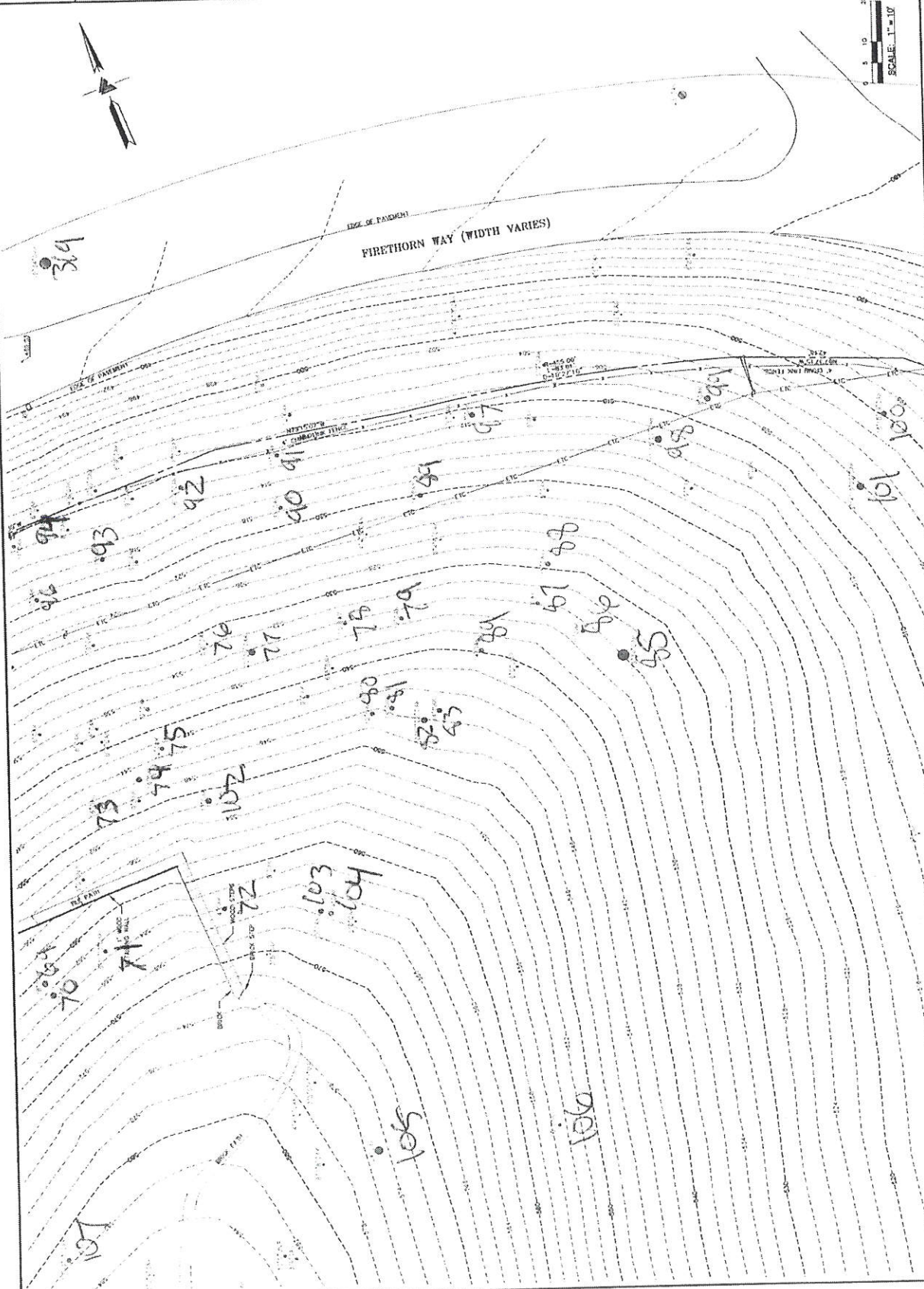


LEA & BRAZE ENGINEERING, INC.
10000
CIVIL ENGINEERING
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
NO. 10000
EXPIRES 12/31/2010

40 FIRETHORN WAY
PORTOLA VALLEY
CALIFORNIA

TOPOGRAPHIC
SURVEY

DATE	10/10/10
SCALE	1" = 10'
PROJECT	40 FIRETHORN WAY
CLIENT	LEA & BRAZE ENGINEERING, INC.
DRAWN BY	...
CHECKED BY	...
DATE	...



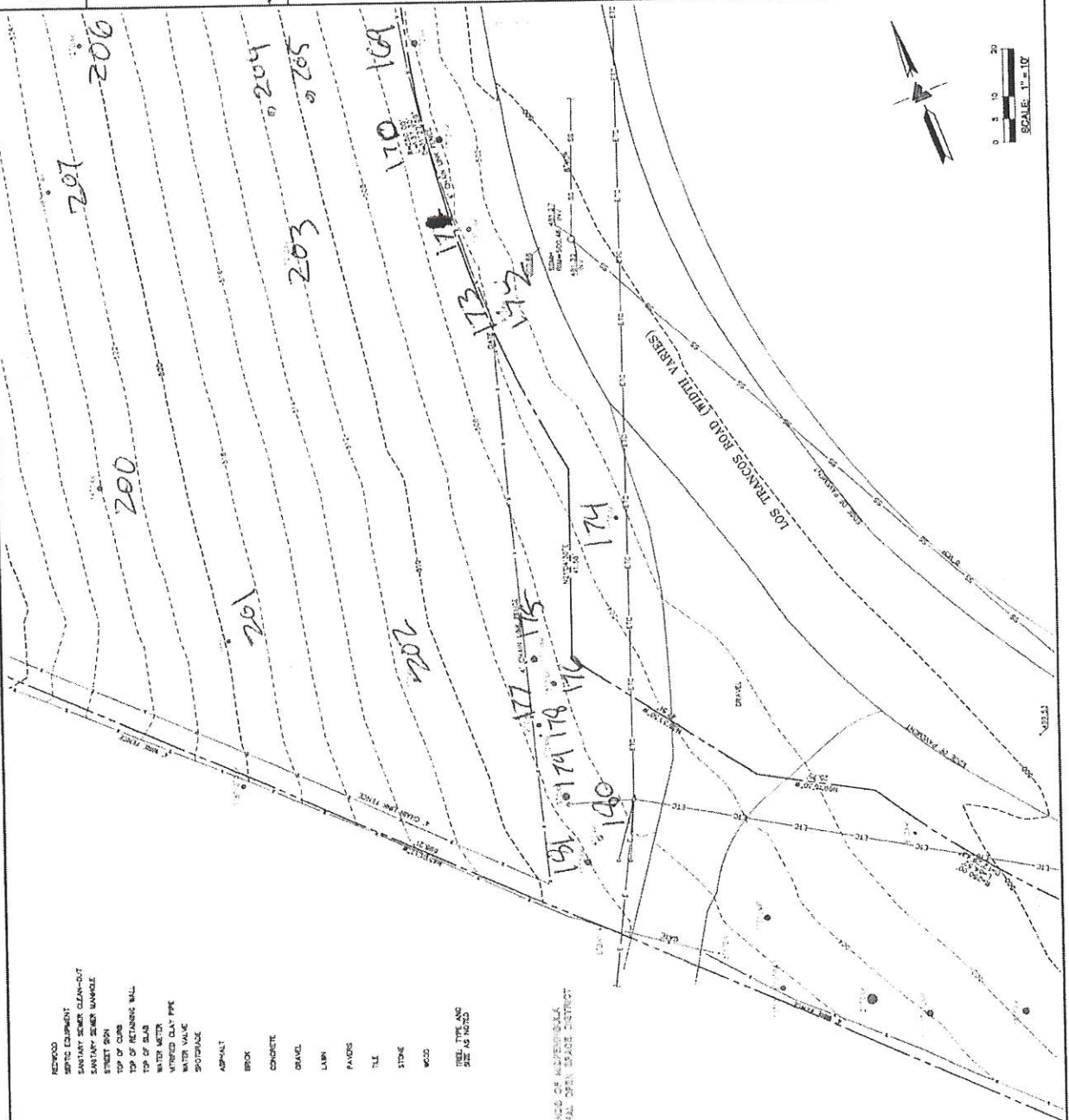


LEA & BRAZE ENGINEERING, INC.
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 ANAHEIM, CALIFORNIA 92805
 (714) 933-1111
 WWW.LEABRAZE.COM

40 FIRETHORN WAY
 PORTOLA VALLEY
 CALIFORNIA

TOPOGRAPHIC
 SURVEY

DATE	08/11/10
PROJECT NO.	1000000000
JOB NO.	2-1000000000
DATE	08/11/10
SCALE	1" = 10'
DATE	08/11/10
SCALE	1" = 10'
DATE	08/11/10
SCALE	1" = 10'



LEGEND AND NOTES

- | | |
|---|--|
| <ul style="list-style-type: none"> --- ROADWAY LINE --- BUILDING OUTLINE --- SANITARY SEWER CLEAN-OUT --- SANITARY SEWER MANHOLE --- STREET SIGN --- TOP OF CURB --- TOP OF RETAINING WALL --- TOP OF SLAB --- WATER METER --- WATER DRAIN LINE --- WATER DRAIN --- WATER VALVE --- SPOT ELEVATION --- ASPHALT --- BRICK --- CONCRETE --- GRAVEL --- LAMIN --- PAVERS --- TILE --- STONE --- WOOD | <ul style="list-style-type: none"> ○ 100 ○ 200 ○ 300 ○ 400 ○ 500 ○ 600 ○ 700 ○ 800 ○ 900 ○ 1000 ○ 1100 ○ 1200 ○ 1300 ○ 1400 ○ 1500 ○ 1600 ○ 1700 ○ 1800 ○ 1900 ○ 2000 ○ 2100 ○ 2200 ○ 2300 ○ 2400 ○ 2500 ○ 2600 ○ 2700 ○ 2800 ○ 2900 ○ 3000 ○ 3100 ○ 3200 ○ 3300 ○ 3400 ○ 3500 ○ 3600 ○ 3700 ○ 3800 ○ 3900 ○ 4000 ○ 4100 ○ 4200 ○ 4300 ○ 4400 ○ 4500 ○ 4600 ○ 4700 ○ 4800 ○ 4900 ○ 5000 ○ 5100 ○ 5200 ○ 5300 ○ 5400 ○ 5500 ○ 5600 ○ 5700 ○ 5800 ○ 5900 ○ 6000 ○ 6100 ○ 6200 ○ 6300 ○ 6400 ○ 6500 ○ 6600 ○ 6700 ○ 6800 ○ 6900 ○ 7000 ○ 7100 ○ 7200 ○ 7300 ○ 7400 ○ 7500 ○ 7600 ○ 7700 ○ 7800 ○ 7900 ○ 8000 ○ 8100 ○ 8200 ○ 8300 ○ 8400 ○ 8500 ○ 8600 ○ 8700 ○ 8800 ○ 8900 ○ 9000 ○ 9100 ○ 9200 ○ 9300 ○ 9400 ○ 9500 ○ 9600 ○ 9700 ○ 9800 ○ 9900 ○ 10000 |
|---|--|

NOTES

ALL ELEVATIONS ARE DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
 UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE ELEVATION.
 DIMENSIONS ARE TO CENTER LINE UNLESS NOTED OTHERWISE.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT 100% FINISH (EXTERIOR).
BENCHMARK
 PORTOLA VALLEY BENCHMARK
 32' OF PORTOLA VALLEY PAVES PER 100' VERTICAL CURVE AS POWER POLE AT THE INTERSECTION OF ASPEN RD AND LOS TRANCOS RD (PORTOLA VALLEY DATA)

EASEMENT NOTE

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY SHOULD BE OBTAINED BY THE LANDOWNER OR A BONA FIDE PURCHASER OF THE PROPERTY TO DETERMINE THE EXISTING EASEMENTS AND RECORD ON THIS MAP.

SITE BENCHMARK

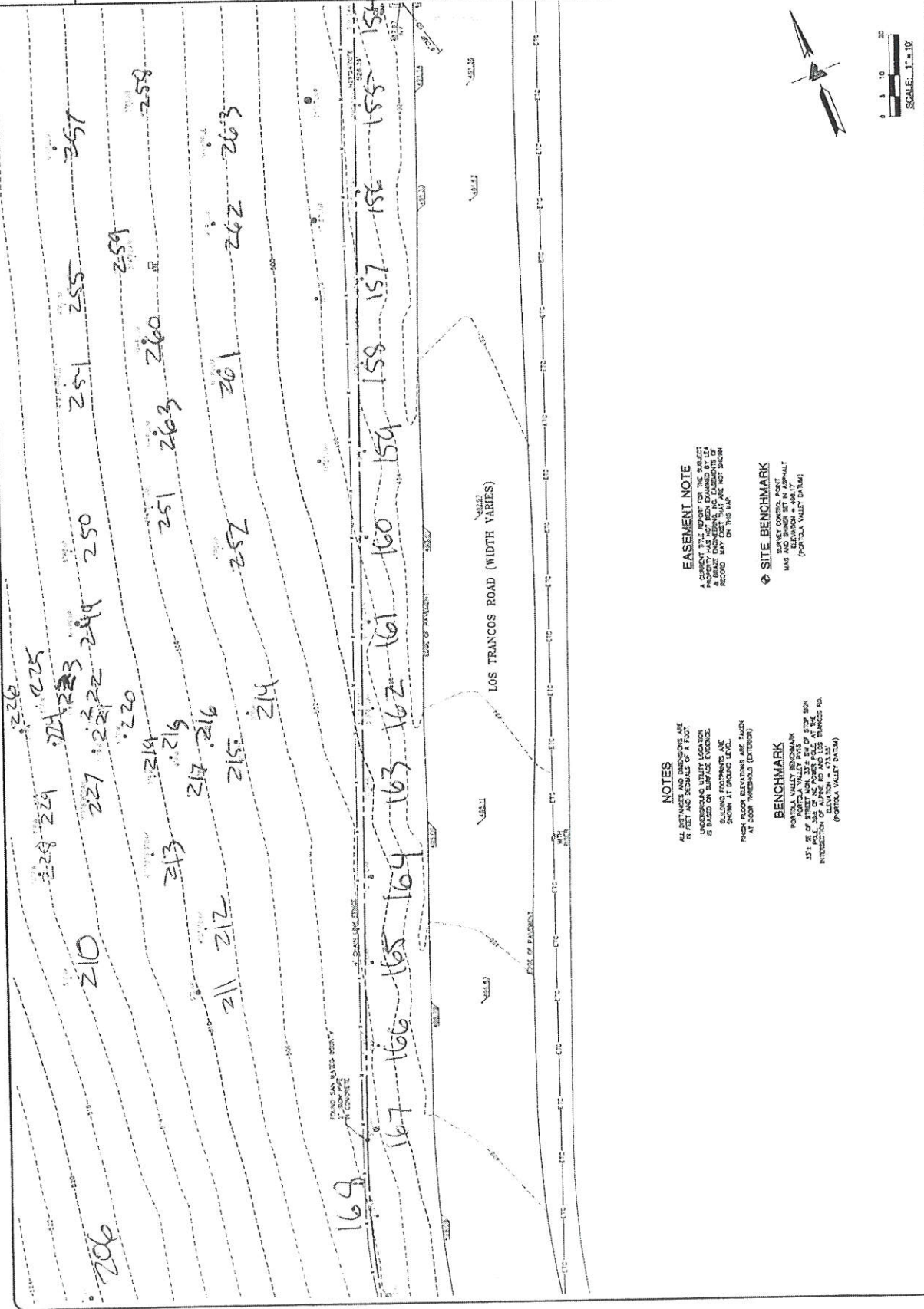
MARK AND SHOW SET IN ASPHALT (PORTOLA VALLEY DATA)



LEA & BRAZE ENGINEERS, INC.
 CIVIL ENGINEERS - LAND ENGINEERS
 2400 BAYVIEW AVENUE, SUITE 100
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 (925) 947-8000
 WWW.LEABRAZE.COM

**40 FIRETHORN WAY
 PORTOLA VALLEY
 CALIFORNIA**

**TOPOGRAPHIC
 SURVEY**



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT. UNDERGROUND UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TAKEN AT 100% REDUCED (EXTENSION).

BENCHMARK

PORTOLA VALLEY BENCH
 15' E OF STREET CORNER, 5' S OF THE INTERSECTION OF ALPINE RD AND LOS TRANCOS RD.
 (PORTOLA VALLEY DATUM)

EASEMENT NOTE

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY INDICATES THE EXISTENCE OF A RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.

SITE BENCHMARK

BENCH CONTROL POINT
 145' AND 150' SET IN ASPHALT
 (PORTOLA VALLEY DATUM)



SU11
 11 OF 13 SHEETS

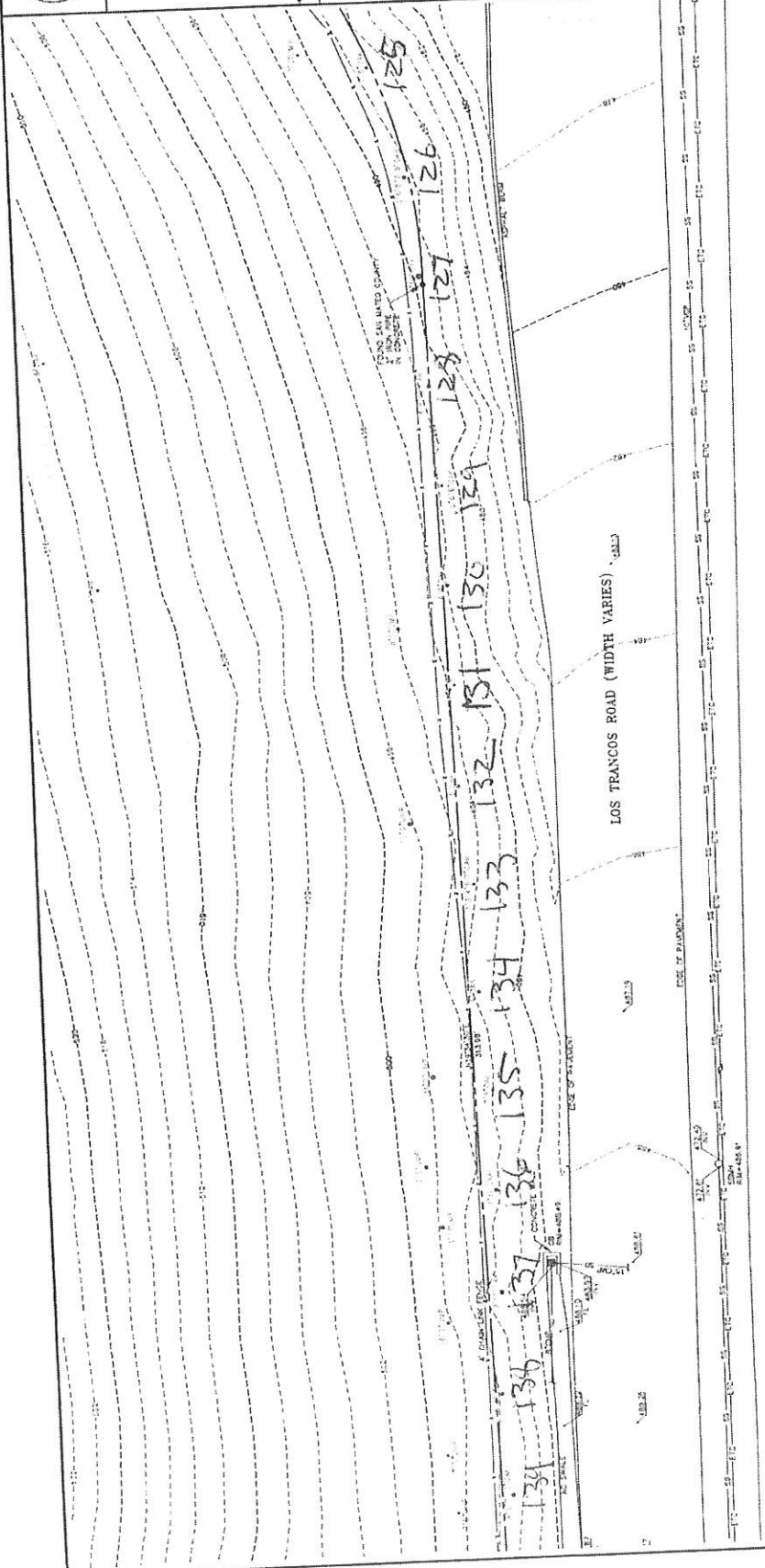


LEA & BRAZE ENGINEERING, INC.
 10000
 STATE OF CALIFORNIA
 EXPIRES 12/31/2024
 PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 10000
 STATE OF CALIFORNIA
 EXPIRES 12/31/2024

**40 FIRETHORN WAY
 PORTOLA VALLEY
 CALIFORNIA**

**TOPOGRAPHIC
 SURVEY**

DATE	08/15/2023
SCALE	1" = 40'
SHEET NO.	13
SU13	



EASEMENT NOTE
 A CURRENT FIELD REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN OBTAINED. THE RECORDS MAY REVEAL EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.

◆ SITE BENCHMARK
 BENCH MARK SET IN APPROXIMATELY 1970
 ELEVATION = 471.35
 (PORTOLA VALLEY DATUM)

NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
 UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD.
 BENCH MARK ELEVATIONS ARE TAKEN AT 100% REDUCTION (STATIONARY).
 PORTOLA VALLEY BENCHMARK
 PORTOLA VALLEY BENCHMARK
 SET IN APPROXIMATELY 1970
 ELEVATION = 471.35
 (PORTOLA VALLEY DATUM)

BENCHMARK
 PORTOLA VALLEY BENCHMARK
 PORTOLA VALLEY BENCHMARK
 SET IN APPROXIMATELY 1970
 ELEVATION = 471.35
 (PORTOLA VALLEY DATUM)

Preliminary Conservation Committee Comments

Address 40 Firethorn

Date Sept. 15, 2017

Committee members at site visit: Marge **DeStaebler**, **Paul Heiple**

Grading volume is 950 cuft

Impermeable Surfaces

Impermeable surfaces should be kept to a minimum. This plan has extensive patio/pathways/decking all laid on concrete pad base. Consideration should be given to having some large portion of this laid on a pervious base.

Proposed impermeable surface is 95.5% of the maximum limit of 16,813 sq.ft.

Landscape Plan:

We appreciate and encourage areas left open and native

We appreciate limited amount of turf – suggest use only lowest water use varieties... There is a 10' x 40' Fescue sod lawn on plans.

Several inappropriate specimens are currently growing on the property, The committee is pleased that the property owner is removing several Eucalyptus, palm and redwoods .

Olea europaea and Carex tumulicola are both on the PV do not plant list. See recommended native species replacements below.

Plants List

Are the plants mostly native?

The planting list is 38% plants native to California. Of the 2829 plants to be installed, 655 are native to California. Coastal grasses and grass like plants number 437 of that total. These coastal plants may not do well in the hot inland location without extra watering.

One plant, *Dymondia margaratae*, is on the plans but not on the list. Are there others in this complex plan?

Are the non- native plants chosen ones that require little water?
Yes

Are there native species that might make good substitutes?
Plant blue oaks for olives, native grasses for the *Carex tumulicola*.

Do the plants chosen for an area have the same water and light requirements?
Yes, except for one location mixing maples with Manzanita.

Is enough room allowed for the plants to grow and mature?
The plantings are excessively dense, most plants will have grown together in five years.

Will the native trees on the property receive too much summer water to maintain their health? Plantings near native trees are low water species. However, planting Manzanita under oaks does not allow enough light for the manzanita to grow well.

Fencing The plans call for 4' fencing but the same line of fencing is labeled as a 5'6" to 6' fence in other locations of the plan. Please clarify.

NATIVE HILLSIDE

In addition to the landscaped areas detailed in the submitted plan, there is a large area that will be left in the current condition except for the removal of fruit trees in bad condition and some eucalyptus trees.

The committee strongly recommends that this area remain undisturbed and the following steps taken to move it even closer to a native condition, both to preserve the rural atmosphere of the neighborhood and to provide habitat for local wildlife:

1. Removal of invasive plants and eucalyptus trees.
2. Careful protection and maintenance oak trees.
3. Any additional plantings are discouraged and should be strictly limited to materials on the Town Native Plant List, and appropriate to the existing habitat. The plantings down the path to the NNE seems to be rather far from the house and into native habitat. We suggest this be pulled back toward the house.
4. Any paths should be of only pervious material. We suggest this NNE path not be hardscape.
5. Fire mitigation should be mindful and focus on removing fire ladders and opening breaks between clumps of vegetation while preserving important habitat.
6. Any work done on the property should fully protect this area from the effects of construction debris and runoff. Large machinery should not be allowed in this area, even for access – alternative routes should be used. Erosion control should be carefully implemented.

Notes: The distance from the house to the MROSD fence seems to be wrong, plan has 40' but it seems less than that.

Lighting an issue since this is a hilltop home. No cut sheet provided. Lights seem rather bright.

Non-native grasses checked, none are reported to be invasive.

There are some significant oaks marked for removal along Los Trancos road in the area to be widened. These are on the lot to be divided from the original property.

The Committee would like to accompany ASCC on their site visit to see if additional comments from us are warranted.

Submitted by Paul Heiple



huettl
landscape architecture

3496 Buskirk Ave. Ste 106 T 925.937.6400
Pleasant Hill, CA 94523 F 925.937.6401

September 28, 2017

Cynthia Richardson
Planning Consultant
Town of Portola Valley
765 Portola Rd.
Portola Valley, CA 94028

RE: Preliminary Conservation Committee Comments for ASCC Review
40 Firethorn Way
File # PLN_ARCH 35-2017

Dear Cynthia,

This letter is to address the Preliminary Conservation Committee Comments dated Sept 15th, 2017. The questions brought up in the letter are paraphrased or simply titled.

1. Impermeable surfaces should be kept to a minimum.

A: The impermeable surfaces are within the maximum limit but we can already see one or more areas where they can be reduced for the next submittal.

2. Landscape plan comments: Are the plants mostly native?

A: The *Olea europea* can be substituted with *Quercus douglassii* – Blue Oak.

Carex tumulicola is listed on the native groundcover list. There is some confusion between *Carex tumulicola* (native) and *Carex divulsa* (non-native). They can be distinguished by their seed head placement and sourced from reputable growers. Once the *Carex* are counted as native the native plant count increases to 1119 natives.

Dymondia groundcover is the only plant not on the plant list and its use is limited to an area in a fire truck access lane.

3. Fencing:

A: Fencing was re-labeled and shown on revised plans. Chain link is labeled to be removed.

4. Native Hillside: Item 3.

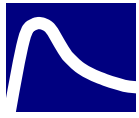
A: Plantings along the path are an idealization of the regional landscape. The existing hillside grasses are not native. We are open to reducing the planting along the path.

5. Lighting:

A: Landscape lighting is minimal and cut sheets are provided with the resubmittal.

Please let me know if you need any further documentation support.
Sincerely,

Joseph Huettl
Huettl Landscape Architecture



August 16, 2017
V5096A

TO: CheyAnne Brown
Planning Technician
TOWN OF PORTOLA VALLEY
765 Portola Road
Portola Valley, California 94028

SUBJECT: **Geologic and Geotechnical Peer Review**
RE: YLCL Investments, Proposed Residence
40 Firethorn Way, Portola Valley
PLN_ARCH 5-2017

At your request, we have completed a geologic and geotechnical peer review of the Site Development Permit application for the proposed new residential development using the following documents:

- Geotechnical Investigation (report), prepared by Romig Engineers Inc., dated July 14, 2017;
- Feasibility Investigation (report), prepared by Romig Engineers Inc., dated March 4, 2016;
- Civil Plans, including: Site Plan, Grading and Drainage Plans, Erosion Control Plans, and Details (20-sheets, various scales), prepared by Lea and Braze Engineering, Inc., dated July 21, 2017;
- Architectural Plans (19 sheets, various scales), prepared by Swatt Miers Architects, undated; and
- Landscape Plans (7 sheets, 16-scale), prepared by Huettl Landscape Architects, dated July 17, 2017.

In addition, we have reviewed pertinent technical documents from our office files and performed a recent site inspection.

DISCUSSION

Based on our review of the referenced documents, we understand that the applicant proposes to construct a new residential development, consisting of an approximate 7,100 square-foot two-story residence with basement, detached garage/poolhouse, and swimming pool. The new residence is to be located in the same general vicinity as the existing residence.

In our previous review report, dated March 21, 2016, for a proposed lot split, we recommended approval of the lot split from a geologic and geotechnical standpoint.

SITE CONDITIONS

The proposed residential development area is characterized, in general, by a prominent northeast-southwest oriented ridgeline, with mostly level to gently inclined slopes atop the ridge, and moderately steep to steep, east facing natural hillside topography flanking the ridge (up to 25-degree inclinations). Subsurface exploration performed by the Project Geotechnical Consultant encountered Franciscan Complex greenstone bedrock materials overlain by shallow (1 to 4 feet thick) surficial soil materials. The proposed residential construction site would be on top of the ridge along the gently inclined upland slopes. Drainage is characterized by sheetflow directed to the east.

The Town Geologic Map indicates that the site is underlain, at depth, by greenstone bedrock materials of the Franciscan Complex (Kfg) for most of the property. Whiskey Hill Formation (Twh) is mapped along the hilltop knoll and Quaternary alluvium (Qal) is mapped along Los Trancos Road. Site surficial soil materials consist of sandy clay with angular clasts of Franciscan greenstone. The Town Movement Potential Map shows that the subject site is located within an "Sbr" zone, which is defined as: *"Level ground to moderately steep slopes underlain by bedrock within approximately three feet of the ground surface or less; relatively thin soil mantle may be subject to shallow landsliding, settlement, and soil creep."* A very small mapped "Sun" zone is located in the southernmost portion of the subject site. A "Sun" zone is defined as: *"Unconsolidated granular material (alluvium, slope wash, and thick soil) on level ground and gentle slopes; subject to settlement and soil creep; liquefaction possible at valley floor sites during strong earthquakes."*

The potentially active Berrocal and Monta Vista faults are 0.3 miles southwest and 0.2 miles northeast of the subject site, respectively. The active San Andreas Fault is mapped approximately 0.9 miles southwest of the property boundary.

CONCLUSIONS AND RECOMMENDED ACTION

The proposed new residential construction site is potentially constrained by expansive surficial soil materials, surficial soil creep, shallow sloughing of soil materials, and the susceptibility of the site to very strong seismic ground shaking. The Project Geotechnical Consultant performed an investigation of the building site and provided geotechnical design recommendations that are in general conformance with industry standards. These recommendations include supporting the residential basement on a mat slab, and the at-grade portions of the structure on piers. Foundation recommendations include minimum 16-inch diameter piers embedded a minimum of 8 feet into weathered bedrock. Portions of the swimming that are to extend over the steeper eastern slopes have been recommended to be supported by piers.

We do not have geotechnical objections to the layout and design of the proposed residence, and recommend approval of the Site Development permit application from a geotechnical standpoint. The following should be performed prior to approval of Building Permits:

1. **Development Plans** - Structural plans should be generated that reflect the recommendations of the geotechnical consultant.
2. **Geotechnical Plan Review** - The applicant's geotechnical consultant should review and approve all geotechnical aspects of the development plans (i.e., including site preparation and grading, site drainage improvements and design parameters for building foundations and retaining walls) to ensure that their recommendations have been properly incorporated.

The Development Plans and Geotechnical Plan Review should be submitted to the Town for review by Town Staff and Town Geotechnical Consultant prior to issuance of building permits.

LIMITATIONS

This geologic and geotechnical peer review has been performed to provide technical advice to assist the Town in its discretionary permit decisions. Our services have been limited to review of the documents previously identified, and a visual review of the property. Our opinions and conclusions are made in accordance with generally accepted principles and practices of the geotechnical profession. This warranty is in lieu of all other warranties, either expressed or implied.

Respectfully submitted,

COTTON, SHIRES AND ASSOCIATES, INC.
TOWN GEOTECHNICAL CONSULTANT

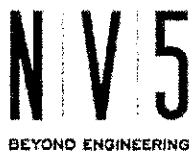


John M. Wallace
Principal Engineering Geologist
CEG 1923



Patrick O. Shires
Senior Principal Geotechnical Engineer
GE 770

JMW:POS:KW



MEMORANDUM

DATE: August 18, 2017
TO: Howard Young and CheyAnne Brown, Town of Portola Valley
FROM: David M. (Mike) McNeely & Nona Espinosa, NV5
PROJECT: 40 Firethorn Way-- Site Development Permit Application (PLN ARCH 35-2017)
PROJECT #: SJ00717-78
SUBJECT: Review Comments for Submitted Plans

NV5 has completed the review of the plans (Lea and Braze dated 07/21/17) and have the following comments:

A. General.

1. All items listed in the most current "Public Works & Engineering Department Site Development Standard Guidelines and Checklist" shall be reviewed and met. Completed and signed checklist by the project architect or engineer must be submitted with building plans. Document is available on Town website.
2. All items listed in the most current "Public Works & Engineering Department Pre-Construction Meeting for Site Development" shall be reviewed and understood. Document is available on Town website.
3. Any revisions to the Site Development plan permit set shall be resubmitted for review. The revised items must be highlighted on the plans and each item listed on letterhead.
4. Address all plan review comments and subsequent review comments from NV5 to the Town's satisfaction.

B. Specific (for consideration during building plan submittal).

Hydrology/Hydraulic

1. Provide documentation of the total overall impervious area for pre-condition and post-development and evaluate if project increases peak flows into creeks and can cause erosion (referred to as hydromodification) which requires mitigation, and state what type of mitigation is used. Please also provide a summary table providing the previous and proposed impervious area.

August 18, 2017

Page 2 of 2 of 30 Firethorn Memo

2. Provide documentation of post-development peak flow and velocity calculations. Post-development peak runoff must be less than or equal to pre-development. The plan shows retention system for mitigation of any increase in peak runoff due to increased impervious area.
3. For the runoff calculation for existing and proposed, please provide the watershed delineation, time of concentration for peak flow and runoff coefficient used for hillside development.
4. Provide calculation and detailed plan of drainage system, showing storm drainage piping, outfall and rock slope protection.
5. Implement site design measure per stormwater quality control requirements (effective on December 1, 2012) for development projects that will create and/or replace at least 2,500 square feet of impervious surface, but less than 10,000 square feet of impervious surface, and stand-alone single family homes that create and/or replace 2,500 square feet or more of impervious surface. These requirements are in the San Francisco Bay Region Municipal Regional Stormwater Permit (MRP) and are described on the San Mateo County website.

Design Plans:

1. Sheet C-2.0 to C-2.2 – Please remove these sheets because this road widening work will be the subject of a separate permit. This package is for the single family development only.
2. Sheet C-2.3 to C-2.5 – The Fire Marshal should approve use of the existing 12' wide driveway entrance (vs. the standard of 14 feet with parallel curbs or retaining walls), and use of the wide section of the existing driveway at station 5+35± as an acceptable turnout for fire apparatus.
3. Sheet C-2.6 – Verify that the proposed grass paver can handle the fire truck loading and provide 3 feet of cover for all utilities. Check that required horizontal and vertical utility clearances are provided. The separation between the waterline and the joint trench appears inadequate.
4. Sheet C-2.8 – How does the trench drain along concrete patio drain? It is not connected to the proposed drainage system. At the southeast corner at the pool area, the proposed finished grade and existing grade has roughly 5 feet difference vertically. How is the area graded? Is there a retaining wall along this side of the residence?
5. Provide cleanouts on the proposed storm drain system.
6. Please add a note to refer to architectural plans for site plan demolition.
7. Disconnect the proposed lawn subdrain system from retention system and provide a separate outfall and cleanouts.

• NFE 8/18/17

MM
8/18

NIVIS

OFFICES NATIONWIDE

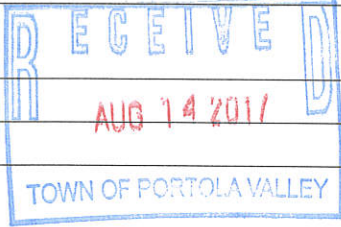

WOODSIDE FIRE PROTECTION DISTRICT

Prevention Division

808 Portola Rd. Portola Valley, CA ~ www.woodsidefire.org ~ Fire Marshal Denise Enea 650-851-6206

ALL CONDITIONS MUST MEET WFPD SPECIFICATIONS – go to www.woodsidefire.org for more info

BDLG & SPRINKLER PLAN CHECK AND INSPECTIONS

PROJECT LOCATION:40 FIRETHORNE	Jurisdiction: PV	
Owner/Architect/Project Manager: YLCL Investments LLC	Permit#: PLN ARCH35-2017	
PROJECT DESCRIPTION: New House, Pool house, Garage		
Fees Paid: <input checked="" type="checkbox"/> \$YES <input checked="" type="checkbox"/> See Fee Comments Date: 8/10/2017		
Fee Comments: CH#5003....\$90.00 (plan review fee) paid by: YLCL CORP.		
BUILDING PLAN CHECK COMMENTS/CONDITIONS: THE FOLLOWING REQUIREMENTS MUST BE MET IN ORDER TO PASS FINAL FIRE INSPECTION: <ol style="list-style-type: none"> 1. Address clearly posted and visible from street w/minimum of 4" numbers on contrasting background. 2. 100' defensible space required prior to start of construction. 3. Upon final inspection 30' perimeter defensible space will be required per WFPD ordinance section 304.1.2.A 4. Approved spark arrestor will be required on all installed chimneys including outside fireplaces. 5. Install Smoke and CO detectors per 2016 CBC. 6. NFPA 13D Fire Sprinkler System to be installed in main residence, pool house and garage. Sprinkler plans/calculations to be submitted under separate cover to WFPD. see WFPD standards (www.woodsidefire.org) 7. Driveway as proposed does not meet WFPD standards, Turnaround width is less tha 12'. Driveways with a curb and retaining wall require 14' width. If driveway dimensions are revised during construction it must maintain compliance with WFPD standards (see www.woodsidefire.org) RESUBMIT showing correct 12' width per WFPD standards. 8. Driveway over 350' required to have turnout. see WFPD standards (www.woodsidefire.org) 9. Driveway over 150' required to have fire truck turnaround. see WFPD standards (www.woodsidefire.org) RESUBMIT SHOWING 12' WIDTH ON DRIVEWAY TURNAROUND. 10. Fire Hydrant capable of 1000 gpm must be within 500' of farthest proposed structure. Hydrant should be measured via an approved roadway. HYDRANT NOT SHOWN ON PLANS. RESUBMIT SHOWING DISTANCE AND LOCATION OF NEAREST HYDRANT OVERLAYED ON THE PLANS IN LEGIBLE PRINT. PRINT IS TOO SMALL. 11. Electric Gate required to have knox key switch installed see (knox model # 3502) www.knoxbox.com/gate-keys-and-padlocks. Gate to be minimum of 12' driveable width when open. <p>RESUBMIT: PRINT IS TOO SMALL AND NOT LEGIBLE. INCREASE THE PRINT SIZE PLEASE SHOW ITEMS # 7, 8, 9, 10 AND 11 ON RESUBMITTAL THAT IS IN LARGER PRINT AND LEGIBLE.</p>		
Reviewed by:D. Bullard	Date: 8/10/2017	
<input checked="" type="checkbox"/> Resubmit	<input type="checkbox"/> Approved with Conditions	<input type="checkbox"/> Approved without conditions
Sprinkler Plans Approved: NO	Date:	Fees Paid: <input checked="" type="checkbox"/> \$390 <input type="checkbox"/> See Fee Comments
As Builts Submitted: -----	Date:	As Builts Approved Date:
Fee Comments: CH#....\$350.00 (fire sprinkler plan review) paid by: IF NO SPRINKLERS REMOVE COMMENT		
Rough/Hydro Sprinkler Inspection By: -----	Date:	
Sprinkler Inspection Comments:		
Final Bldg and/or Sprinkler Insp By: -----	Date:	

Trails and Paths Committee Comments

Date: 8/11/2017

Project Address: 40 Firethorn Way

Project Description: New Residence

Committee Comments:

1. The trail/path along Firethorn Way shall remain open and unobstructed during all phases of Construction. The staging plan should provide for construction related parking and materials storage in an area that does not block the trail/path.

Color and Materials Board
40 Firethorn New Residence







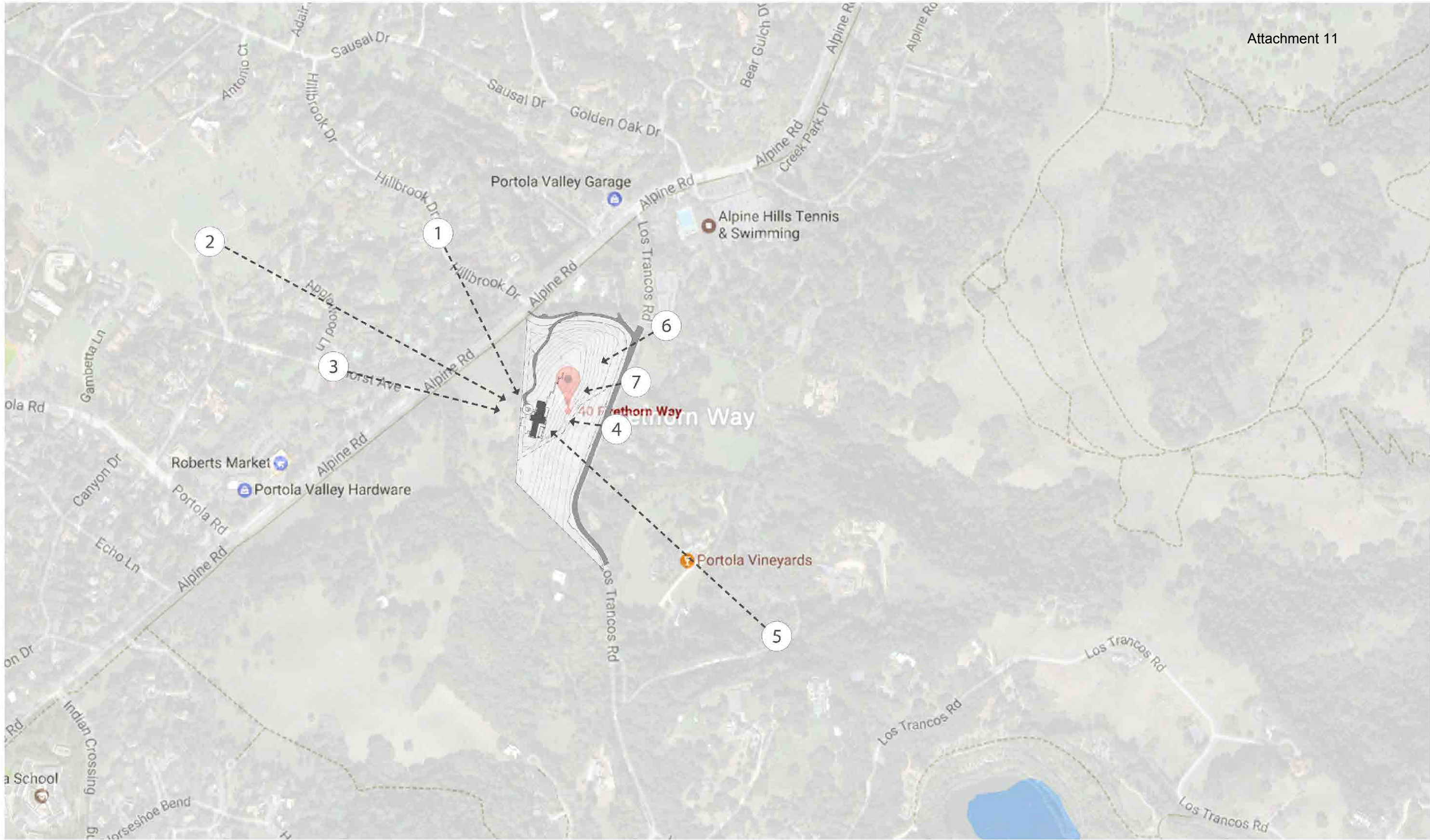








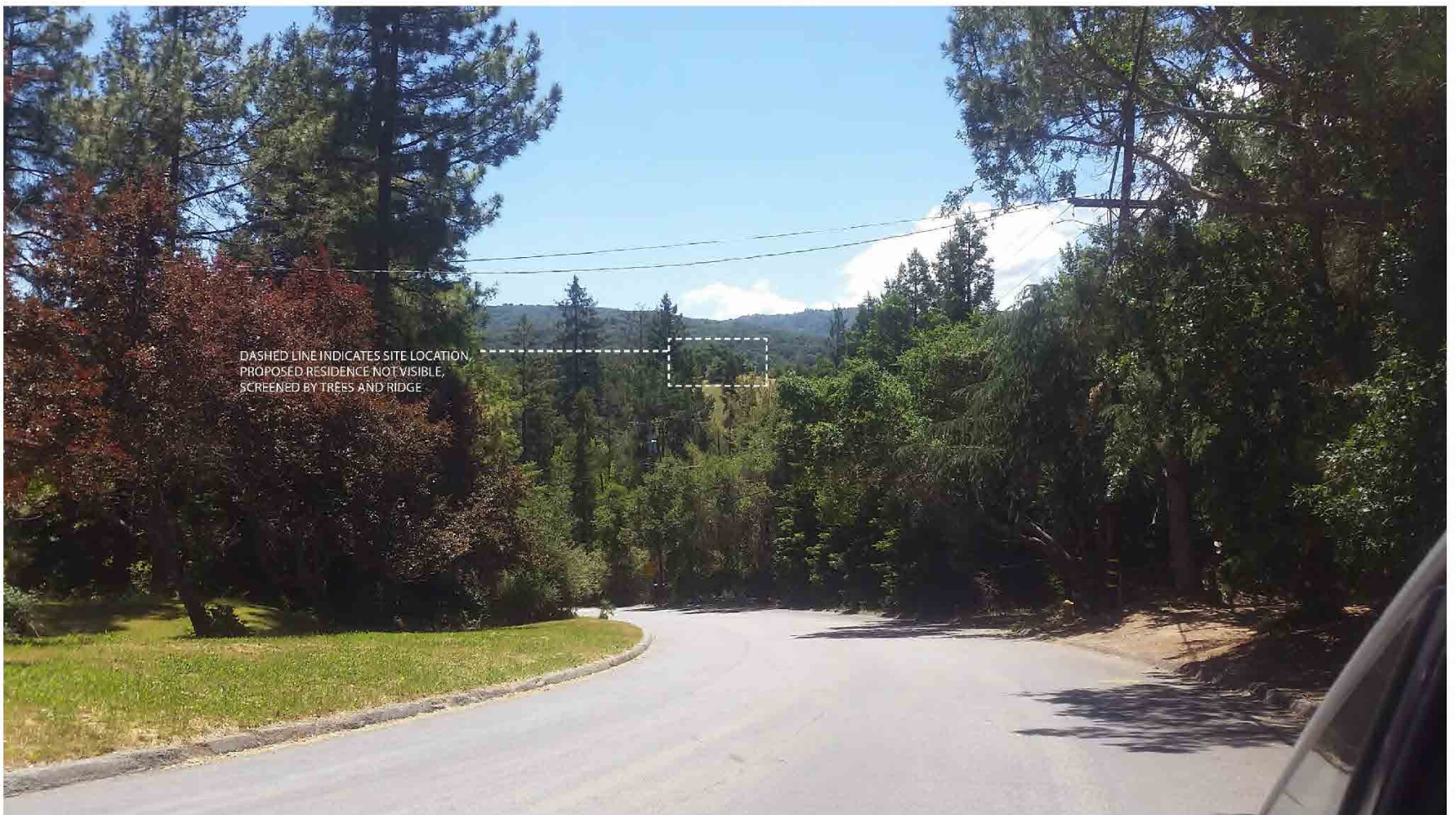




MAP OF VIEW FROM SURROUNDING ROADS . N T S



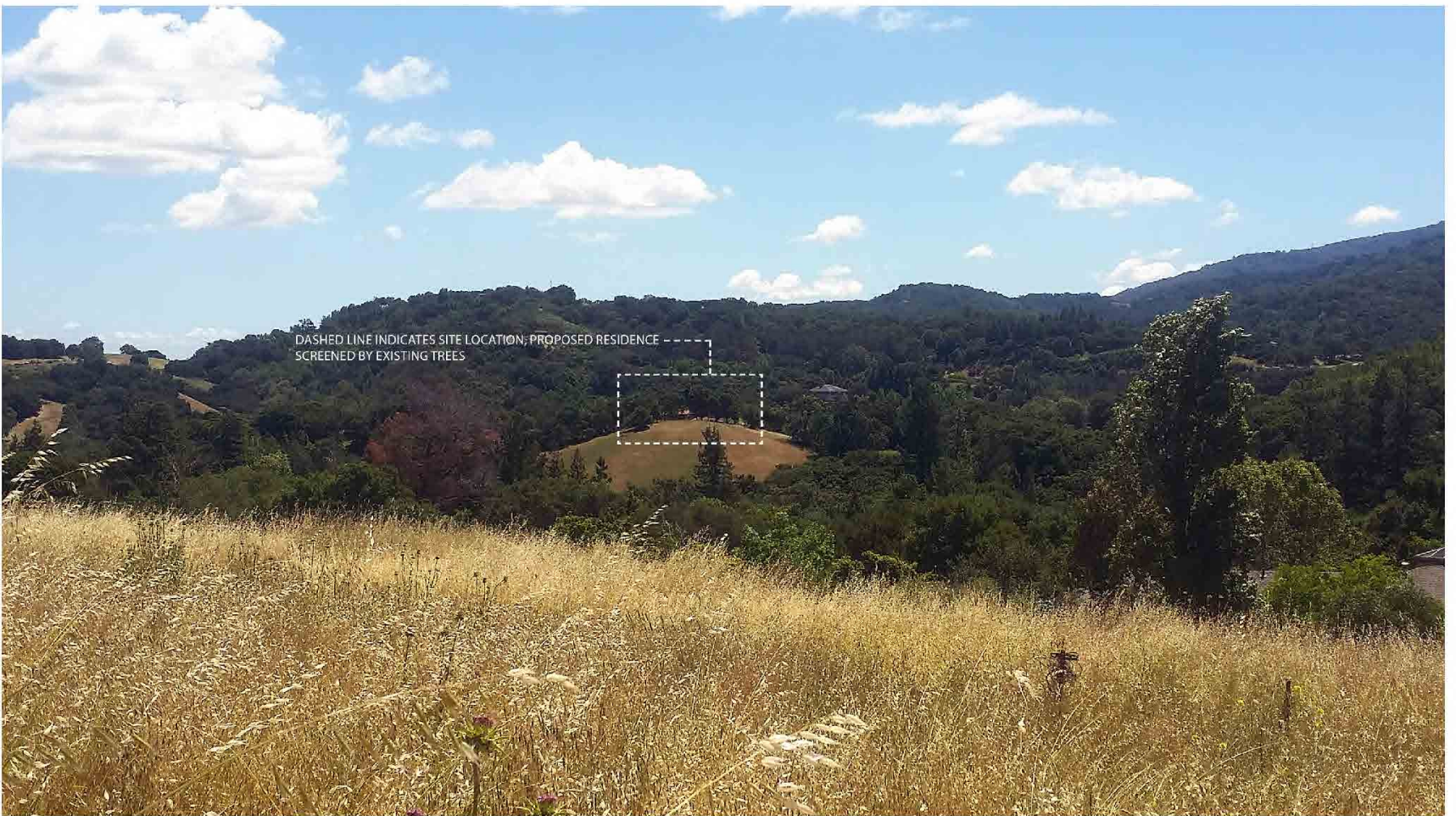
EXISTING VIEWS FROM SURROUNDING ROAD



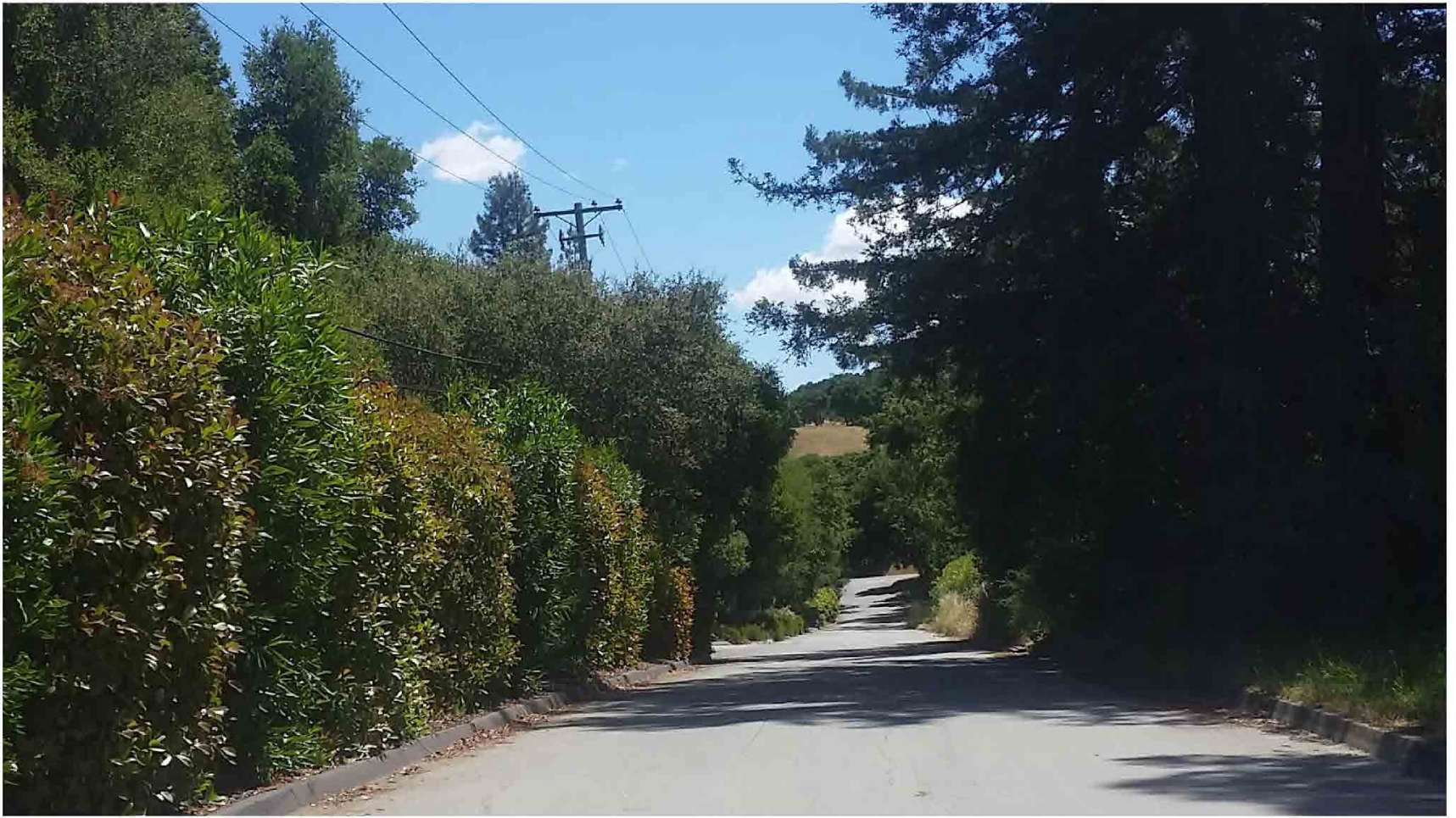
PROPOSED VIEWS FROM SURROUNDING ROAD



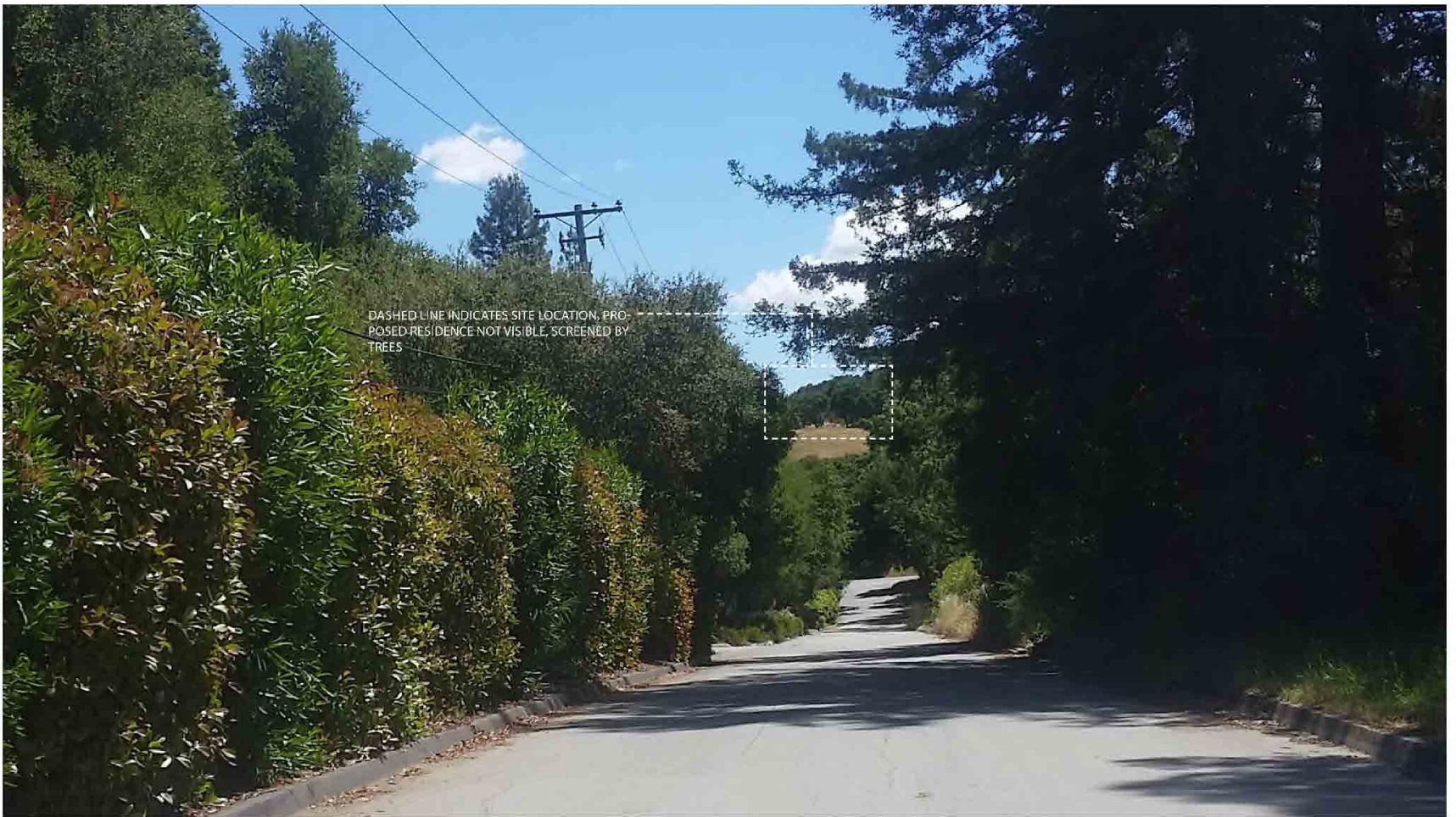
EXISTING VIEWS FROM SURROUNDING ROAD



PROPOSED VIEWS FROM SURROUNDING ROAD



EXISTING VIEWS FROM SURROUNDING ROAD



PROPOSED VIEWS FROM SURROUNDING ROAD



EXISTING RESIDENCE

EXISTING VIEWS FROM SURROUNDING ROAD



PROPOSED RESIDENCE

NON-NATIVE TREES TO BE REMOVED

TREES TO BE THINNED PER LANDSCAPE DRAWINGS

PROPOSED VIEWS FROM SURROUNDING ROAD



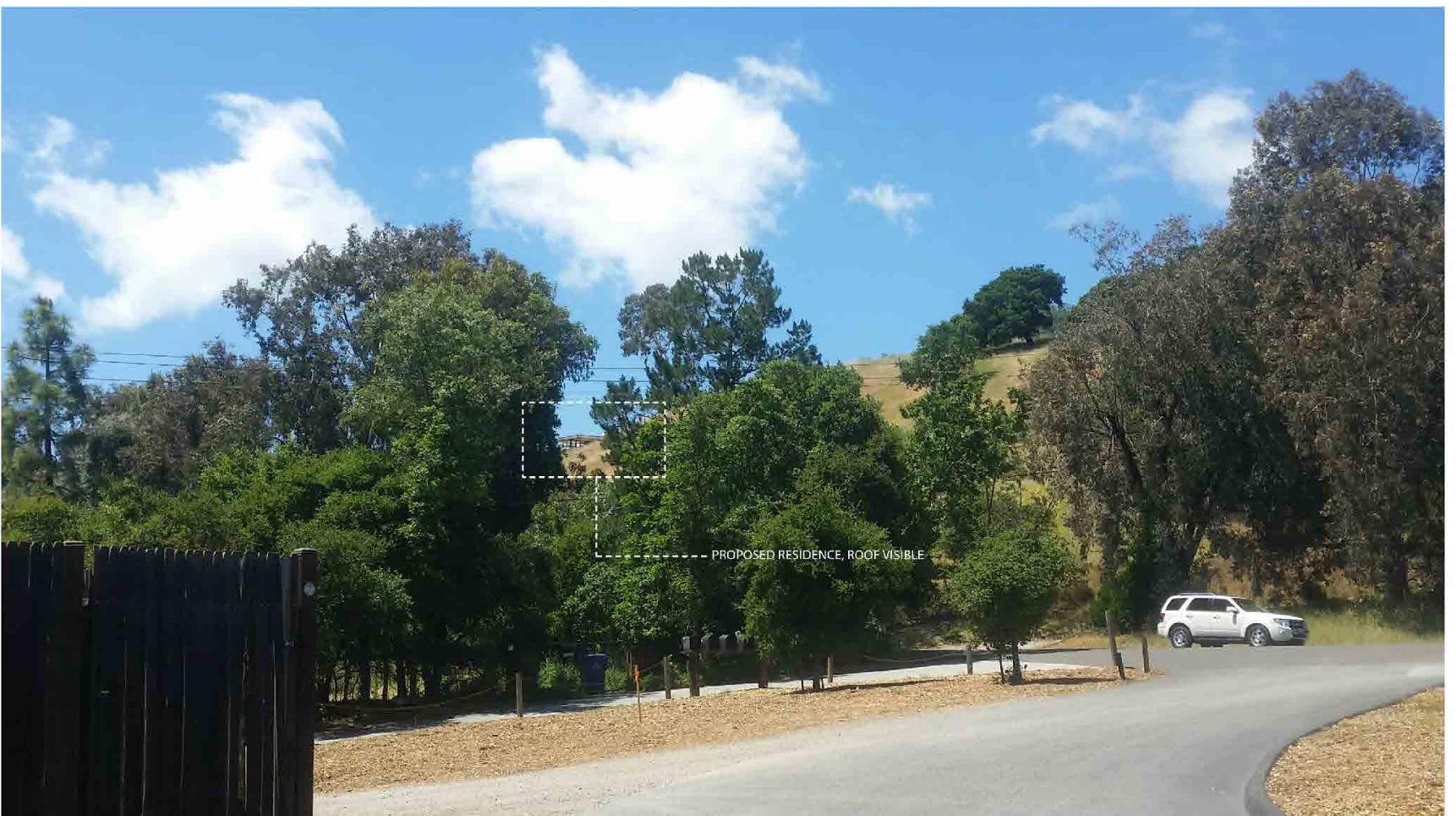
EXISTING VIEWS FROM SURROUNDING ROAD



PROPOSED VIEWS FROM SURROUNDING ROAD



EXISTING VIEWS FROM SURROUNDING ROAD



PROPOSED VIEWS FROM SURROUNDING ROAD



E X I S T I N G V I E W S F R O M S U R R O U N D I N G R O A D



P R O P O S E D V I E W S F R O M S U R R O U N D I N G R O A D



TOWN OF PORTOLA VALLEY STAFF REPORT

TO: ASCC

FROM: Cynthia Richardson, Planner

DATE: October 9, 2017

RE: Preliminary Architectural Review and Site Development Permit for a New Residence, File # 34-2017, 531 Wayside Road, Sholtz/Magill Residence

RECOMMENDATION

Staff recommends that the ASCC offer comments, reactions and directions to assist the applicant and project architect make any plan adjustments or clarifications that members conclude are needed before the commission considers final action on the application.

PROJECT DATA

Lot Size	5.9 acres		
Average Slope	23.8%		
R-E/1A/SD-1a	Code Requirements	Proposed	Remaining
Max Floor Area	6,677	2,595 (619)*	4,082
85% of MFA	5,676	2,595 (619)*	3,081
Max Impervious Surface	11,725	5,982	5,743
Height	28'/34'	28'/32'	--
Front Setback	50'	70'	--
Side Setbacks	25'	180'	--
Rear Setback	25'	434'	--
Parking Spaces	2 covered 2 uncovered	2 covered 2 uncovered	--

*() - basement square footage

BACKGROUND

The applicants are proposing a new 2,595 square foot two story residence with an attached garage. The applicants have designed their home with Bone Structure, a company specializing in steel construction systems that produce energy efficient homes. The project includes a new driveway and associated landscaping on the 5.9 acre property. The property is accessed from Short Street, currently an unimproved street (see vicinity map Attachment 1). The applicants as part of this project will be improving Short Street to Town Standards.

The property sits at the northwestern part of town in the upper Wayside subdivision. The house pad sits at elevation 832 and the property slopes down to the south to elevation 750. Some of the adjacent parcels have been built out, with one home sitting slightly uphill to the north, and the other two to the east. The subject property has never been developed. The applicants also own the small .24 acre adjacent parcel to the north along the west side of Short Street. Some road and driveway grading and tree removal will occur on this parcel even though it is treated as a separate parcel.

The new home is sited at the front of the property where there are fewer trees. The house is two stories, with a partially exposed basement under the house. The basement will be used for tractor storage. The house plans include two bedrooms and various common areas. Each floor of the house has a large deck located on the south side of the structure.

The proposal is further described in the set of architectural, landscape and civil plans received with a revision date of 9/19/17 (Attachment 15).

CODE REQUIREMENTS

As required by Portola Valley Municipal Code (PVMC) 18.64.010.A.1 and 15.12.100.C of the Municipal Code, this application has been forwarded to the ASCC for review.

DISCUSSION

The new home is a two story, contemporary style home with an attached two car garage. The basement level is 1,168 square feet and contains tractor storage, a full bathroom storage room, mechanical room and a root cellar. The main floor is 1,046 square feet and contains a two car garage a bedroom and bathroom. The 1,000 square foot second story contains the main living space with a master bedroom and office. The first and second floors each contain a large deck on the south side of the home with stairs connecting the two spaces. No other accessory structures are proposed on the site.

The house has been designed with a sloping shed roof that is constructed of a cool roof material in a tan color. The house will have horizontal wood siding combined with aluminum panels, stucco and stone veneer. The exterior deck will have wood railings with metal horizontal cables. Colors and materials are presented in Attachment 14.

Exterior improvements include 1,167 square feet of irrigated landscaping, primarily grouped tightly around the house. The plan includes 5,982 square feet of impervious surface, including the driveway, decks, stairs and landings.

Compliance with floor area, impervious surface, height, and setback standards

As shown in the table on page one of this staff report, all of the measurable aspects of the project are at or below the allowed maximums, including floor area, impervious surface, height, setbacks and parking.

Design Guidelines Review – Siting, Mass/Bulk, Scale, Exterior Materials

The project was reviewed against the town's Design Guidelines and was found to be substantially in conformance.

- 1. The size, siting and design of buildings, individually and collectively, tend to be subservient to the natural setting and serve to retain and enhance the rural qualities of the town. (Siting and Scale)**

The proposed materials create a natural feeling that enhances the rural qualities of the town. The varied roofline and use of materials help to break up the building mass and bulk.

- 2. The proposed project will blend in with the natural environment in terms of materials, form and color. (Architectural Design)**

The design, materials and color palette of the proposed new residence are in harmony with the natural environment. The proposed materials include wood and stone finishes with steel window and door framing. The roof finish is a cool roof in a tan color. The proposed colors include earth tone colors that will blend with the environment. All proposed materials and treatments meet town reflectivity guidelines.

- 3. The location, design and construction of the development project will minimize disturbances to the natural terrain and scenic vistas. (Grading)**

Very little disturbance to the natural terrain will occur within the building footprint due to its location on the site. Some grading will occur with the new driveway and site improvements. The proposed grading has been kept to a minimum and minimizes disturbance to the natural terrain.

- 4. The proposed project utilizes minimal lighting so that the presence of development at night is difficult to determine. (Lighting)**

The proposed lighting for this project has been kept to a minimum with safety lighting for walkways and building exiting. All lighting is down facing and meets the Town's guidelines.

- 5. The proposed landscape plan will preserve the qualities of the natural environment through the use of native plant materials and provide a blended transition to adjacent open areas. (Landscaping)**

New landscaping is proposed surrounding the new home. The majority of the property will remain in its natural state. Most plants are either native or low water use or both.

Grading and Drainage

The project's proposed cut, fill and total soil movement for site work including the driveway, and building pad are shown in the table below. The table illustrates that the proposed totals are within the amount requiring ASCC review (100-999 cubic yards). Total soil export for the site is 52 cubic yards. The majority of the grading that occurs outside the building footprint is for the driveway, patios and walkways.

Grading (in cubic yards)	Cut	Fill	Total
Outside Building Footprint	344	522	866
Within Building Footprint	230	0	230
Site Total	574	522	1,096
Export			52

Landscaping

The site is heavily covered in mature trees. The applicant has chosen the open area just off the end of Short Street for the location of the new home. An Arborist report was prepared for the project by Jeff Reid at Independent Arborist Services dated April 18, 2017 (Attachment 2). The report discusses the trees that need to be removed on Short Street. These trees have already been approved for removal through the encroachment permit process with the Town Public Works Director. Sheet T1 in the plan set includes an existing tree plan showing the removal of trees on the applicant's larger parcel. The report indicates that the trees on the property are in good overall health but have grown too close in proximity to each other. There are three Coast Live Oaks and one California Bay that are significant trees that will be removed. The report focuses on these four trees.

There are two areas being developed as outdoor patio areas. To the east of the house is a path that goes down to a gravel patio sitting area. On the west side of the house is a patio that contains a wood deck and spa. The landscaping has been kept tight to the footprint of the house leaving the remainder of the 5.9 acre in its natural state. The proposed planting plan can be found on sheet L1 in the plan set.

Most plants are either native or low water use or both. The Outdoor Water Use Efficiency Checklist can be found on sheet L0. Sheet L2 indicates that that the irrigation system is temporary and will only be need until the plants are established.

Lighting

The exterior house light locations can be found in Attachment 3 labeled Sheet E1. The Estella light will be mounted at each door and near stairs to illuminate the entrances of the home. The Wesley will be used above the outdoor sink and at the outdoor shower. Cut sheets for the fixtures can be found in Attachment 4. Proposed exterior landscape lighting is shown in Attachment 5 labeled Sheet E2. Exterior lighting consists of step lights on the west side of the house at the stairs to the patio area and step lights on the east side of the house on the pathway near the spa patio. Cut sheets for this fixture can be found in Attachment 6.

Fences and Gates

No new fencing is proposed with this project.

Sustainability Aspects of Project

The project architect has provided the Green Point Rated checklist (Attachment 7) targeting 99 points for the project.

Committee Recommendations

Town Geologist. The Town Geologist, in his letter dated August 14, 2017 (Attachment 8), recommended approval of the site development permit, with continued involvement of the geotechnical consultant in the planning and building process.

Town Engineer. The Town Engineer, in his memorandum dated August 10, 2017 (Attachment 9), submitted a number of comments and questions. The applicant has responded by updating the plans appropriately. The Town Engineer is in the process of reviewing the revised plans. Staff is confident that these issues can be worked out before the final approval.

Fire Marshal. The Fire Marshal, in his comments dated August 10, 2017 (Attachment 10), included standard conditions. The plans now show the closest fire hydrant as requested and revised plans have been submitted to the Fire Department for review. Staff is confident that these issues can be worked out before the final approval.

Environmental Health Department. The San Mateo County Environmental Health Department in their comments dated August 9, 2017 (Attachment 11) submitted a number of minor comments. These comments have been addressed in the revised plan and have been routed to the SMCEHD for review. Staff is confident that these issues can be worked out before the final approval.

Conservation Committee. The Committee's August 2, 2017 comments (Attachment 12) recommend approval of the project with some minor revisions to plant material.

Wayside Road Maintenance District. The Maintenance District provided a memo dated September 10, 2017 (Attachment 13) and recommends approval of the project.

Public Comments

No neighbor comments have been received by staff.

Unresolved Issues

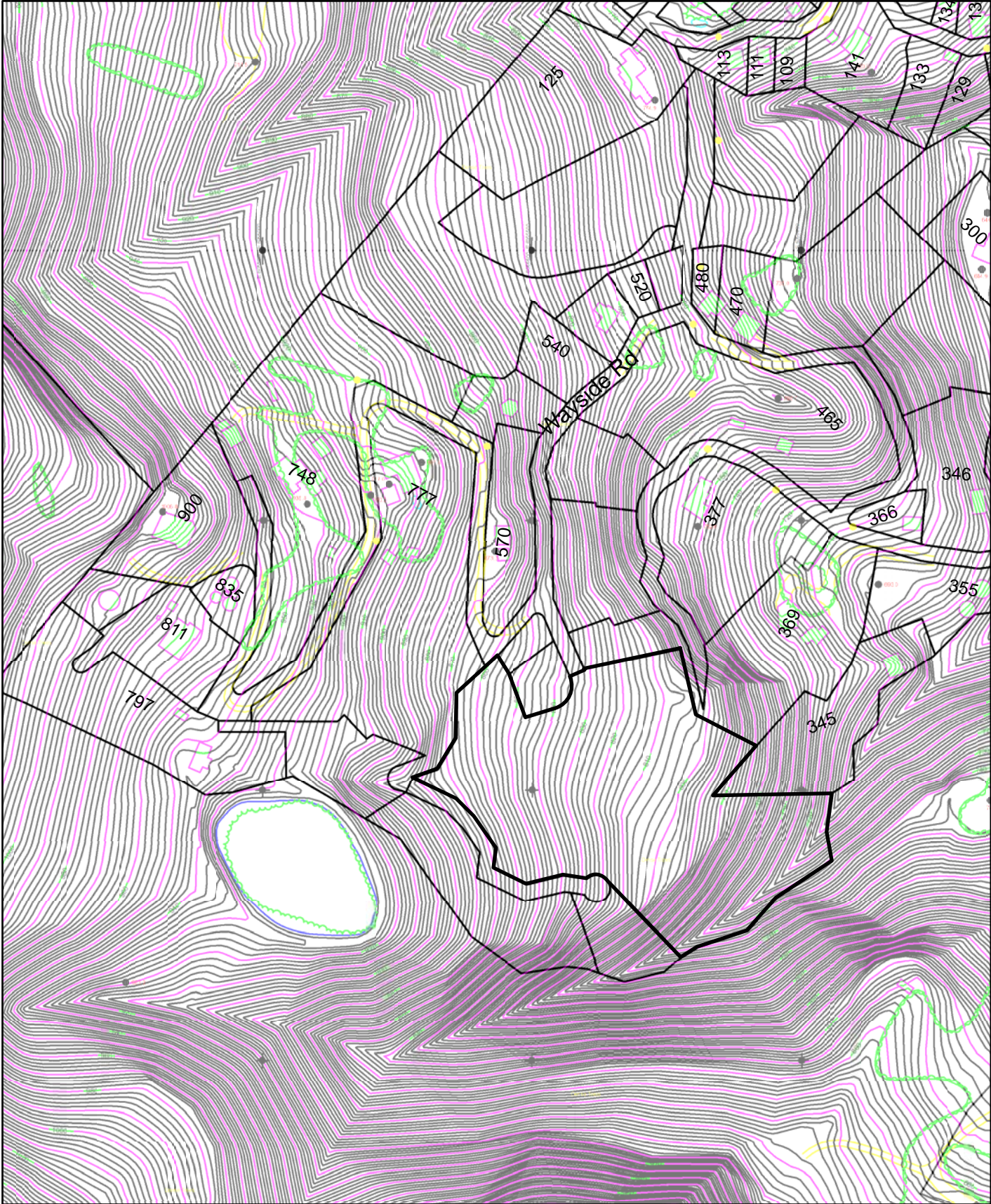
There are some outstanding issues with the Town Engineer and the San Mateo County Environmental Health Department related to drainage and septic design that staff is confident can be worked out before the final approval.

ATTACHEMENTS

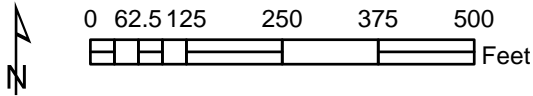
1. Vicinity Map
2. Arborist Report prepared by Jeff Reid, Independent Arborist Services dated 4-18-17
3. Exterior house lighting plan, Sheet E1
4. House light fixture cut sheets
5. Landscape lighting plan, Sheet E2
6. Landscape light fixture cut sheet
7. Build-It-Green checklist
8. Comments from Town Geologist, dated 8-14-17
9. Comments from Town Engineer, dated 8-10-17
10. Comments from Fire Marshal, dated 8-10-17
11. San Mateo County Environmental Health Department memo, dated 8-9-17
12. Comments from Conservation Committee, dated 8-2-17
13. Wayside Road Maintenance District memo, dated 9-10-17
14. Colors and materials
15. Architectural Plans dated 7-14-17 (ASCC only)

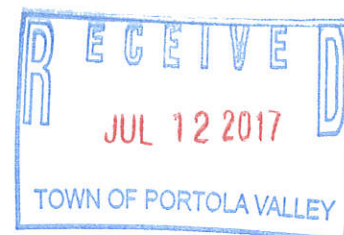
Report approved by: Debbie Pedro, Planning Director





Vicinity Map





JEFF REID

INDEPENDENT ARBORIST SERVICES

ISA # WE-11343A

LEVEL 2 TREE ASSESSMENT

Catherine Magill

4/18/2017

531 Wayside Road

Portola Valley, CA.

The following data was collected by request of the above client Mrs. Magill at the Portola Valley property. A tree inventory was conducted for the purposes of some removals to accommodate necessary construction of a new driveway and residence. Please see attached photos for clarification. There are a total of 23 Coast Live Oak (*Quercus agrifolia*), and two California Bay Laurels (one large *and* one multi-trunked shrub), (*Umbellularia californica*) to be removed; 25 trees in total. The trees, including the Bay shrub have all been tagged with pink ribbon. The proposed driveway, trench, shoulders and grade transitions will utilize the full 30' width of the Short St. easement and extend over 100 feet from Wayside Road. This driveway and easement will provide for access to the future home, underground utilities and parking. As with the much of Portola Valley, this is a densely- wooded lot and neighborhood.

The trees seem in good overall health but have grown too close in proximity to each other to ever reach their full genetic potential. 21 of the marked trees, including the Bay Laurel shrub are less than the 11 1/2" diameter, measured at 54" above grade, to require permitting. There are three (3) Coast Live Oaks and one (1) California Bay that are greater than 11 1/2" diameter (significant trees), that do require a permit for removal. This inventory report focuses on those four trees:

1. Coast Live Oak, aluminum tag #6. Stands at approximately 30-32' and has a canopy width of less than 15'. Its diameter at 54" above grade was marked at 14.5"

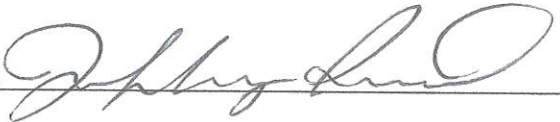
2. Coast Live Oak, aluminum tag #13 (twin trunked). Stands at approximately 30' +/- and has individual canopies not exceeding 15' in width. The diameter at 54" above grade was noted at 14" +/-
3. Coast Live Oak, aluminum tag #20. Stands at approximately 30-35' with a canopy width not exceeding 15'. The diameter at 54" above natural grade taped at 12.5".
4. ~~Coast Live Oak~~, northwest edge of parcel across the natural riparian draw (marked with pink ribbon). The tree has a significant lean and canopy load. It is growing in a saturated and rapidly eroding embankment. The weight of the tree and its' canopy is unbalanced and top heavy. This may create a vulnerability to wind-sail effect and downdraft in storm generated winds. It stands at approximately 45-50' in height. Its diameter estimated at 54" above grade may exceed 24", however the tree is currently inaccessible. No aluminum tag was noted on this tree. Its removal is required as the new residence being built will be the direct and primary target in the event of limb or total tree failure. The consequences of such an event could be significant.

Cal Bay
see
addendum

A removal permit is requested for the above four (4) Oaks.

Please do not hesitate to contact me if you require more information or clarification.

Sincerely, Jeff Reid

X 

ISA Certified Arborist #WE-11343A

TRAQ Qualified

juelery@gmail.com

760-815-9618

2. Coast Live Oak, aluminum tag #13 (twin trunked). Stands at approximately 30' +/- and has individual canopies not exceeding 15' in width. The diameter at 54" above grade was noted at 14" +/-
3. Coast Live Oak, aluminum tag #20. Stands at approximately 30-35' with a canopy width not exceeding 15'. The diameter at 54" above natural grade taped at 12.5".
4. California Bay, southwest of the proposed house location, across a natural riparian draw (marked with pink ribbon). The tree has a significant lean and canopy load. It is growing in a saturated and eroding embankment. The weight of the tree and its canopy is unbalanced and top heavy. This may create a vulnerability to wind-sail effect and downdraft in storm generated winds. It stands at approximately 45-50' in height. Its diameter estimated at 54" above grade may exceed 24", but was not measured due to difficult access. No aluminum tag was noted on this tree. Its removal is required as the new residence being built will be the direct and primary target in the event of limb or total tree failure. The consequences of such an event could be significant.

A removal permit is requested for the above four (3) Oaks and one (1) California Bay.

Please do not hesitate to contact me if you require more information or clarification.

Sincerely, Jeff Reid

X _____

ISA Certified Arborist #WE-11343A

TRAQ Qualified

juelery@gmail.com

760-815-9618



Looking from Wayside Rd. into property. Oak inventory on right. Area of proposed construction.



Inventory overview. 531 Wayside Road, easement.

Yellow arrows approximate width of proposed driveway from this vantage point, east towards Wayside Road.



Tree inventory within easement along proposed driveway path, towards Wayside Road. Yellow arrows indicate length and proposed width of 30' for construction.



Coast Live Oak. Tree tag #6, requiring removal permit.



Coast Live Oak, tree tag #13. Requiring permit for removal.



Coast Live Oak, tree tag #20. Requiring a removal permit.



Tree tag #20



Larger California Bay Laurel, southwest of building site. Growing in a natural drainage draw. Estimated diameter approximately 24". Note the marking of pink ribbon. Requested for removal to mitigate future risk to new home.

JEFF REID

INDEPENDENT ARBORIST SERVICES

(760) 815-9618

Catherine Magill

7/12/2017

531 Wayside Road

Portola Valley, CA.

650-380-2032

The following is an addendum to the original arborist report written 4/18/2017 for the above address. It is with regards to an additional Madrone (*Arbutus menziesii*) that is within the construction project zone. It is required by town ordinance that this tree be classified as significant for petition prior to its removal. Please see attached photographs. It is requested that this Madrone be added to the approved removal permit for this property as it and its root system are in direct line with a critical zone for drainage excavation and grading. The tree stands at approximately 20' in height and has a width of approximately 11' with two (2) trunks. The diameter of the main trunk measured 13" at 54" above grade. A secondary smaller trunk measures 4" at 54" above grade, for a combined total of 17" in diameter. The tree tag number is 14. If you have any questions or need further clarification, please don't hesitate to contact me. Thank you.

Sincerely,

Jeff Reid

x 

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Madrone (*Arbutus menziesii*), to be added as an addendum to original arborist report for 531 Wayside Road, Portola Valley; dated 4/18/2017. Tree tag #14. Main trunk measures 13" at 54" above grade with a secondary smaller trunk measuring 4" at 54" above grade, for a combined diameter of 17".



REVISIONS
NO. DATE

Number	Date	Revision	Description

(TYP) RECEPTACLE NOTES:
Provide receptacle outlets @ 12" o.c. in all habitable rooms. Receptacles shall be of the 15-amp, 2-wire, grounded type. All receptacles shall be of the snap-on type. Receptacles shall be of the 15-amp, 2-wire, grounded type. All receptacles shall be of the snap-on type. Receptacles shall be of the 15-amp, 2-wire, grounded type. All receptacles shall be of the snap-on type.

GENERAL ELECTRICAL NOTES:
Recessed lights installed in finished areas shall be IC rated. All electrical work shall be in accordance with the National Electrical Code (NEC) and all applicable local codes. All electrical work shall be in accordance with the National Electrical Code (NEC) and all applicable local codes. All electrical work shall be in accordance with the National Electrical Code (NEC) and all applicable local codes.

(TYP) SMOKE DETECTOR NOTES:
All smoke detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All smoke detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All smoke detectors shall be hard wired, interconnected to sound alarm throughout the dwelling.

(TYP) CARBON MONOXIDE DETECTOR NOTES:
All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling.

ELECTRICAL DATA & ADDITIONAL NOTES:
1. All electrical work shall be in accordance with the National Electrical Code (NEC) and all applicable local codes. All electrical work shall be in accordance with the National Electrical Code (NEC) and all applicable local codes. All electrical work shall be in accordance with the National Electrical Code (NEC) and all applicable local codes.

SMOKE ALARMS:
1. All bedrooms shall have a smoke alarm. All bedrooms shall have a smoke alarm. All bedrooms shall have a smoke alarm. All bedrooms shall have a smoke alarm. All bedrooms shall have a smoke alarm.

INSTALL CO ALARMS OUTSIDE OF EACH SEPARATE DWELLING UNIT IN THE IMMEDIATE VICINITY OF THE EXTERIOR DOOR OF EACH SEPARATE DWELLING UNIT INCLUDING BASEMENTS AND MONOROOMS.
1. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm.

INSTALL SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE DWELLING UNIT IN THE IMMEDIATE VICINITY OF THE EXTERIOR DOOR OF EACH SEPARATE DWELLING UNIT INCLUDING BASEMENTS AND MONOROOMS.
1. All sleeping rooms shall have a smoke alarm. All sleeping rooms shall have a smoke alarm. All sleeping rooms shall have a smoke alarm. All sleeping rooms shall have a smoke alarm. All sleeping rooms shall have a smoke alarm.

INSTALL CARBON MONOXIDE ALARMS IN EACH SEPARATE DWELLING UNIT IN THE IMMEDIATE VICINITY OF THE EXTERIOR DOOR OF EACH SEPARATE DWELLING UNIT INCLUDING BASEMENTS AND MONOROOMS.
1. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm. All separate dwelling units shall have a CO alarm.

ELECTRICAL NOTES
All electrical work shall comply with all applicable codes and standards.
Under cabinet lighting and exhaust fans must be switched with manual on/off controls.
Recessed luminaires must contain light sources that comply with JA-8, non-screw-base sockets, zero-clearance IC and certified ASTM E283.
Luminaires, including all enclosed luminaires, with screw based sockets must contain lamps that are JA-8 compliant certified ASTM E283.
Night lights permanently installed shall be high efficacy, rated 5 watts or less.
Bathrooms, Garage, Laundry and Utility Rooms must have at least one luminaire controlled by a vacancy sensor.
Controls for all other luminaires to be based on the installed lamp or luminaire type. Light sources required to comply with JA-8.
If the kitchen luminaire is an enclosed or recessed luminaire, you must use a dimmer or vacancy sensor. Hallways and closets that are 70 square feet or smaller are exempt.
All lighting fixtures, lighting permanently mounted must have integral photo control and a manual ON/OFF switch that cannot override sensor.

(TYP) STAIRWAY ILLUMINATION:
R202.6 Stairway illumination. All interior and exterior stairways shall be provided with a means to illuminate the stairways. The illumination shall be provided with an artificial light source located in the stairway. The illumination shall be provided with an artificial light source located in the stairway. The illumination shall be provided with an artificial light source located in the stairway.

(TYP) CARBON MONOXIDE DETECTOR NOTES:
R315.1 Carbon monoxide alarms. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling.

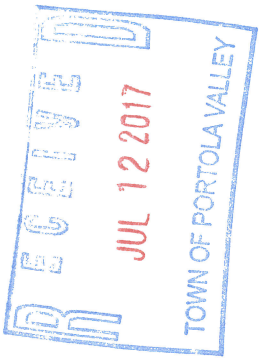
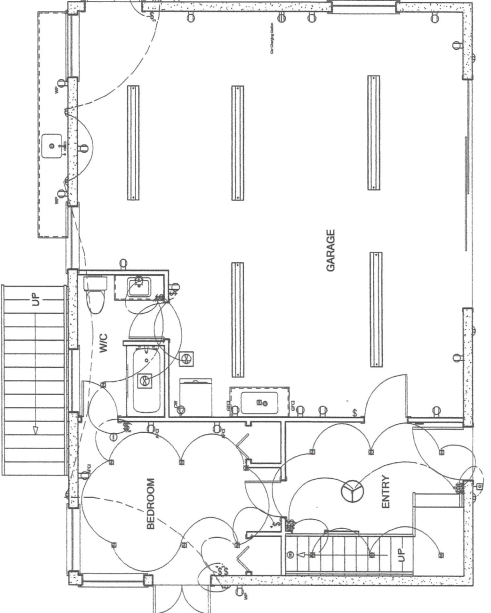
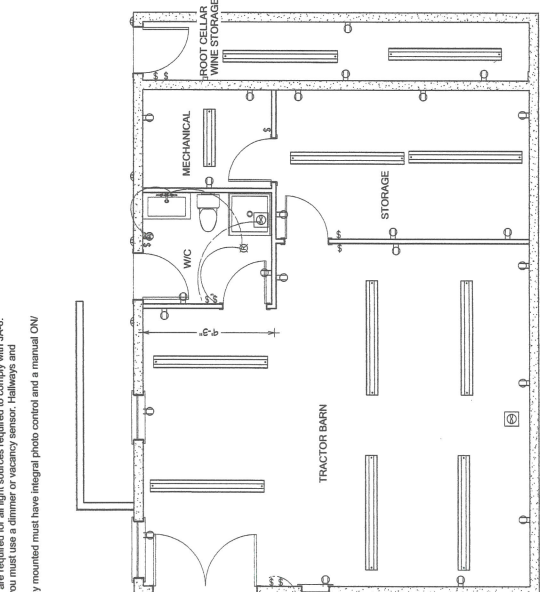
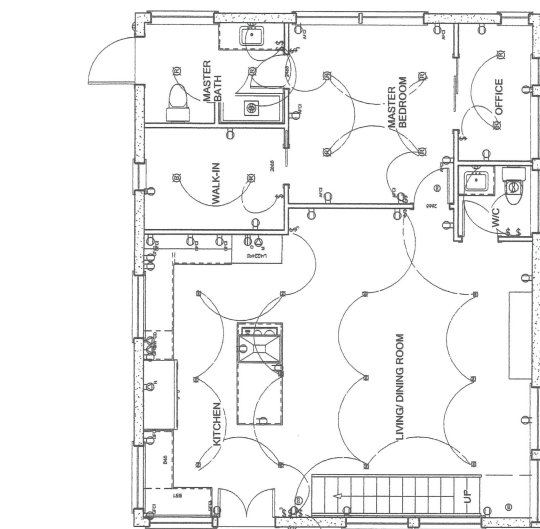
R315.1.1 Power supply.
For new construction required carbon monoxide alarms shall receive their primary power from the dwelling's electrical system. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling. All carbon monoxide detectors shall be hard wired, interconnected to sound alarm throughout the dwelling.

R315.1.2 Interconnection.
Where more than one carbon monoxide alarm is required to be installed in a dwelling unit, the carbon monoxide alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit.
Exception: Interconnection is not required in existing dwellings where repairs do not result in the removal of wall and ceiling materials, and the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit.

R315.3 Alarm requirements.
Single- and multiple-station carbon monoxide alarms shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit.
R315.3.1 Multi-purpose alarms. Carbon monoxide alarms combined with smoke alarms shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit. Carbon monoxide detectors shall be listed as complying with the R315.3.1.

R315.3.2 Where required in existing dwellings.
Where a permit is required for the installation of carbon monoxide alarms, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit. Carbon monoxide detectors shall be listed as complying with the R315.3.1.

R315.3.3 Alarm requirements.
Single- and multiple-station carbon monoxide alarms shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit. Carbon monoxide detectors shall be listed as complying with the R315.3.1.



SHEET CONTENTS:
DESIGN SET
ELECTRICAL & MECHANICAL

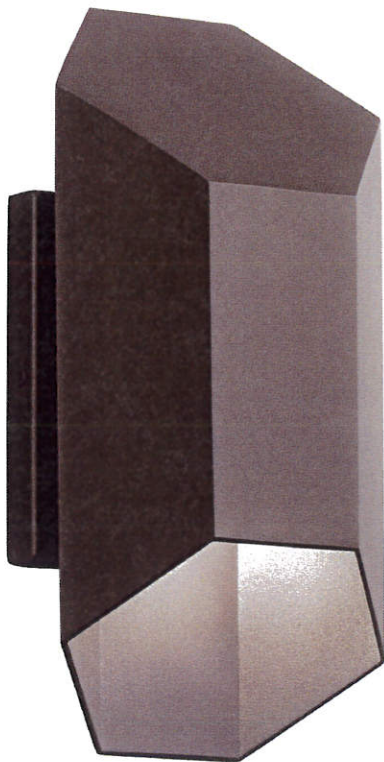
PROJECT FOR:
MAGILL RESIDENCE
531 Wayside Rd.
Portola Valley 94028

DATE: 7.7.17
SHEET: E1

Estella Collection

Estella 1 Light LED Outdoor Wall Light in AZT AZT

49607AZTLED (Textured Architectural Bronze)



Dimensions

Height	12.00"
Width	6.00"

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____

Ordering Information

Product ID	49607AZTLED
Finish	Textured Architectural Bronze
Collection	Estella Collection

Dimensions

Extension	4.25"
Height from center of Wall opening	6.00"
Base Backplate	4.50 X 5.75
Weight	2.16 LBS

Photometrics

Kelvin Temperature	3000K
Color Rendering Index	90

Specifications

Material	Aluminum
----------	----------

Electrical

Dimmable	Yes
Dimmable Notes	This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to Kichler.com/dimming .
Voltage	120V
Input Voltage	Single(120)

Qualifications

Safety Rated	Wet
Title 24	Yes
Dark Sky	Yes
Expected Life Span	35000 Hours
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	LED
Lamp Included	Integrated
Light Source Equivalent	60(1) Incandescent
Number of Lights/LEDs	1
Initial Lumens	720
Max or Nominal Watt	8W

Notes:

1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

Wesley Collection

Wesly 1 Light LED Outdoor Wall Light in TZT AZT

49278AZTLED (Textured Architectural Bronze)



Dimensions

Height	7.50"
Width	7.00"

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____

Ordering Information

Product ID	49278AZTLED
Finish	Textured Architectural Bronze
Available Finishes	AZT, PL
Collection	Wesley Collection

Dimensions

Extension	4.00"
Height from center of Wall opening	3.75"
Base Backplate	5.25 X 4.25
Weight	2.07 LBS

Photometrics

Kelvin Temperature	3000K
Color Rendering Index	90

Specifications

Material	Aluminum
----------	----------

Electrical

Dimmable	Yes
Dimmable Notes	This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to Kichler.com/dimming .
Voltage	120V
Input Voltage	Single(120)

Qualifications

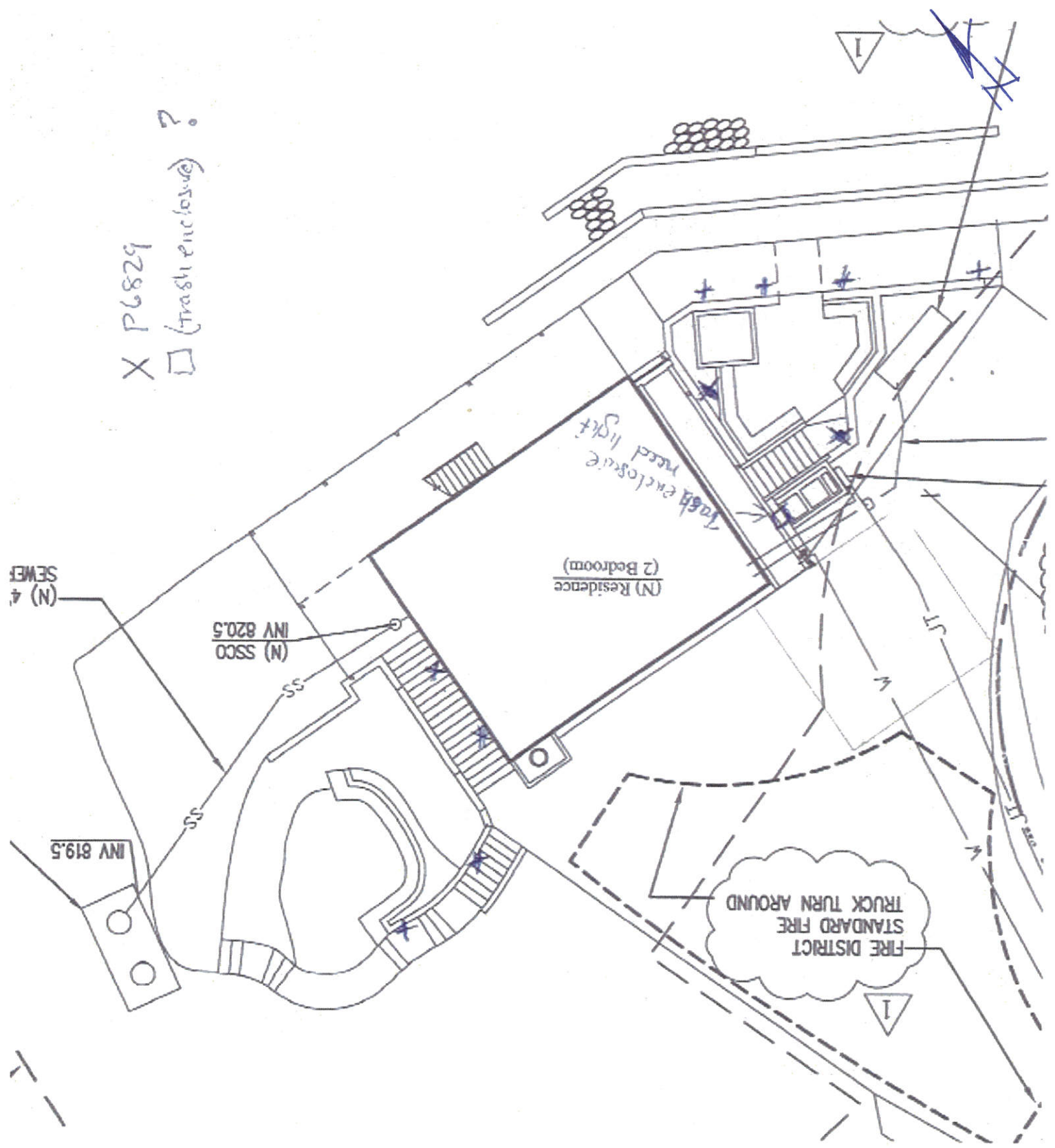
Safety Rated	Wet
Dark Sky	Yes
Expected Life Span	35000 Hours
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	LED
Lamp Included	Integrated
Light Source Equivalent	60(1) Incandescent
Number of Lights/LEDs	1
Initial Lumens	720
Max or Nominal Watt	8W

SHEET E2

X P6829
□ (trash enclosure) ?





Project: _____

Fixture Type: _____

Location: _____

Contact: _____

P6829 & P6832

LED Step/Wall • Wet Location



Specifications:

Description:

The P6829 and P6832 LED Step Lights are ideal for a wide variety of interior and exterior applications including residential and commercial. The Step Lights feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Construction:

- Available in Brushed Nickel (-09), Antique Bronze (-20), White (-30) and Black (-31)
- Heavy Steel construction
- Flicker-free dimming to 10% brightness with most ELV type dimmers (See Dimming Notes)
- Vertical and horizontal hood design
- Horizontal mounting on a single gang recessed wallbox (2" min. clearance)
- ADA Compliant

Performance:

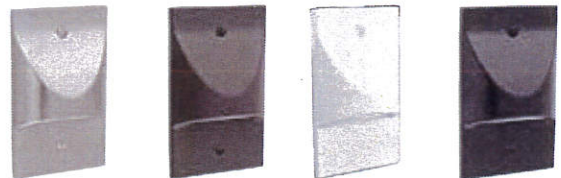
Number of Modules	1
Input Power	4.5W per module
Input Voltage	120V
Input Frequency	60Hz
Lumens	84 (P6829) 65 (P6832)
LPW	21 (P6829) 16 (P6832)
CCT	3000K
CRI	84+
Life	50,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 yrs.
Labels	CCSAus certified for Wet locations

Catalog number:

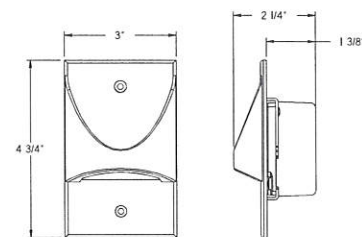
Base	Finish	Color Temp
P6829 - Vertical Hood	09 - Brushed Nickel	30K - 3000K
P6829 - Horizontal Hood	20 - Antique Bronze	
	30 - White	
	31 - Black	

P6829 SERIES

Images:

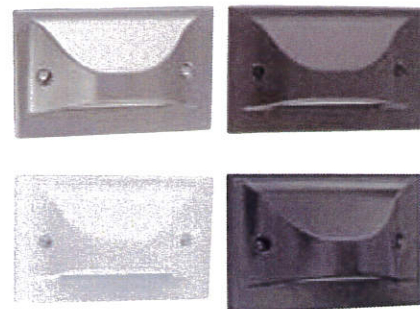


Dimensions:

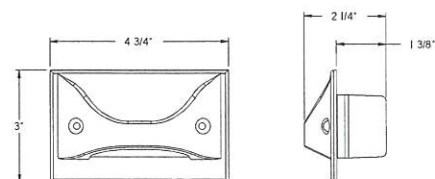


P6832 SERIES

Images:



Dimensions:



P6829 & P6832

LED Step/Wall • Wet Location

P6829 & P6832 SERIES

Photometrics:

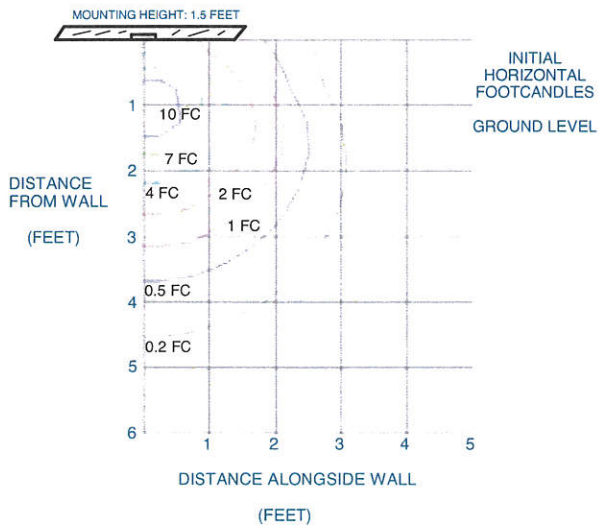
ELECTRICAL DATA		P6829 & P6832 Series	
Input Voltage		120V	
Input Frequency		50/60 Hz	
Input Current		0.04A	
Power Factor		≥0.95	
Operating Temperature		-30°C to 32°C	
Dimming		Yes*	
Over-voltage, over-current, short-circuit protected			
*See Dimming Notes for more information			

P6829-30/30K

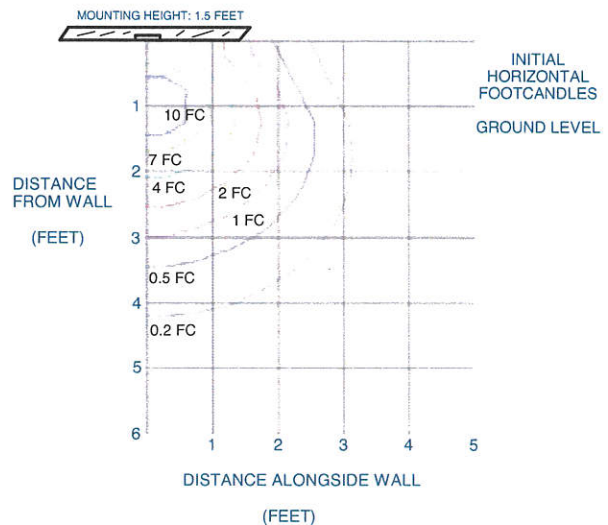
LED Light Engine: 3000K, 84+ CRI
 System Wattage: 4.4
 Fixture delivered lumens: 87
 Mounting Height: 1.5 feet

P6832-30/30K

LED Light Engine: 3000K, 84+ CRI
 System Wattage: 4.4
 Fixture delivered lumens: 84
 Mounting Height: 1.5 feet



Test No. 15.00136



Test No. 15.00137



P6829 & P6832

LED Step/Wall • Wet Location



P6829 & P6832 SERIES

Dimming Notes:

P6829 and P6832 is designed to be compatible with many Electronic Low Voltage (ELV-Reverse Phase) controls.

The following is a partial list of known compatible dimmer controls:

Electronic Low Voltage ELV Reverse Phase Controls

Lutron	Diva Series	(Part Number DVELV-300)
Lutron	Nova T Series	(Part Number NTELV-300)
Lutron	Vierti Series	(Part Number VTELV-600)
Lutron		(Part Number MAELV-600)
Lutron		(Part Number SPELV-600)
Leviton		(Part Number AWRMG-EAW)

Digital type dimmers are not recommended.

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.



NEW HOME RATING SYSTEM, VERSION 7.0

SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J5.1, O1, O7.

Directions for Use: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

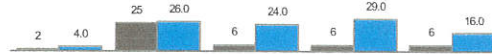
The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information visit www.builditgreen.org/greenpointrated. Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.
New Home Single Family Version 7.0

Points Achieved: 99

Certification Level: Silver

POINTS REQUIRED



■ Minimum Points
■ Achieved Points

Project Name: Sholtz-Magill Residence
Project Street: 531 Wayside Rd
Project City: Portola Valley
Project Zip: 94028

MEASURES	Points Achieved	Possible Points					NOTES
		Community	Energy	IAQ/Health	Resources	Water	
CALGreen							
TBD CALGreen Res (REQUIRED)	0		1	1	1	1	
A. SITE							
Yes A1. Construction Footprint	1				1		
A2. Job Site Construction Waste Diversion							
Yes A2.1 75% C&D Waste Diversion (Including Alternative Daily Cover)	2				2		
TBD A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)					2		
TBD A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility					1		
Yes A3. Recycled Content Base Material	1				1		
TBD A4. Heat Island Effect Reduction (Non-Roof)			1				
TBD A5. Construction Environmental Quality Management Plan Including Flush-Out				1			
A6. Stormwater Control: Prescriptive Path							
TBD A6.1 Permeable Paving Material						1	
TBD A6.2 Filtration and/or Bio-Retention Features						1	
TBD A6.3 Non-Leaching Roofing Materials						1	
TBD A6.4 Smart Stormwater Street Design		1					
Yes A7. Stormwater Control: Performance Path	3					3	
B. FOUNDATION							
Yes B1. Fly Ash and/or Slag in Concrete	1				1		
TBD B2. Radon-Resistant Construction				2			
TBD B3. Foundation Drainage System					2		
TBD B4. Moisture Controlled Crawlspace				1			
B5. Structural Pest Controls							
TBD B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections					1		
TBD B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation					1		
C. LANDSCAPE							
5.00% Enter the landscape area percentage							
Yes C1. Plants Grouped by Water Needs (Hydrozoning)	1					1	
Yes C2. Three Inches of Mulch in Planting Beds	1					1	
C3. Resource Efficient Landscapes							
Yes C3.1 No Invasive Species Listed by Cal-IPC	1				1		
Yes C3.2 Plants Chosen and Located to Grow to Natural Size	1				1		
Yes C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	2					3	
C4. Minimal Turf in Landscape							
Yes C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	0					2	
≤10% C4.2 Turf on a Small Percentage of Landscaped Area	0					2	
Yes C5. Trees to Moderate Building Temperature	0		1	1		1	
Yes C6. High-Efficiency Irrigation System	0					2	
Yes C7. One Inch of Compost in the Top Six to Twelve Inches of Soil	0					2	
Outdoor C8. Rainwater Harvesting System	3					3	
Yes C9. Recycled Wastewater Irrigation System	0					1	
TBD C10. Submeter or Dedicated Meter for Landscape Irrigation						2	
≤0.5 ETo C11. Landscape Meets Water Budget	0					1	
C12. Environmentally Preferable Materials for Site							

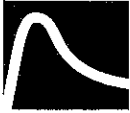
Yes	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing	1				1	
Yes	C13. Reduced Light Pollution	1	1				
Yes	C14. Large Stature Tree(s)	1	1				
Yes	C15. Third Party Landscape Program Certification	1					1
TBD	C16. Maintenance Contract with Certified Professional						1
D. STRUCTURAL FRAME AND BUILDING ENVELOPE							
D1. Optimal Value Engineering							
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center		1			2	
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load					1	
TBD	D1.3 Advanced Framing Measures					2	
Yes	D2. Construction Material Efficiencies	1				1	
D3. Engineered Lumber							
TBD	D3.1 Engineered Beams and Headers					1	Steel framed home
TBD	D3.2 Wood I-Joists or Web Trusses for Floors					1	
TBD	D3.3 Engineered Lumber for Roof Rafters					1	
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications					1	
TBD	D3.5 OSB for Subfloor					0.5	
TBD	D3.6 OSB for Wall and Roof Sheathing					0.5	
TBD	D4. Insulated Headers		1				
D5. FSC-Certified Wood							
TBD	D5.1 Dimensional Lumber, Studs, and Timber					6	
TBD	D5.2 Panel Products					3	
D6. Solid Wall Systems							
TBD	D6.1 At Least 90% of Floors					1	
TBD	D6.2 At Least 90% of Exterior Walls		1			1	
TBD	D6.3 At Least 90% of Roofs		1			1	
TBD	D7. Energy Heels on Roof Trusses		1				
TBD	D8. Overhangs and Gutters		1			1	
D9. Reduced Pollution Entering the Home from the Garage							
No	D9.1 Detached Garage	0			2		
Yes	D9.2 Mitigation Strategies for Attached Garage	1			1		
D10. Structural Pest and Rot Controls							
Yes	D10.1 All Wood Located At Least 12 Inches Above the Soil	1				1	
TBD	D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood					1	
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	2			1	1	
E. EXTERIOR							
Yes	E1. Environmentally Preferable Decking	1				1	
Yes	E2. Flashing Installation Third-Party Verified	2				2	
No	E3. Rain Screen Wall System	0				2	
Yes	E4. Durable and Non-Combustible Cladding Materials	1				1	
E5. Durable Roofing Materials							
Yes	E5.1 Durable and Fire Resistant Roofing Materials or Assembly	1				1	
No	E6. Vegetated Roof	0	2	2			
F. INSULATION							
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
Yes	F1.1 Walls and Floors	1				1	
Yes	F1.2 Ceilings	1				1	
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
Yes	F2.1 Walls and Floors	1			1		
Yes	F2.2 Ceilings	1			1		
F3. Insulation That Does Not Contain Fire Retardants							
TBD	F3.1 Cavity Walls and Floors				1		
TBD	F3.2 Ceilings				1		
TBD	F3.3 Interior and Exterior				1		
G. PLUMBING							
G1. Efficient Distribution of Domestic Hot Water							
Yes	G1.1 Insulated Hot Water Pipes	1		1			
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution						1
TBD	G1.3 Increased Efficiency in Hot Water Distribution						2
G2. Install Water-Efficient Fixtures							

Yes	G2.1 WaterSense Showerheads 1.8gpm with Matching Compensation Valve	2					2	
Yes	G2.2 WaterSense Bathroom Faucets 1.0 gpm	1					1	
TBD	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28gpf OR 1.1 gpf						2	
Yes	G3. Pre-Plumbing for Graywater System	1					1	
TBD	G4. Operational Graywater System						3	
TBD	G6. Thermostatic Shower Valve or Auto-Diversion Tub Spout						1	
H. HEATING, VENTILATION, AND AIR CONDITIONING								
H1. Sealed Combustion Units								
Yes	H1.1 Sealed Combustion Furnace	1			1			
Yes	H1.2 Sealed Combustion Water Heater	2			2			
TBD	H2. High Performing Zoned Hydronic Radiant Heating System			1	1			
H3. Effective Ductwork								
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1				
Yes	H3.2 Pressure Balance the Ductwork System	1		1				
Yes	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified	1			1			
H5. Advanced Practices for Cooling								
Yes	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms	1		1				
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality								
TBD	H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards	N	R	R	R	R	R	
TBD	H6.2 Advanced Ventilation Standards				2			
TBD	H6.3 Outdoor Air is Filtered and Tempered				1			
H7. Effective Range Hood Design and Installation								
Yes	H7.1 Effective Range Hood Ducting and Design	1			1			
TBD	H7.2 Automatic Range Hood Control				1			
Yes	H8. High Efficiency HVAC Filter (MERV 13+)	1			1			
TBD	H9 Advanced Refrigerants				1			
Yes	H10. No Fireplace or Sealed Gas Fireplace	1			1			
No	H11. Humidity Control Systems	0			1			
TBD	H12. Register Design Per ACCA Manual T			1				
I. RENEWABLE ENERGY								
TBD	I1. Pre-Plumbing for Solar Water Heating			1				
TBD	I2. Preparation for Future Photovoltaic Installation			1				
40.00%	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	10		25				
I4. Net Zero Energy Home								
TBD	I4.1 Near Zero Energy Home			2				
TBD	I4.2 Net Zero Electric			4				
TBD	I5. Energy Storage System			1				
J. BUILDING PERFORMANCE AND TESTING								
TBD	J1. Third-Party Verification of Quality of Insulation Installation				1			
TBD	J2. Supply and Return Air Flow Testing			1	1			
TBD	J3. Mechanical Ventilation Testing				1			
TBD	J4. Combustion Appliance Safety Testing				1			
J5. Building Energy Performance								
0.00%	J5.1 Home Meets or Exceeds Energy Compliance Pathway	0		60				
TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst			1				
TBD	J7. Participation in Utility Program with Third-Party Plan Review			1				
Yes	J8. ENERGY STAR for Homes	1		1				
No	J9. EPA Indoor airPlus Certification	0			2			
TBD	J10. Blower Door Testing				3			
K. FINISHES								
K1. Entryways Designed to Reduce Tracked-In Contaminants								
Yes	K1.1 Individual Entryways	1			1			
Yes	K2. Zero-VOC Interior Wall and Ceiling Paints	2			2			
Yes	K3. Low-VOC Caulks and Adhesives	1			1			
K4. Environmentally Preferable Materials for Interior Finish								
≥50%	K4.1 Cabinets	1				2		
≥50%	K4.2 Interior Trim	1				2		
≥50%	K4.3 Shelving	1				2		
≥50%	K4.4 Doors	1				2		
Yes	K4.5 Countertops	1				1		
K5. Formaldehyde Emissions in Interior Finish Exceed CARB								

Yes	K5.1 Doors	1			1		
Yes	K5.2 Cabinets and Countertops	2			2		
TBD	K5.3 Interior Trim and Shelving				2		
Yes	K6. Products That Comply With the Health Product Declaration Open Standard	2			2		
Yes	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion	2			2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes	0			1		
L. FLOORING							
≥50%	L1. Environmentally Preferable Flooring	2				3	
≥50%	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential	2			3		
Yes	L3. Durable Flooring	1				1	
TBD	L4. Thermal Mass Flooring			1			
M. APPLIANCES AND LIGHTING							
Yes	M1. ENERGY STAR® Dishwasher	1					1
	M2. Efficient Laundry Appliances						
TBD	M2.1 CEE-Rated Clothes Washer			1			2
Yes	M2.2 Energy Star Dryer	2		2			
TBD	M2.3 Solar Dryer/ Laundry Lines			0.5			
<25 cubic feet	M3. Size-Efficient ENERGY STAR Refrigerator	1		2			
	M4. Permanent Centers for Waste Reduction Strategies						
Yes	M4.1 Built-In Recycling Center	1				1	
Yes	M4.2 Built-In Composting Center	1				1	
	M5. Lighting Efficiency						
Yes	M5.1 High-Efficacy Lighting	2		2			
Yes	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant	2		2			
No	M6. Electric Vehicle Charging Stations and Infrastructure	0	1				
N. COMMUNITY							
	N1. Smart Development						
TBD	N1.1 Infill Site		1			1	
No	N1.2 Designated Brownfield Site	0	1			1	
TBD	N1.3 Conserve Resources by Increasing Density			2		2	
TBD	N1.4 Cluster Homes for Land Preservation		1			1	
	N1.5 Home Size Efficiency	1				9	
1300	Enter the area of the home, in square feet						
2	Enter the number of bedrooms						
	N2. Home(s)/Development Located Near Transit						
No	N2.1 Within 1 Mile of a Major Transit Stop	0	1				
TBD	N 2.2. Within 1/ 2 mile of a Major Transit Stop		2				
	N3. Pedestrian and Bicycle Access						
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2				
	Enter the number of Tier 1 services						
	Enter the number of Tier 2 services						
Yes	N3.2 Connection to Pedestrian Pathways	1	1				
TBD	N3.3 Traffic Calming Strategies		2				
	N4. Outdoor Gathering Places						
No	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents	0	1				
No	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services	0	1				
	N5. Social Interaction						
TBD	N5.1 Residence Entries with Views to Callers		1				
Yes	N5.2 Entrances Visible from Street and/or Other Front Doors	1	1				
TBD	N5.3 Porches Oriented to Street and Public Space		1				
	N6. Passive Solar Design						
Yes	N6.1 Heating Load	2		2			
Yes	N6.2 Cooling Load	2		2			
	N7. Adaptable Building						
TBD	N7.1 Universal Design Principles in Units		1		1		
TBD	N7.2 Full-Function Independent Rental Unit		1				
	N8. Resiliency						
TBD	N8.1 Assessment		1		1	1	
TBD	N8.2 Strategies to Address Assessment Findings		1		1	1	
	N9. Social Equity in Community						
TBD	N9.1 Diverse Workforce		1			1	

TBD	N9.2 Community Location		1		1			
O. OTHER								
TBD	O1. GreenPoint Rated Checklist in Blueprints	N	R	R	R	R	R	
TBD	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors			0.5		1	0.5	
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5	0.5	
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5	0.5	0.5	0.5	
	O5. Home System Monitors							
TBD	O5.1 Energy Home System Monitors			1				
TBD	O5.2. Water Home System Monitors						1	
	O6. Green Building Education							
TBD	O6.1 Marketing Green Building		2					
TBD	O6.2 Green Building Signage			0.5			0.5	
TBD	O7. Green Appraisal Addendum	N	R	R	R	R	R	
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation						1	

Summary								
Total Available Points in Specific Categories			361.5	31	134.5	60	87	49
Minimum Points Required in Specific Categories			50	2	25	6	6	6
Total Points Achieved			99.0	4.0	26.0	24.0	29.0	16.0



August 14, 2017
V5143

TO: CheyAnne Brown
Planning Technician
TOWN OF PORTOLA VALLEY
765 Portola Road
Portola Valley, California 94028

SUBJECT: **Geotechnical Peer Review**
RE: Proposed Sholtz-Magill Residence
Planning Application PLN_ARCH 34-2017
531 Wayside Road

At your request, we have completed a geotechnical peer review of the Planning/Site Development Permit Application using:

- Geotechnical Investigation (report) prepared by Milstone Geotechnical, dated June 23, 2017;
- Architectural Plans (13 sheets) prepared by Bone Structure, dated June 14, 2017;
- Civil Plans (5 sheets) prepared by Clifford Bechtel and Associates, dated July 18, 2017; and
- Landscape Plans (5 sheets) prepared by Gregory Lewis, dated July 7, 2017.

In addition, we have reviewed pertinent technical documents from our office files (V1045, Josephson) and completed a recent site inspection.

DISCUSSION

The applicant proposes to construct a multi-level residence. Construction would include multiple retaining walls and filling of a minor erosive channel located immediately west of the proposed building pad. A septic system with leach fields on the eastern slope is proposed to serve the residence. Provided estimates of project grading include 74 cubic yards of cut and 532 cubic yards of fill.

SITE CONDITIONS

The proposed house site is located on a gentle to moderate (16 percent inclination) slope adjoining a steep (47 percent inclination) slope that descends to a local creek channel. Monitoring over a 7 year period indicates that the local groundwater table is deep (at least 45 ft) below the ground surface. Surface drainage is generally characterized by sheet flow towards the creek channel located south of the house site.

The proposed residence is located on a mapped "SIs" zone indicating the presence of an ancient stabilized landslide deposit. Surficial soils have been identified with a moderate to high expansion potential. The mapped San Andreas Fault is located approximately 0.5 mile northeast of the house site.

CONCLUSIONS AND RECOMMENDED ACTION

Proposed site development is constrained by an erosional cavity located immediately west of the house site, steep flanking slopes to the south and native soils with a moderate to high expansion potential. The Project Geotechnical Consultant has investigated the site and recommended geotechnical design parameters that are consistent with prevailing standards of practice.

Consequently, we recommend geotechnical approval of the Planning/Site Development Permit application. Detailed construction plans should be submitted for geotechnical review prior to approval of building permit applications.

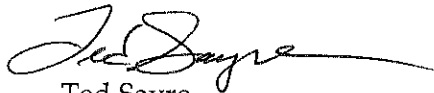
LIMITATIONS

This geotechnical peer review has been performed to provide technical advice to assist the Town with its discretionary permit decisions. Our services have been limited

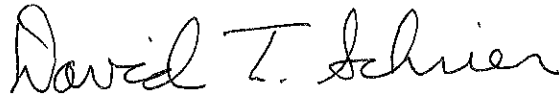
to review of the documents previously identified, and a visual review of the property. Our opinions and conclusions are made in accordance with generally accepted principles and practices of the geotechnical profession. This warranty is in lieu of all other warranties, either expressed or implied.

Respectfully submitted,

COTTON, SHIRES AND ASSOCIATES, INC.
TOWN GEOTECHNICAL CONSULTANT



Ted Sayre
Principal Engineering Geologist
CEG 1795



David T. Schrier
Principal Geotechnical Engineer
GE 2334

TS:DTS:CS:tms

MEMORANDUM

DATE: August 10, 2017

TO: Howard Young and CheyAnne Brown, Town of Portola Valley

FROM: David M.(Mike) McNeely & ^{NFE} Nona Espinosa, NV5

PROJECT: 531 Wayside Rd. Site Development Permit Application PLN ARCH 34-2017

PROJECT #: SJ00717-76

SUBJECT: Review Comments for Submitted Plans

NV5 has completed the review of the plans by Clifford Bechtel and Associates dated 7/18/17 and by BONE STRUCTURE dated 06/14/17 and have the following comments:

A. General.

1. All items listed in the most current "Public Works & Engineering Department Site Development Standard Guidelines and Checklist" shall be reviewed and met. Completed and signed checklist by the project architect or engineer must be submitted with building plans. Document is available on Town website.
2. All items listed in the most current "Public Works & Engineering Department Pre-Construction Meeting for Site Development" shall be reviewed and understood. Document is available on Town website.
3. Any revisions to the Site Development plan permit set shall be resubmitted for review. The revised items must be highlighted on the plans and each item listed on letterhead.
4. Address all plan review comments and subsequent review comments from NV5 to the Town's satisfaction.

B. Specific (for consideration during building plan submittal).

Hydrology/Hydraulic

1. Provide documentation of the total overall impervious area for pre-condition and post-development and evaluate if project increases peak flows into creeks and can cause erosion (referred to as hydromodification) which requires mitigation, and state what type of mitigation is used. Please also provide a summary table providing the previous and proposed impervious area.

2. Provide documentation of post-development peak flow and velocity calculations. Post-development peak runoff must be less than or equal to pre-development. Provide mitigation of any increase in peak runoff due to increased impervious area. The plan shows detention tank for stormwater mitigation. Please provide documentation determining the size of the system.
3. For the runoff calculation for existing and proposed, please provide the watershed delineation, time of concentration for peak flow and runoff coefficient used for hillside development.
4. Provide calculation and detailed plan of drainage system, showing storm drainage piping, outfall and rock slope protection.
5. Implement site design measure per stormwater quality control requirements (effective on December 1, 2012) for development projects that will create and/or replace at least 2,500 square feet of impervious surface, but less than 10,000 square feet of impervious surface, and stand-alone single family homes that create and/or replace 2,500 square feet or more of impervious surface. These requirements are in the San Francisco Bay Region Municipal Regional Stormwater Permit (MRP) and are described on the San Mateo County website.

Design Plans:

1. Sheet C-1.0 – See attached markups.

NFE 8/10/17

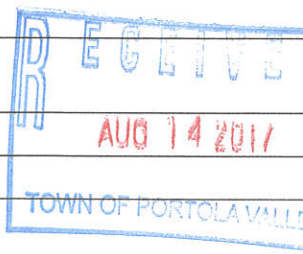
WOODSIDE FIRE PROTECTION DISTRICT

Prevention Division

808 Portola Rd. Portola Valley, CA ~ www.woodsidefire.org ~ Fire Marshal Denise Enea 650-851-6206

ALL CONDITIONS MUST MEET WFPD SPECIFICATIONS – go to www.woodsidefire.org for more info

BDLG & SPRINKLER PLAN CHECK AND INSPECTIONS

PROJECT LOCATION: 531 Wayside Road	Jurisdiction: PV	
Owner/Architect/Project Manager: Charles Sholtz/Catherine Magil	Permit#: PLN ARCH34-2017	
PROJECT DESCRIPTION: New House		
Fees Paid: <input checked="" type="checkbox"/> \$YES <input checked="" type="checkbox"/> See Fee Comments Date: 8/10/2017		
Fee Comments: CH#2267....\$90.00 (plan review fee) paid by: Charles Sholtz		
BUILDING PLAN CHECK COMMENTS/CONDITIONS: THE FOLLOWING REQUIREMENTS MUST BE MET IN ORDER TO PASS FINAL FIRE INSPECTION: 1. Address clearly posted and visible from street w/minimum of 4" numbers on contrasting background. 2. 100' defensible space required prior to start of construction. 3. Upon final inspection 30' perimeter defensible space will be required per WFPD ordinance section 304.1.2.A 4. Approved spark arrestor will be required on all installed chimneys including outside fireplaces. 5. Install Smoke and CO detectors per 2016 CBC. 6. NFPA 13D Fire Sprinkler System to be installed. Sprinkler plans/calculations to be submitted under separate cover to WFPD. see WFPD standards (www.woodsidefire.org) 7. Driveway as proposed must meet WFPD standards. Single residence driveway must be 12' in width. If driveway dimensions are revised during construction it must maintain compliance with WFPD standards (see www.woodsidefire.org) RESUBMIT - PRINT IS TOO SMALL AND NOT READABLE 8. Driveways over 150' required to have fire truck turnaround. see WFPD standards (www.woodsidefire.org) 9. Driveways over 15% slope must have rough brushed concrete surface and/or surface approved by WFPD. No grades allowed over 20%. 10. Fire Hydrant capable of 1000 gpm must be within 500' of farthest proposed structure. Hydrant should be measured via an approved roadway. HYDRANT NOT SHOWN ON PLANS. PLEASE RESUBMIT SHOWING DISTANCE AND LOCATION OF NEAREST FIRE HYDRANT OVERLAYED ON THE PLANS. RESUBMIT SHOWING ITEMS #7, AND 10 ABOVE.		
Reviewed by: D. Bullard	Date: 8/10/2016	
<input checked="" type="checkbox"/> Resubmit	<input type="checkbox"/> Approved with Conditions	<input type="checkbox"/> Approved without conditions
Sprinkler Plans Approved: NO	Date:	Fees Paid: <input checked="" type="checkbox"/> \$390 <input type="checkbox"/> See Fee Comments
As Builts Submitted: -----	Date:	As Builts Approved Date:
Fee Comments: CH#....\$350.00 (fire sprinkler plan review) paid by: IF NO SPRINKLERS REMOVE COMMENT		
Rough/Hydro Sprinkler Inspection By: -----	Date:	
Sprinkler Inspection Comments:		
Final Bldg and/or Sprinkler Insp By: -----	Date:	
Comments:		

From: Edgardo Diaz [<mailto:egdiaz@smcgov.org>]
Sent: Wednesday, August 09, 2017 2:45 PM
To: Catherine Magill
Cc: CheyAnne Brown; Allison Fang; Carol Borck
Subject: RE: 531 Wayside Road, Portola Valley; PLN_ARCH 34-2017

Dear Catherine,

Thank you for the attached septic plan design by Steve Hartsell. As part of the planning review process that involves new development/construction requiring a new Onsite Wastewater Treatment System (OWTS), a draft OWTS design by a qualified OWTS design professional as specified in our OWTS Ordinance and Onsite Systems Manual (OSM) should be submitted to the planning department of record for review by Environmental Health. This is to ensure that the proposed OWTS meets minimum setback requirements and there is no encroachment that would impact the OWTS.

I did a cursory review of the attached septic plans and did notice some conflicts to the dispersal drain field trench design to that delineated on plan sheets L1, L2, T1, and C1.1. Please have the design team coordinate and make the appropriate changes along with addressing other agency comments to be submitted to the Town of Portola Valley.

If you have any other questions, I may be reached by phone (650) 464-0613 or respond to this email.

Sincerely,

Edgardo Diaz
EHS IV, Land Use Program
San Mateo County Environmental Health
2000 Alameda de las Pulgas, Suite 100
San Mateo, CA 94403
Direct Phone 650-464-0613
Fax 650-627-8244
[mailto: egdiaz@smcgov.org](mailto:egdiaz@smcgov.org)
<http://smchealth.org/landuse>

Conservation Committee Comments

Address: 531 Wayside Road

Date: August 2, 2017

Committee members at site visit: Nona Chiariello, Paul Heiple, Marianne Plunder, Dieter Walz

Landscape Plan:

Current Site:

We approve the removal of the proposed significant oaks and madrone.

We recommend removing the single Redwood on the North West side of the property to give the surrounding oaks more space to spread.

Proposed Plant List

The proposed Manzanitas will not do well in the area behind the house as it is not sunny enough. Plants like Hollyleaf Cherry and Toyons , Silk Tassel Bush and Osoberry would be better suited.

We appreciate that all the plants are native. In addition plants like Spicebush, Bush Anemone (Carpenteria), Dogwood and Wax Myrtle (Myrica) will do well on this site.

As the ground will be disturbed by construction it is especially vulnerable to invasives like Dittrichia. This should be watched for and carefully eliminated after construction is completed.

We noticed a relatively elaborate irrigation plan and recommend installing only temporary irrigation. The natives should do well without the need of an irrigation system once established. We recommend planting in October – November to take advantage of the cooler and hopefully rainy season.

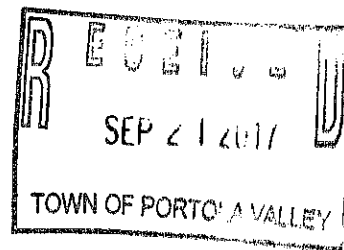
The Committee would like to accompany ASCC on their site visit to see if additional comments from us are warranted.

Submitted by Marianne Plunder

Wayside Road Maintenance District

September 10, 2017

Town of Portola Valley
765 Portola Road
Portola Valley, Ca
94028



Review and Approval of Magill Residence grading and drainage plans.
531 Wayside Road
San Mateo County

We have reviewed the grading and drainage plans for Short Street at 531 Wayside and have no problems with these plans. We think the Magills are doing an excellent job in all their considerations for drainage and grading.

Sincerely,

Susan Nightingale
Gary Reynolds
Wayside Road Maintenance District representatives.



DRAFT MINUTES

ARCHITECTURAL AND SITE CONTROL COMMISSION
Regular Evening Meeting, 765 Portola Road

SEPTEMBER 11, 2017

CALL TO ORDER AND ROLL CALL

Chair Ross called the regular meeting to order at 7:00 p.m. in the Town Center Historic School House Meeting Room, 765 Portola Road.

Planning Director Debbie Pedro called roll:

Present: ASCC: Commissioners Breen, Koch, and Wilson; and Vice Chair Sill, Chair Ross
Absent: None
Planning Commission Liaison: Nicholas Targ
Town Council Liaison: None
Town Staff: Planning Director Debbie Pedro and Planner Cynthia Richardson and Associate Planner Arly Cassidy

ORAL COMMUNICATIONS

None.

With the consent of the ASCC, the order of public hearing items were rearranged and item 4 was moved to the front of the public hearing items.

NEW BUSINESS

(4) Preliminary Review for a Conditional Use Permit, Variance, Architectural Review and Site Development Permit, 838 Portola Road, Owner: Georgia Bennicas, File#: PLN USE 7-2017 and VAR 2-2017

Planner Cynthia Richardson presented the proposed plans for the interior and exterior remodel of the building located at 838 Portola Road, as detailed in the staff report. Planner Richardson noted that the Planning Commission met last week for a preliminary review of this project, and provided the applicant with input on the variance application. She said the applicant has since decided to withdraw all variance requests for this project. Staff asked that the ASCC provide comments, reactions, and directions to assist the applicant and project team to make any plan adjustments or clarifications needed prior to final action on the application.

Chair Ross called for questions from the Commissioners.

Commissioner Koch asked if there was any street number sign or business signage proposed. Planner Richardson said there is no application for signage for the business, but the landscape plans show a mailbox labeled with the address numbers.

Commissioner Wilson asked if there would be additional fencing on the east side along the creek. Planner Richardson said there is an existing grape stake fence, and there is no plan for removal or replacement of that fence.

Vice Chair Sill asked if there was a plan to repair that fence, which is partially down. The applicant said that, per the Ordinance, the fence cannot be altered. Planner Richardson said if the applicant wanted to modify the fence, it would have to be pulled back to the 30-foot setback

DRAFT MINUTES

line. She said the only other section of fence that was requested at the Planning Commission meeting was a small section of chain-link fence located at the culvert next to the street, in the Town's right-of-way. Public Works Director Howard Young indicated he would allow that chain link fence to be removed and replaced with an open rail and wire fence.

Chair Ross invited comments from the applicant. Project manager Peter Carlino thanked staff for working diligently with them on the project.

Chair Ross invited questions from the Commissioners.

Commissioner Breen asked for clarification on the proposed rear fence that extends approximately 50' from the west property line and then stops. Mr. Carlino said they would like an area in the back with privacy. He said they had discussed continuing with a split rail fence and then connect it with the existing fence by the creek, but they cannot put anything in the creek setback.

With no further questions from the Commission, Chair Ross invited public comment. Hearing none, he brought the item back to the Commission for discussion.

Commissioner Koch supported the placement of the light fixtures, the tree removal, and the materials. She would prefer to see the split rail fencing instead of a 6-foot solid fence.

Commissioner Wilson supported the tree removal and the lighting. She also had concerns about the 6-foot solid fence and would rather see a split rail. She wondered, considering the condition of the fence that goes along the creek, if something could be done with a split rail.

Commissioner Breen supported the project. She would like to see them recycle the redwood from the tree. The applicant said they would welcome names of people who could use the redwood. Commissioner Breen said the *Arbutus marina* should not be in the scenic corridor and suggested using a big leaf maple or a black oak instead.

Commissioner Breen said she would prefer they continue the fence run as much as possible with split rail. Property owner Ms. Bennicas said that now that she is giving up the overhang in the back yard, she is concerned with privacy for her clients. She said that space will be a meeting space, and she can't have it as a low, open, split-rail where it is open to the neighboring properties. She said she has nowhere else to sit, and it is important that she has the privacy. Commissioner Breen asked if that would change the landscape design in the back, if there would be a terrace, paths, or lighting. The applicant said she will not be out there at night. Planning Director Pedro said there is very limited area available to develop in the back due to septic leach fields that cover the entire backyard.

Vice Chair Sill was supportive of the project. He said it will be an improvement to the Portola Road Corridor. He was supportive of the design, the materials, the lighting, the landscaping, and removing the redwood.

Chair Ross said he was not concerned about the applicant wanting to have a fenced area in the back for privacy because of the intended use, the amount of construction that will be occurring next door, and because it is one of the few things that is permitted on this site. He was supportive of the materials board. He said he would recommend the three path lights in front not be on after business is closed. He said if the applicant wants a motion sensor light near the front door, it should be installed such that it would not be triggered by passing cars. He said the project will be a welcome contribution to the scenic corridor.

DRAFT MINUTES

OLD BUSINESS

(1) **Review of a Proposal to Renew and Amend a Conditional Use Permit, Alpine Inn Beer Garden, 3915 Alpine Road, File #36-2016.**

Associate Planner Arly Cassidy presented the staff report.

Chair Ross invited questions from the Commissioners.

Commissioner Breen said she supported a residential use at Alpine Inn, but asked how a rebuild would be handled since the building encroaches into the creek setback. Associate Planner Cassidy said the condition is written in such a way that it would be required to be a new residence constructed in a different location.

Chair Ross asked if the trail would remain even where there is no easement planned. Associate Planner Cassidy says the trail has been there for a long time and the applicants have no plans to remove it. She said there is a paved asphalt trail within the Alpine Road right of way that is meant for pedestrian/bicycle use and the dirt trail is more of an equestrian trail. She said since a new survey is being recorded, all easements will be included.

Chair Ross asked if the parking stalls between the two easements were of sufficient length. Associate Planner Cassidy said they were.

With no further questions from the Commission, Chair Ross invited comments by the applicant. Hearing none, Chair Ross invited questions from the Commissioners.

Vice Chair Sill asked if the extended hours of operation being requested include use of both inside and outside areas. The applicant confirmed that use would be both inside and outside and pointed out they are reducing and not extending the hours. He said the current Conditional Use Permit allows them to be open until 1:00 a.m.

With no further questions from the Commission, Chair Ross invited public comment. Hearing none, Chair Ross brought the item back to the Commission for discussion.

Commissioner Koch was supportive of the project.

Commissioner Wilson was supportive of the project. She liked that the tethering posts are closer to the building rather than closer to the road.

Commissioner Breen was supportive of the project. She said the outdoor lights at the front of the building have recently become very bright. She said while it effectively lights up the parking lot, it affects her vision as she drives by on Alpine Road, and they need to be less bright or directed downwards.

Vice Chair Sill was supportive of the project. He said the CUP should require some type of periodic review rather than review being triggered by a complaint or violation. Planning Director Pedro said the Conditional Use Permits in Town vary in their review process – some with none, some with one-year or five-year or ten-year reviews. She said for an established business with a Use Permit where no periodic review is required, it would only be called up for review if there is a change requested by the owner or if there is a complaint.

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Commissioner Breen asked if the CUP is reviewed upon change of ownership. Planning Director Pedro said not unless the new owner is requesting a change to the conditions of the Use Permit. Vice Chair Sill said he said his concern is that it will lead to complexity down the road where things gradually drift away from the CUP, and the update that will eventually need to be done will be very complicated. Vice Chair Sill said, in general, he would prefer to see periodic CUP reviews, perhaps every 5 or 10 years.

Chair Ross was supportive of the project. He said he was comfortable with an open-ended use permit. He said he would not object to a 10-year-review, but would be reluctant to require more frequent review. He supported permit reviews triggered by complaints. He said an establishment like this needs some sense of predictability and certainty about how things are going to go for a while, otherwise it will be difficult to make operational commitments and operate a business.

Planning Director Pedro said because there are some changes to the hours of operation with this CUP amendment, the condition does call for Planning Commission review within one year as a check-in, and thereafter it would only be subject to complaints-triggered reviews.

Commissioner Breen moved to recommend to the Planning Commission support of the conditions of approval as stated in the staff report. Seconded by Vice Chair Sill; the motion carried 5-0.

(2) Architectural Review and Site Development Permit for a New Residence, 100 Canyon Drive, Lu Residence, File #PLAN ARCH 5-2016.

Associate Planner Cassidy presented the staff report.

Chair Ross invited questions from the Commissioners. Hearing none, Chair Ross invited comment by the applicant. The applicant said based on ASCC's preliminary review comments, they decided that removing the redwoods would be a good long term option for the property.

Chair Ross invited questions from the Commissioners. Hearing none, Chair Ross invited public comment.

Phil Vincent, 165 Portola Road. Mr. Vincent asked if redwoods are considered not native. Chair Ross said there are certain areas in Town where redwoods are appropriate. He said, however, there are many places in Town where redwoods were planted as hedges and over the years the roots become very disruptive to structures. Chair Ross said the subject area was originally an open oak woodland and the ASCC does not object to removing the redwoods on this property.

Hearing no additional public comment, Chair Ross closed the public hearing and brought the item back to the Commission for discussion.

Vice Chair Sill was supportive of the project. He said the siting of the house was clever, and the design is striking and attractive. He was supportive of the materials palette and said the landscaping plan was excellent. He said the project will be a nice addition to the scenic corridor. He was supportive of using the anodized aluminum. He said the phased construction plan made sense. He said Options #2 and #3 are big improvements over the original option, and he would lean toward Option #2 or perhaps a hybrid of Option #2 and #3 where all of the redwoods are removed from the Portola Road area, but leaving a couple in the back.

Commissioner Wilson was supportive of the project. She was supportive of the change to the

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anodized aluminum. She said she favored Landscape Option #2 with the removal of the redwoods and addition of the natives.

Commissioner Koch was supportive of the project. She said she favored Landscape Option #2.

Commissioner Breen was supportive of the project. She said she viewed the trees on the backside and on Canyon as a little more discretionary for the architects and what they feel is appropriate with the foundation. She was supportive of removing all the trees along Portola Road except the oak tree. She said she could accept keeping the olive tree if it was sprayed so it would not produce olives. She suggested islands of planting inside the fence, bringing back the oak woodland feeling of the scenic corridor.

Chair Ross was supportive of the project. He said if the applicants thought they might ever want to remove the redwoods in the back, it would be a good idea to do it before the construction. He was supportive of Landscape Option #2. He said the construction logistics will need to be carefully thought-out due to the constraints with the existing house remaining during the construction of the new house.

Planning Director Pedro said because of the extensive number of trees to be removed, whether the ASCC wants to look at the landscaping at the time of framing because all of the redwood trees would be down at that point. Chair Ross said he is fine with the plan as presented – no irrigation and a few new oaks along Portola, and was comfortable with the standard review process with a designated ASCC member approving the final landscaping plan prior to building permit issuance. The Commission agreed.

Commissioner Breen moved to approve the proposed New Residence located at 100 Canyon Drive with Landscape Option #2 and the conditions of approval as stated in Attachment 1. Seconded by Vice Chair Sill; the motion carried 5-0.

(3) Architectural Review for an Interior Remodel of the Main Building and Site Improvements, File #PLN ARCH 31-2017, 501 Portola Road, The Sequoias

Associate Planner Cassidy presented the staff report and distributed copies of an email from Budd Trapp, a Sequoias resident received September 8. The applicant's landscape architect addressed Mr. Trapp's concerns in a response letter, which she also distributed to the Commissioners.

Chair Ross invited questions from the Commissioners. With no further questions from the Commissioners, Chair Ross invited comments from the applicant. The applicant advised Commissioner Breen that the uplighting at the main oak has been removed.

With no further comment, Chair Ross invited questions for the applicant. Hearing none, Chair Ross invited public comment.

Bud Trapp, 501 Portola Road. Mr. Trapp said the timber bamboo, which grows to 55 feet high, is proposed for planting against a wall with an eave overhang of 8 to 9 feet high. Mr. Trapp agreed the bamboo could be continually maintained and pruned but he suggested planting a dead bamboo to give the same effect and requiring no maintenance. He said the black bamboo is not quite as high, but will also require yearly and continuous pruning. He said he thinks the landscape plan includes far too many plants and the area will be overgrown.

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Onnalee Trapp, 501 Portola Road. Ms. Trapp said the vicinity map in the staff report does not reflect the existing conditions. She said the new lodge and the new duplexes do not appear on the map.

Marge DeStaebler, 31 Santa Maria. Ms. DeStaebler said she was speaking for herself, not as a representative for the Conservation Committee or the Sequoias Landscape Committee. She said the Conservation Committee has a goal of supporting local habitat and use of drought-tolerant plants. She said that goal is not particularly strong in the proposed plan. She said 42 percent of the plants are low water use and 59 are medium. She suggested the camellias at the Sequoias, which are high water use, be exchanged for more native plants. She said the bamboo maybe stylish, but is inappropriate and does not belong there.

Onnalee Trapp said she serves on a committee on personal safety and emergency preparedness at the Sequoias. She said that the double-door near the reception area that opens outward is used most often because it opens all the way, whereas the sliding door only opens halfway across the opening space. She said the double doors that open fully enable people to exit more quickly, makes it easier for the housekeeping crew to remove chairs and tables, and give easier access to the Woodside Fire Department personnel. She suggested replacing the sliding door with a similar double door that opens fully.

With no further public comment, Chair Ross brought the item back to the Commission for discussion.

Vice Chair Sill was supportive of the new arrival canopy, the entry canopy, the gallery changes, and the fitness area. He was, however, not supportive of the landscaping plan and agreed completely with Ms. DeStaebler's comments.

Commissioner Breen said she was very familiar with the proposed plant list and it is a fairly low water use plan. She said the campus has a somewhat Asian theme. She said she was supportive of the landscape plan other than the bamboo. She suggested swapping it out for something like Nandina due to the eave height. She was otherwise supportive of the project.

Commissioner Wilson was supportive of the foyer improvements. She was concerned about the safety issues raised by Ms. Trapp regarding the sliding doors. She said she was not supportive of the use of bamboo.

Commissioner Breen said the sliding doors issue is not an aesthetic issue, and the architecture team should handle that.

Chair Ross said he gets the impression there has been a fair amount of interaction between the design team, management, and the residents in this process and he was reluctant to create conditions that change the function and use of the facility for things the ASCC typically has no jurisdiction over, such as the use of sliding doors vs. double doors. He said the architect made note of Ms. Trapp's comments and thinks the issue can be worked out with the design team, at which point the ASCC may be asked to have a member look at the aesthetics of it.

Matt Johnson, project architect, said he has been part of the resident committee for the last three years. He said safety is of paramount importance. He said the egress from the building is provided, and these doors are not required egress. He said he appreciated Ms. Trapp's comment about the housekeeping crew's use of the double doors, and they can discuss it further because this is the first time he's heard about it. Chair Ross agreed the type of doors

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used would not be a condition of approval the ASCC could impose.

Commissioner Koch supported the changes to the entryway, the structure, the approach into the registration area, the gym, etc. She said it is a smart and stunning design. She was in support of the landscape plan and said it complements the structure. She said the arrival area is not visible from the scenic corridor or the street. She agreed the bamboo was not appropriate in the chosen locations due to its size and invasiveness nature. She liked the idea of a bamboo-like architectural feature there.

Chair Ross was supportive of the architectural design. He was supportive of the small and compact garden and said it was appropriate and compatible with the architecture. He said the outside of the buildings is very native and natural. He agrees with the stated concerns about the maintenance needs of the bamboo, but he believes that is the applicant's decision if they want to deal with that. He was supportive of the project as proposed, and agreed with the recommended condition to have the final landscape plan reviewed by a designated ASCC member before the building permit is issued.

Vice Chair Sill moved to approve the proposed project including staff's recommended conditions of approval. Seconded by Commissioner Koch; the motion carried 5-0.

COMMISSION, STAFF, COMMITTEE REPORTS AND RECOMMENDATIONS

Commissioner Wilson said she reviewed a proposed skylight addition at 3330 Alpine Road.

Commissioner Breen said she reviewed the landscape plan at 250 Alamos. She said there were 30 percent more plants added, including hydrangeas. She asked the applicant to remove the hydrangeas and recalculate their water use figures.

Chair Ross said he reviewed a color modification request at 160 Shawnee Pass, where the house had been painted a different, much lighter color than was approved. The new color does not meet the Town's reflectivity standards. He offered a compromise that if there was an exterior wall panel not visible from offsite, it could be left in the current color, but anything visible from offsite would need to be repainted in the previously-approved color or a color that complies with the Town's reflectivity standards.

Planning Director Pedro said on September 20 there will be a joint ASCC/Planning Commission information meeting on wireless communications facilities, beginning at 7:00 p.m. She said Verizon and T-Mobile will be there to describe their small cell system they plan to deploy in Town and other cities on road right-of-way utility poles.

Planning Director Pedro said the September 25, 2017, ASCC meeting has been cancelled.

APPROVAL OF MINUTES

(#) ASCC Meeting of August 28, 2017

Commissioner Breen moved to approve the August 28, 2017, minutes as submitted. Seconded by Vice Chair Sill, the motion passed 5-0.

ADJOURNMENT [8:38 p.m.]