



TOWN OF PORTOLA VALLEY

6:00 PM – Architectural Site Control Commission Meeting
Monday, March 13, 2023

SPECIAL MEETING AGENDA

HYBRID MEETING- IN PERSON AND VIA ZOOM

HISTORIC SCHOOLHOUSE - 765 Portola Road, Portola Valley, CA 94028

Remote Public Comments: Meeting participants are encouraged to submit public comments in writing in advance of the meeting. Please send an email to planning@portolavalley.net by 12:00 PM on the day of the meeting. All comments received by that time will be distributed to Commissioners prior to the meeting. All comments received are included in the public record.

VIRTUAL PARTICIPATION VIA ZOOM

To access the meeting by computer:

<https://us06web.zoom.us/j/85051185842?pwd=Nkl2eVE3NWxHSVEvNVh4RIAwOEovQT09>

Or: Go to Zoom.com – Click Join a Meeting – Enter the Meeting ID

Meeting ID: 850 5118 5942

Passcode: 163037

To access the meeting by phone:

1.669.900.6833 or

1.888.788.0099 (toll-free)

Enter same Meeting ID and Passcode

*6 - Toggle mute/unmute.

*9 - Raise hand.

Assistance For People With Disabilities: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Department at (650) 851-1700 or planning@portolavalley.net. Notification 48 hours prior to the meeting will enable the Town to make reasonable arrangements to ensure accessibility to this meeting.

Public Hearings: Public Hearings provide the general public and interested parties an opportunity to provide testimony on these items. If you challenge any proposed action(s) in court, you may be limited to raising only issues you or someone else raised at the Public Hearing(s) described in this agenda, or in written correspondence delivered to the Architectural and Site Control Commission at, or prior to, the Public Hearing(s).

6:00 PM - CALL TO ORDER

Commissioners Cheung, Sill, Wilson

ORAL COMMUNICATIONS

Persons wishing to address the Architectural and Site Control Commission on any subject not on the agenda may do so now. Please note however, that the Architectural and Site Control Commission is not able to undertake extended discussion or action tonight on items not on the agenda.

NEW BUSINESS

1. Preliminary Architectural Review of an addition/remodel at 3915 Alpine Road- Alpine Inn; File # PLN_ARCH0022-2021 (J. Garcia)

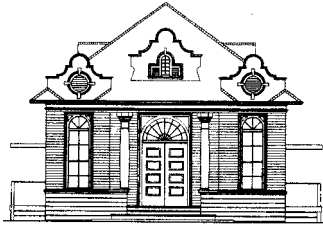
COMMISSION AND STAFF REPORTS

2. Commission Reports
3. Staff Report

APPROVAL OF MINUTES

4. February 27, 2023

ADJOURNMENT



TOWN OF PORTOLA VALLEY STAFF REPORT

TO: ASCC

FROM: Jake Garcia, Consultant Planner

DATE: March 13, 2023

SUBJECT: Preliminary Architectural Review of an addition/remodel at 3915 Alpine Road- Alpine Inn.

RECOMMENDATION: Staff recommends that the ASCC review the requested Architectural Review of an addition/remodel at the existing Alpine Inn restaurant.

APPLICATION

On December 9, 2021, the applicant submitted an application for architectural review of an 968 square foot addition to the existing Alpine Inn restaurant, 3915 Alpine Road. The project includes demolition of site features with some minor site improvements. The application was deemed complete on January 26, 2023. Story poles were installed on March 02, 2023. The story pole plan is included in project plans (Attachment 1, Sheet A2)).

BACKGROUND

The Alpine Inn Beer Garden has existed since the 1850's and has served under various names as a roadhouse and saloon. The building is a California Registered Historical Landmark (No. 825, Casa de Tableta) and is listed in the Historic Element of the Town's General Plan. In the late 1960's shortly after incorporation, the Town determined that the beer garden required a Conditional Use Permit (CUP) for its operation in order to more closely regulate its impacts on the surrounding residential uses. In 1970, the Planning Commission approved a CUP for the existing beer garden use. The CUP was most recently amended on December 20, 2017 (Attachment 3).

CODE REQUIREMENTS

As required by Section 18.64.010.A.1 of the Portola Valley Municipal Code (PVMC), this application has been forwarded to the ASCC for review. The Architectural Review Permit application includes the required information and materials prescribed in Code Section 18.64.040. In addition to the PVMC, the Town's Design Guidelines were used to evaluate the project.

PROJECT DESCRIPTION

Site Information

The site is located in the O-A District and is subject to several physical and regulatory constraints. The site fronts onto Alpine Road and is subject to the 75’ scenic corridor setback. Los Trancos Creek runs across the rear of the property, which triggers a 45’ creek setback. The parking lot for the Alpine Inn is located on two parcels, one which is owned by the Alpine Inn and one that is owned by the Town and includes a shared parking lot with Rossotti Field.

Project Description

The building currently includes a 450 SF kitchen addition that was added to the historic structure. The addition is significantly substandard by current standards. The applicant proposes to demolish the 450 SF kitchen and outdoor bar and construct a 968 SF kitchen addition in the same location as the existing lean to and outdoor bar area. The project also includes a new 102 SF walk in cooler and 106 SF outdoor bathroom addition at the rear of the building. When the scenic corridor and creek setbacks are both applied, the proposed kitchen, walk in cooler and outdoor bathrooms comply with the required setbacks. Proposed improvements are intended to bring the facility up to code by replacing the kitchen to have code compliant cleaning, dishwashing, and storage areas, upgraded electric and gas services and fire sprinkler installation. The project includes some additional changes to the site including exterior lighting, mechanical equipment pads for upgraded utility and fire sprinkler installation explained further in a later report section. Proposed improvements are intended to improve restaurant efficiency, safety and continue operations; it is not intended to expand the restaurant capacity nor do the proposed conditions require any changes to the governing CUP. Project Plans are included as Attachment 1,

Proposal	Address	Zone	Parcel Size	Average Slope
1,176 SF Addition/remodel of existing Alpine Inn Kitchen, outdoor bathrooms and walk in cooler	3915 Alpine Road - Alpine Inn	OA (R-E/1A/SD-1)	2.02 acre 88,728 SF	2.04% +/-3%

Design & Exterior Materials

- Architectural Style: Historic Alpine Inn Roadside Tavern.
- Shape & Orientation: Rectangular in line with existing tavern.
- Roof & Skylights: Flat roof over the kitchen, slopped roof will be class A Composition shingle. Roof equipment will be screened with a pretreated Corten/rusted corrugated metal panels.
- Structure Visibility: Proposed additions are in the same general location of the existing restaurant kitchen and port-a-potty locations.
- Siding: Reclaimed tables and benches with carvings and markings, salvaged board, and batten barnwood. Trim to match the existing historical tavern.
- Windows & Doors: Double hung windows to match the profile and windows of the existing tavern.

Proposed Materials and Colors Board is included on Sheet A4 of project plans (Attachment 1)

Historic Resources

As mentioned earlier in this report, the Alpine Inn building is a California Registered Historical Landmark (No. 825, Casa de Tableta) and is listed in the National Register of Historic Places (National Register) as well as in the Historic Element of the Town's General Plan. Projects that are proposed on sites that have been determined to have historic designation are subject to additional review to further determine whether the proposed project will result in any impacts to the historic resources. The assessment must be done using the Secretary of Interior's (SOI) Standards for the Treatment of Historic Properties, an analytical tool to better understand and describe potential impacts of substantial changes to historic resources using standards of preservation, rehabilitation, restoration, and reconstruction. The project team has submitted a Historical Impact Analysis (Attachment 3) of the proposed project and found that no character-defining features of the Alpine Inn will be affected by the proposed project, and the materials and features of the historic resource will be retained, the proposed project was found to be consistent with all ten of the Secretary of the Interior's (SOI) Standards for Rehabilitation. The Town Historian has peer reviewed the project, visited the project site and agrees with the conclusion of the Historical impact Analysis.

Parking

Per the 2017 CUP, parking for the Alpine Inn is required to be at least 94 cars, the number may be reduced by one parking space for every 2.5 horse tethering spaces provided. The applicant proposes at a rate of one space per every 2.5 seats. Car parking can be reduced by providing horse "parking" or tethering spaces. There is currently 180 parking spaces and three rails for 14 horses, and two bike racks that can hold up to twenty bikes total (10 each). The applicant proposes to install one new horse tether rail as well as decommission one parking space for a total of 180 parking space between the applicant owned parcel and the Town owned parcel. Attachment 1, Sheet C2.0 shows an illustrative only parking plan.

Woodside Fire Protection District has reviewed the project and requested installation of an emergency exit gate on the West end of the parking lot, which is owned by the Town. This gate is intended to remain locked with a Fire District padlock and only opened by Fire to exit cars onto Alpine in the event of an emergency. Town staff will work with the Fire District and applicant to finalize the design and location. This gate may require the decommissioning of one to three parking spaces.

Electric Service Upgrade Transformer Pad





Upon upgrading the electrical service, the applicant proposes a new transformer pad to be located within the scenic corridor setback. Town staff had that the applicant revise plans the plans to minimize the transformer location out of the scenic corridor setback and to include screening of the mechanical equipment from off site. The applicant team has revised the location of the transformer to be further from Alpine Road and still accessible by PG&E. The proposed location results in the decommissioning of one parking space as described in the above parking section. The transformer pad will be screened with a 6-foot recycled redwood fence.






Outdoor Lighting

Exterior lighting plan is shown on sheet OL1 of the project plans and exterior lighting cutsheets for the proposed and existing lighting (as available) are provided on sheets OL2-OL4 (Attachment 2). New exterior lighting is proposed under the eaves of the kitchen addition, the bathroom addition, the detached outdoor bar as well as along the front of the restaurant at the kitchen addition. The existing house includes two light fixture styles including wall lights and

recessed lighting. The proposed new lighting is all dark sky compliant and is consistent with the Town’s Outdoor Lighting Ordinance.

The previous ASCC approvals for the seasonal tent required the applicant to submit a revised lighting plan for review and approval by two members of ASCC. That process was delayed due to COVID-19 and the ASCC should review the exterior lighting plan for approval of both the newly proposed lighting and the lighting subject to the previous ASCC review. Of the existing lighting, light fixtures E, F and G have been revised to better meet the Town’s exterior lighting requirements and are now dark sky compliant. Staff has advised to revise light fixture F because it exceeds the maximum light brightness allowed by the Town, the applicant is requesting to the ASCC to keep Light Fixture F. The ASCC may wish to consider the number of lights, fixture style and or the lighting brightness of proposed and existing lighting relative to the proposed use. All lighting is summarized in the below table.

Fixture	Image	No.	Lumens	Dark Sky Compliant	Comments
(A) Recessed Light		14 8 (N) 6 (E)	600	Yes	New lights proposed at kitchen addition and bathroom addition under eave.
(B) Down Light		14 7 (N) 7 (E)	400	Yes	New lights located at the detached outdoor bar. While swivel lights are not allowed plans state swivel ability will be disabled.
(C) Decorative Antique Miners Lamp		1	495	Yes	Existing
(D) Sconce		18	101	Yes	Existing

(E) String Lighting		450' String Lighting	15 Lumens per foot	Yes	Existing lighting, modified to be dark sky compliant (light shades added).
(F) Wall Sconce		3	1,251	Yes	Existing lighting non-compliant lighting, exceeds lighting brightness requirements of 1,125 lumens.
(G) Antique Light		1	400	Yes	Existing light revised to be dark sky compliant.
(H) Trellis Light		37	178	Yes	Existing light revised to be dark sky compliant.
(J) Wall Sconce		4	376	Yes	New lighting proposed at the front of the restaurant, and at the rear near the new restrooms.

Grading

No grading or dirt haul is proposed with this project. Therefore, a Site Development Permit is not required.

Tree Removal

No trees are proposed for removal and all onsite trees will be protected throughout construction.

Committee Recommendations

Reviewer	Concerns/ Conditions	Recommend Approval	Applicant Response	Staff Comments
Woodside Fire	See Attachment 9	Conditional Approval	Requirements will be addressed during building plan check.	Attachment 9
Town Geology	See Attachment 11	Conditional Approval	Requirements will be addressed during building plan check.	Attachment 10
Town Engineer	See Attachment 10	Conditional Approval	Requirements will be addressed during building plan check.	Attachment 11
Town Trails	See Attachment 10	Conditional Approval	Requirements will be addressed during building plan check.	Attachment 12
Parks & Recreation	Parking concerns on Town owned parcel and community use of the Rossotti Field	Would like to have committee review project		Concerns of parking needs for recreational/ public use of Rossotti Field

STAFF ANALYSIS**DISCUSSION AND FINDINGS**

Upon its initial review of the project, the ASCC may wish to consider discussing:

- The location of the proposed Transformer pad, and the mitigation measures to screen from the Public-Right of Way and Alpine Road Trail.
- The proposed lighting plan associated with the addition remodel proposal and whether it is appropriate or not. And review the existing lighting that has been recently revised to comply with the Towns Outdoor Lighting Ordinances.

Required Findings for Approval

PVMC Section 18.64.060 outlines the findings for approval for Architectural Review. The findings are included below in **bold** followed by staff's analysis of how the findings may be made.

1. The structure is designed so as to minimize disturbance to the natural terrain;

The proposed additions are proposed on an existing building site primarily within the existing footprint. There will be minimal areas of addition that exceed the footprint

where an outdoor bar, patio and port-a-potties were previously located. A new transformer pad is proposed to facilitate electrical upgrade.

2. Existing vegetation is preserved to the maximum extent possible.

No trees are proposed for removal, the project has been designed around the existing mature native tree canopy. All existing vegetation would be preserved with this project.

3. The structure is designed and located to allow adequate light and air for itself and its neighbors;

The proposed project would not have any noticeable impact on light and air. The height of addition is 13' and would not impact light and air for the site or neighboring sites. Improvements are proposed in an enclosed patio area except for the transformer pad, proposed between the parking lot and public right of way.

4. Landscaping, screening and fencing preserve privacy and mitigate adverse effects on neighboring properties;

The trellis would be located behind the existing trees, fence, and accessory buildings. From the parking lot there would be negligible visibility. From the public right-of-way, the tent would be minimally visible. The rustic materials will help it blend into the landscape and reduce impacts from neighboring properties.

5. Entrances, exits and internal circulation shall be sited to promote traffic safety and ease and convenience of movement;

Per Woodside Fire's conditions of approval a new emergency access gate is required on the west end of the property to improve safety in times of emergency and will be incorporated at time of building permit application.

6. Night lighting is located and fixtures chosen to promote public safety but minimize effects on adjoining properties;

ASCC may wish to consider exterior lighting, overall site lighting has been improved and is subject to final review and approval by two members of ASCC.

7. Planting and site design mitigate the problems of drainage and soil erosion;

Town Geology has identified areas erosion and scour on the project and has included comments to be addressed during building permit application to mitigate for concerns of erosion and scour.

8. Materials and colors are compatible with the rural setting of the town and the surrounding landscape and structures; and

The proposed colors and materials are consistent with the historic character of the existing tavern and consist of natural and recycled materials.

9. Proposed grading minimizes the apparent disturbance to the natural terrain.

There is no proposed grading associated with the project.

Design Guidelines

Pursuant to Section 18.64.045 of the PVMC, the Town's Design Guidelines are consistent with provisions of Sections 18.64.050 and 18.64.060 of PVMC but are in greater detail. The Design Guidelines are used by ASCC in review of all applications pursuant to Section 18.64.040 of PVMC.

The Guidelines include review criteria for three main aspects of a project: site design, architectural design, and landscape design. Under these main aspects, the Guidelines provide additional principles for certain aspects of the project. These principles are discretionary and subject to interpretation by the reviewing body. Staff's analysis of how the project complies with the three main aspects and underlying principles is discussed below for ASCC's consideration:

1. SITE DESIGN

The additions are generally located close to the existing building in an area that requires minimal grading for foundation/building pad and sitework. The additions are proposed to not impact existing mature trees and vegetation. Exterior materials and the natural color palette will continue to blend the residence into its surroundings while upgrading the building and property.

2. ARCHITECTURAL DESIGN

The scale, form and massing of the building with the proposed additions will remain compatible with the existing historical building and property components. Use of materials such as reclaimed tables and benches with carvings and markings, salvaged board, and batten barnwood, a natural earth tone color palette supports the building's relationship to its surroundings and historical context. The area of addition maintains the buildings overall orientation and layout.

3. LANDSCAPE DESIGN

Existing plants will remain in place and no new landscaping is being proposed with this project. No trees are proposed for removal existing trees will be protected through construction.

If the ASCC determines that it cannot make any of the findings, it may impose additional conditions so that such findings can be met.

PUBLIC COMMENT

Notice of the public meeting was mailed to all property owners within 1,000' of the site on March 03, 2022. Staff has not received any comments as of the publication of this report.

ENVIRONMENTAL REVIEW

The project is categorically exempt per Section 15301 "Existing Facilities" of the State CEQA Guidelines.

ATTACHMENTS

1. Project Plans
2. Historical Impact Analysis, Prepared by Page & Turnbull, September 29, 2022

3. Governing CUP, Approved December 22, 2017
4. Woodside Fire Comments
5. Town Geology (CSA) Comments
6. Town Engineering (NV5) Comments
7. Trails Committee Comments

ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

Attachment 1

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

CLIENT
THE HUNTER 1988 REVOCABLE TRUST

ARCHITECT



PAGE & TURNBULL

170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA 94108
TEL 415.362.5154
WWW.PAGE-TURNBULL.COM

CONSULTANT

ISSUE
PLANNING SUBMISSION

1 09.26.2022 PLANNING RE-SUBMISSION
2 01.10.2023 PLANNING RE-SUBMISSION

TITLE
COVER SHEET

ISSUE DATE
SCALE As indicated
DRAWN BY
CHECKED BY
JOB NUMBER 21335



PROJECT DATA

APN: 079-126-150
CONSTRUCTION TYPE: V-B
ZONING: OA (R-E/1A/SD-1)
OCCUPANCY: A2
OF STORIES: 1
SPRINKLERS: NO

PROJECT SUMMARY

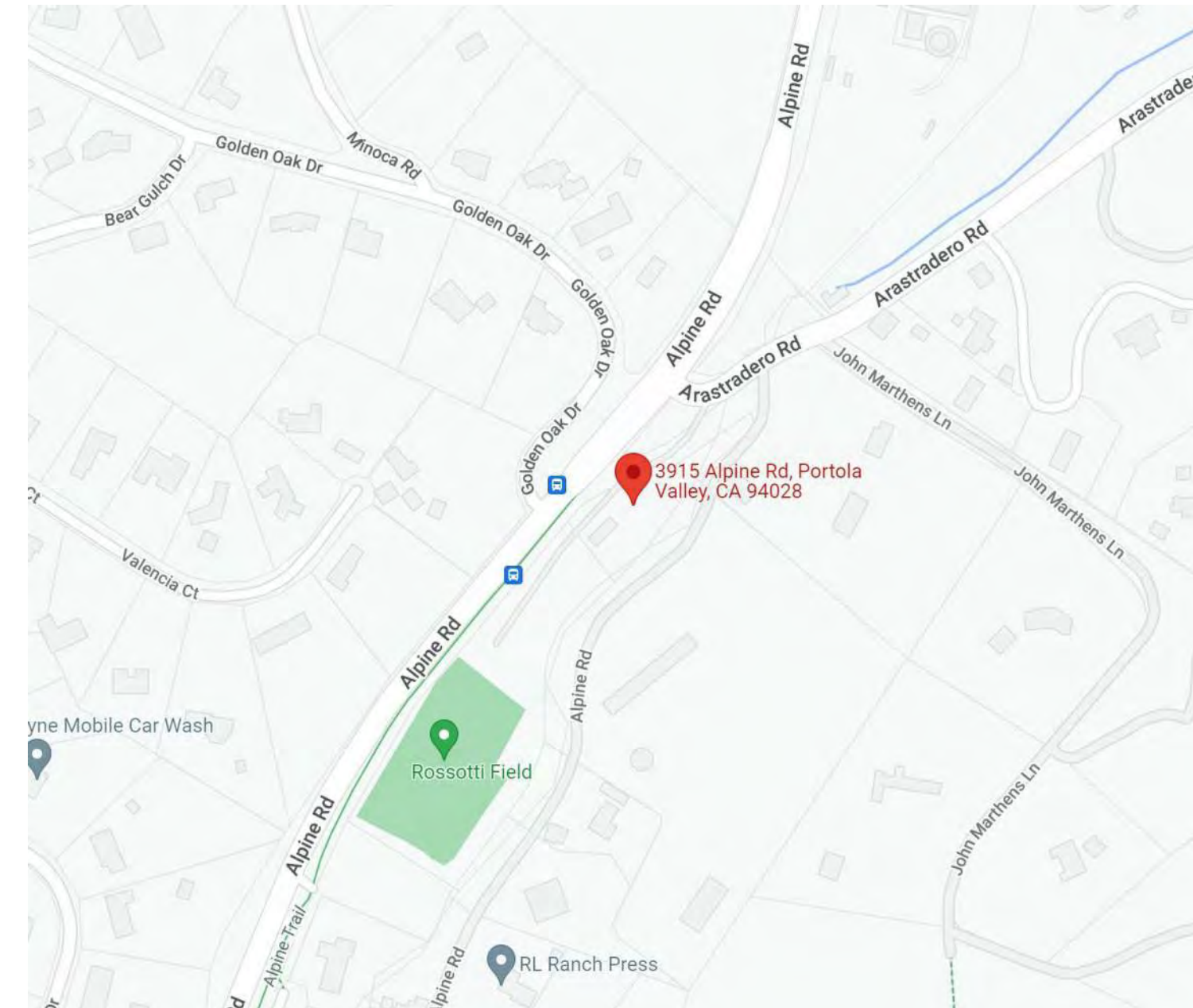
- REMOVE NON-HISTORIC EXTENSION OF TAVERN ROOF TO RESTORE ROOF LINE TO ORIGINAL EAVE LOCATION
- REPLACE NON CODE COMPLIANT KITCHEN
- ENCLOSE OUTDOOR BAR & SERVICE AREA TO PROVIDE S.M.C.H.D. APPROVED CLEANING, DISHWASHING & STORAGE AREAS
- (N) FREESTANDING BATHROOMS
- (N) WALK-IN COOLER
- ELECTRICAL SERVICE UPGRADE
- GAS SERVICE UPGRADE
- FIRE SPRINKLERS & FIRE RISER (SEPARATE PERMIT)

PROJECT DATA TABLE				
	CODE REQUIREMENTS	EXISTING	PROPOSED	REMAINING
MAX FLOOR AREA	PER CUP	3,260	2,886	
85% OF MAX FLOOR AREA	PER CUP	PER CUP	PER CUP	
MAX IMPERVIOUS SURFACE	PER CUP	PER CUP	PER CUP	
VERTICAL HEIGHT	28'	18'-2"	18'-2"	
MAXIMUM HEIGHT	28'	18'-2"	18'-2"	
FRONT SETBACK	SCENIC CORRIDOR 75'	73.5'	75'	
SIDE SETBACKS	25'	25.8'	25.8'	
REAR SETBACK	20'/45"	45'	45'	
CREEK SETBACK*	45'	42.5'	45'	
PARKING SPACES	84/CUP	181	180	

* SEE C2.0 FOR PARKING LAYOUT & A1 SITE PLAN FOR (N) HORSE TETHER STATION PER C2.0 PARKING MAY BE REDUCED BY ONE PARKING SPACE FOR EVERY 2.5 HORSE TETHERING SPACES PROVIDED

SITE DATA			
APN #S	079-126-150	079-126-030	
LOT AREA, COMBINED	2.01 ac, 88,728 SF		
AVERAGE GROUND SLOPE	+/- 3%		
ZONING	OAR-E/1A/SD-1		
REQUIRED SETBACKS			
FRONT SETBACK, 50', SCENIC CORRIDOR 75'	75'		
SIDE SETBACK	25'		
REAR SETBACK, TOP OF STREAM BANK *45'	25'		
HEIGHT	ALLOWED, 28'	18'-2"	
PROPOSED SETBACKS			
FRONT	75'		
SIDE	25'		
REAR	45'		
PROPOSED HEIGHT OF NEW KITCHEN	13'		
NO CHANGE TO PAVED AREA OR IMPERVIOUS SURFACE			
PRE EXISTING STRUCTURES IN THE STREAM CORRIDOR SETBACK			
PROPOSED STRUCTURES IN THE STREAM CORRIDOR SETBACK			
PROPOSED STRUCTURES IN THE FLOOD ZONE			

LOCATION MAP



SHEET INDEX

GENERAL	
G0	COVER SHEET
ARCHITECTURAL	
A1	SITE PLAN
A1.1	EXISTING DEMO FLOOR & ROOF PLANS
A1.4	SITE ANALYSIS & TREE PROTECTION PLAN
A2	PROPOSED FLOOR PLAN & ROOF PLAN, STORY POLE PLANS
A3	EXISTING/DEMO & PROPOSED BUILDING ELEVATIONS
A3.1	PROPOSED TRANSFORMER ELEVATIONS & BUILDING SECTIONS
A4	MATERIALS BOARD
CIVIL	
SU1	TOPOGRAPHIC SURVEY
SU2	TOPOGRAPHIC SURVEY
C1.0	SITE PLAN
C2.0	PARKING PLAN
LIGHTING	
OL1	PROPOSED OUTDOOR LIGHTING PLAN
OL2	LIGHTING CUTSHEETS
OL3	LIGHTING CUTSHEETS
OL4	LIGHTING CUTSHEETS
GRAND TOTAL: 16	

PROJECT PROPOSAL & ZONING						
PROJECT DESCRIPTION	KITCHEN EXPANSION, NEW TOILETS, UPGRADE ELECTRICAL & GAS SERVICE			SECOND ADDRESS		
PUD?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	NAME: ALPINE INN			
SQUARE FOOTAGE	ZONING DISTRICT	PARCEL SIZE	PARCEL SLOPE	SEPTIC OR SEWER?	FLOOD ZONE*	GEOLOGY/ SOIL TYPE
88,728	OA (R-E/1A/SD-1)	2.04 ACRES	2.04 +/- 3%	SEWER	PARTIAL A	CLASS-C
EASEMENTS ON PROPERTY	TRAIL <input checked="" type="checkbox"/>	ACCESS <input checked="" type="checkbox"/>	OPEN SPACE <input type="checkbox"/>	CONSERVATION <input type="checkbox"/>	OTHER UTILITY	

ABBREVIATIONS

(E)	EXISTING	EA.	EACH	N.I.C.	NOT IN CONTRACT	SSD	SEE STRUCTURAL DRAWINGS
(N)	NEW	ELEC.	ELECTRICAL	N.T.S.	NOT TO SCALE	S.S.	STAINLESS STEEL
@	DIAMETER	ELEV.	ELEVATION	NEC.	NECESSARY	S.S.	SCHEDULE
A.B.	ANCHOR BOLT	EMER.	EMERGENCY	NO. or #	NOMINAL	SECT.	SECTION
A.F.F.	ABOVE FINISH FLOOR	EQ.	EQUAL	NOM.	NOMINAL	SHT.	SHEET
ACOUS.	ACOUSTICAL	EST.	ESTIMATED	O.C.	ON CENTER	SIM.	SIMILAR
ADJ.	ADJACENT	EXT.	EXTERIOR	O.H.	OPPOSITE HAND	SPEC.	SPECIFICATION
ALT.	ALTERNATE	F.O.	FACE OF	O.H.	OVERHANG	STD.	STANDARD
ALUM.	ALUMINUM	F.O.F.	FACE OF FINISH	O/-	OVER	STL.	STEEL
APPROX.	APPROXIMATE	FIN.	FINISH	OPNG.	OPENING	STRUCT.	STRUCTURAL
ARCH.	ARCHITECTURAL	FLR.	FLOOR	OFCI.	OWNER FURNISHED CONTRACTOR INSTALLED	T.O.	TOP OF
B.O.	BOTTOM OF BOARD	GA.	GAUGE			THK.	THICK
BD.	BOARD	GALV.	GALVANIZED	P.T.	PRESSURE TREATED	TYP.	TYPICAL
BLDG.	BUILDING	GFRV.	GLASS FIBER	PL.	PLATE	U.O.N.	UNLESS OTHERWISE NOTED
BLKG.	BLOCKING	GL.	GLASS	PLY WD.	PLYWOOD	W/-	WITH
BOT.	BOTTOM	GYP.	GYP SUM	PNL'G	PANELING	W/O	WITHOUT
CAB.	CABINET	GYP. BD.	GYP SUM BOARD	PTD.	PAINTED	WD.	WOOD
CL.	CENTERLINE					WP.	WATERPROOF
CLG.	CEILING	HDWR.	HARDWARE			WT.	WEIGHT
CLST.	CLOSET	HORZ.	HORIZONTAL	R.O.	ROUGH OPENING		
CONSTR.	CONSTRUCTION	INSUL.	INSULATION	RAD.	RADIUS		
CONTIN.	CONTINUOUS	INT.	INTERIOR	REINF.	REINFORCED		
CONTR.	CONTRACTOR			REM.	REMOVE(D)		
CORR.	CORRIDOR	JT.	JOINT	REQ'D.	REQUIRED		
CTR.	CENTER			RET.	RETAINING		
CTS.K.	COUNTERSUNK	MAT.	MATERIAL	RM.	ROOM		
C.U.P.	CONDITIONAL USE PERMIT	MAX.	MAXIMUM	S.C.	SOLID CORE		
		MC	MOTORCYCLE	S.F.	SQUARE FEET		
		MECH.	MECHANICAL	S.M.	SHEET METAL		
		MFR.	MANUFACTURER	SED	SEE ELECTRICAL DRAWINGS		
		MIN.	MINIMUM	SMD	SEE MECHANICAL DRAWINGS		
		MISC.	MISCELLANEOUS	SPD	SEE PLUMBING DRAWINGS		
		MTD.	MOUNTED				
		MTL.	METAL				
DBL.	DOUBLE						
DEM.	DEMOLISH						
DET.	DETAIL						
DIM.	DIMENSION						
DN.	DOWN						
DWG.	DRAWING						

CODES

2019 CALIFORNIA HISTORICAL BUILDING CODE
TITLE 19, CCR, PUBLIC SAFETY, SFM REGULATIONS
2019 CA ADMINISTRATIVE CODE TITLE 24, PT1
2019 CA BUILDING CODE (CBC) TITLE 24, PT2
2019 CA ELECTRICAL CODE (CEC) TITLE 24, PT3
2019 CA MECHANICAL CODE (CMC) TITLE 24, PT4
2019 CA PLUMBING CODE (CPC) TITLE 24, PT5
2019 CA ENERGY CODE (CCR) TITLE 24, PT6
2019 CA FIRE CODE (CFC) TITLE 24, PT9
2019 CA GREEN BUILDING STANDARDS TITLE 24, PT11
2019 CA REFERENCED STANDARDS TITLE 24, PT12

PROJECT TEAM

OWNER
THE HUNTER 1988 REVOCABLE TRUST
5 CHEROKEE CT.
PORTOLA VALLEY, CA 94028
DEKE & LORI HUNTER
650-799-6755

ARCHITECT
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HAYWARD, CA 94545
510-887-4086

KIER & WRIGHT
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
408-727-6665

CONTRACTOR
MIDGLEN STUDIOS ASSOCIATES
831 MIDGLEN WAY
WOODSIDE, CA 94062
650-369-0416

SYMBOLS LEGEND

	NAME	ELEVATION DATUM
	0' - 0"	
	N	PROJECT NORTH
	(E) WALL	
	DEMO WALL	
	PROPOSED WALL	
	ALIGN	
	REVISION CLOUD	
	ELEVATION MARKER	
	BUILDING SECTION	
	DETAIL SECTION	
	CHANGE IN PLANE	

NOT FOR CONSTRUCTION

DBI STAMP

TITLE

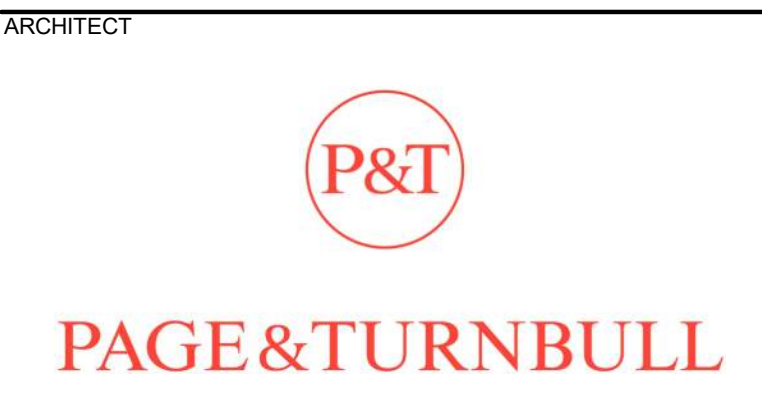
ISSUE DATE

SCALE As indicated
DRAWN BY
CHECKED BY
JOB NUMBER 21335

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

CLIENT
THE HUNTER 1988 REVOCABLE TRUST



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TEL 415.362.5154
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SEAL & SIGNATURE

ISSUE
PLANNING SUBMISSION
1 09.26.2022 PLANNING RE-SUBMISSION
2 01.10.2023 PLANNING RE-SUBMISSION

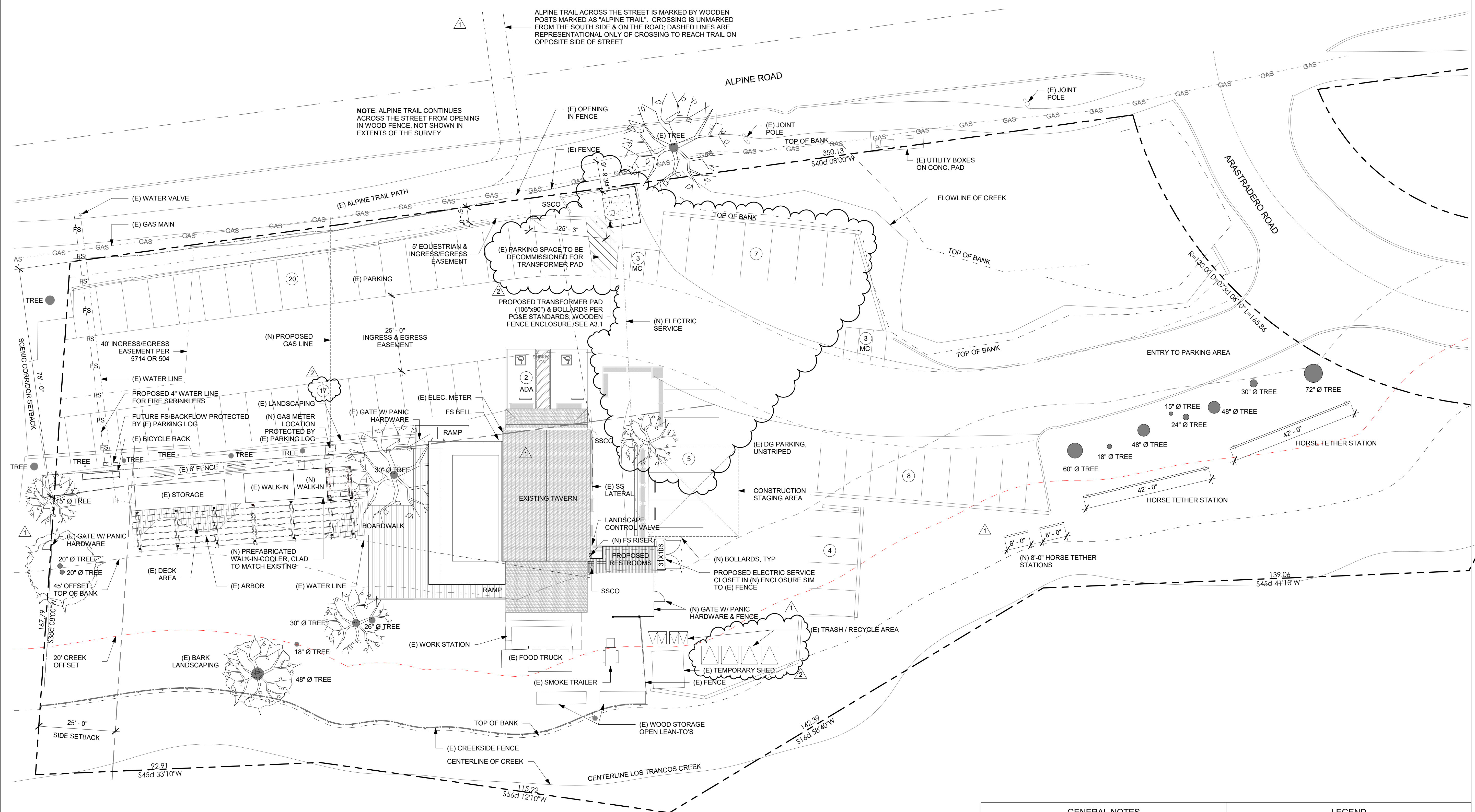
NOT FOR CONSTRUCTION
DBI STAMP

TITLE
SITE PLAN

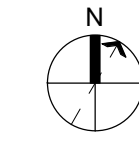
ISSUE DATE
SCALE *As indicated*
DRAWN BY
CHECKED BY
JOB NUMBER 21335

ALPINE TRAIL ACROSS THE STREET IS MARKED BY WOODEN POSTS MARKED AS "ALPINE TRAIL". CROSSING IS UNMARKED FROM THE SOUTH SIDE & ON THE ROAD. DASHED LINES ARE REPRESENTATIONAL ONLY OF CROSSING TO REACH TRAIL ON OPPOSITE SIDE OF STREET

NOTE: ALPINE TRAIL CONTINUES ACROSS THE STREET FROM OPENING IN WOOD FENCE, NOT SHOWN IN EXTENTS OF THE SURVEY





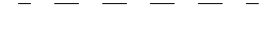
1 SITE PLAN
1/16" = 1'-0"



GENERAL NOTES

1. DURING CONSTRUCTION, ALPINE TRAIL TO REMAIN CLEAR OF PARKED VEHICLES AND EQUIPMENT AT ALL TIMES
2. IF EXISTING SURFACE OF ALPINE TRAIL IS COMPROMISED DURING CONSTRUCTION, IT MUST BE RESTORED TO IT'S PREVIOUS CONDITION.

LEGEND

-  BOUNDARY LINE
-  EASEMENT
-  FENCE

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

CLIENT
THE HUNTER 1988 REVOCABLE TRUST

ARCHITECT



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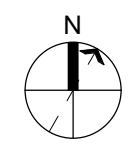
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SAN FRANCISCO, CA 94108
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PLANNING SUBMISSION

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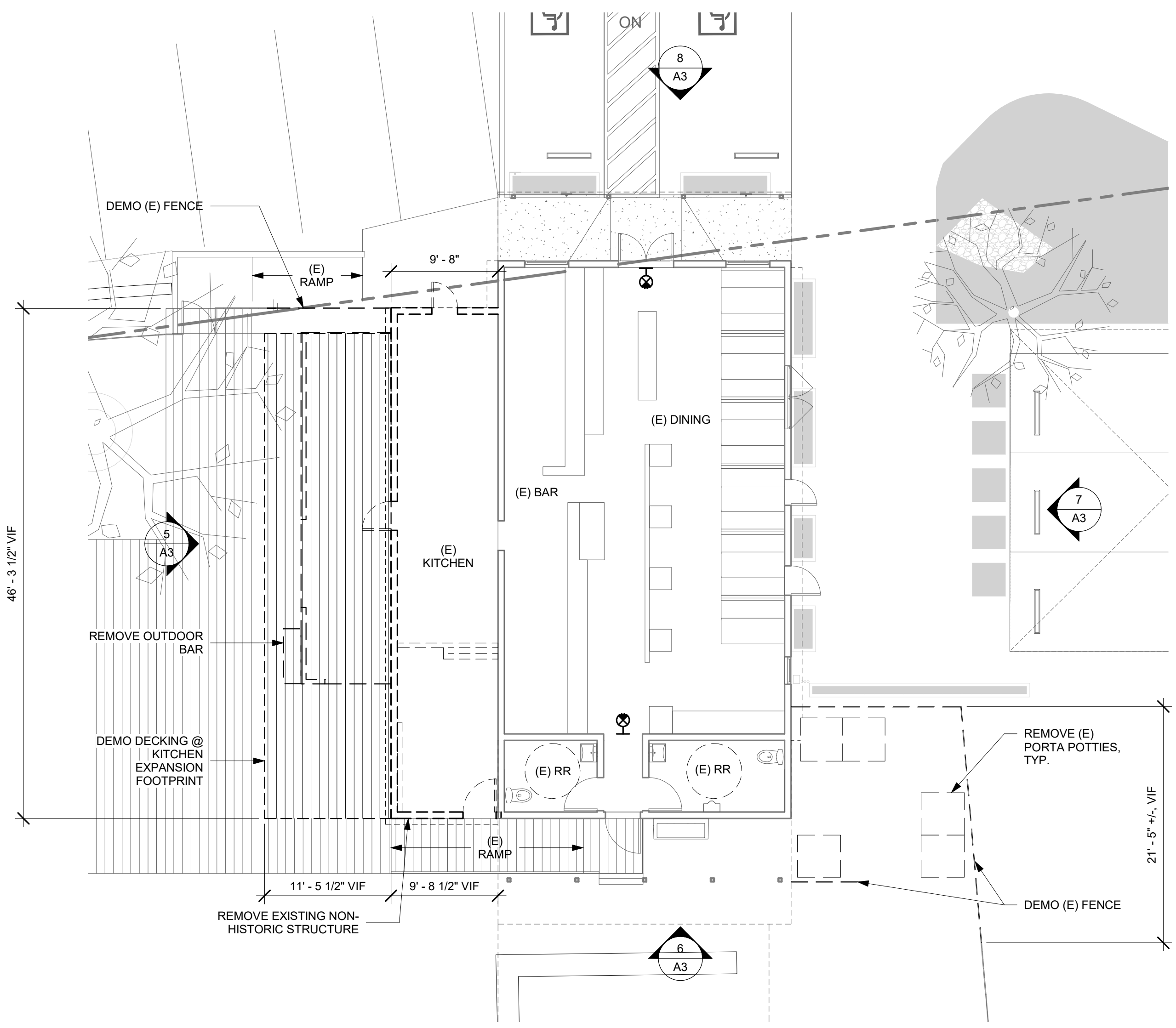


NOT FOR CONSTRUCTION
DBI STAMP

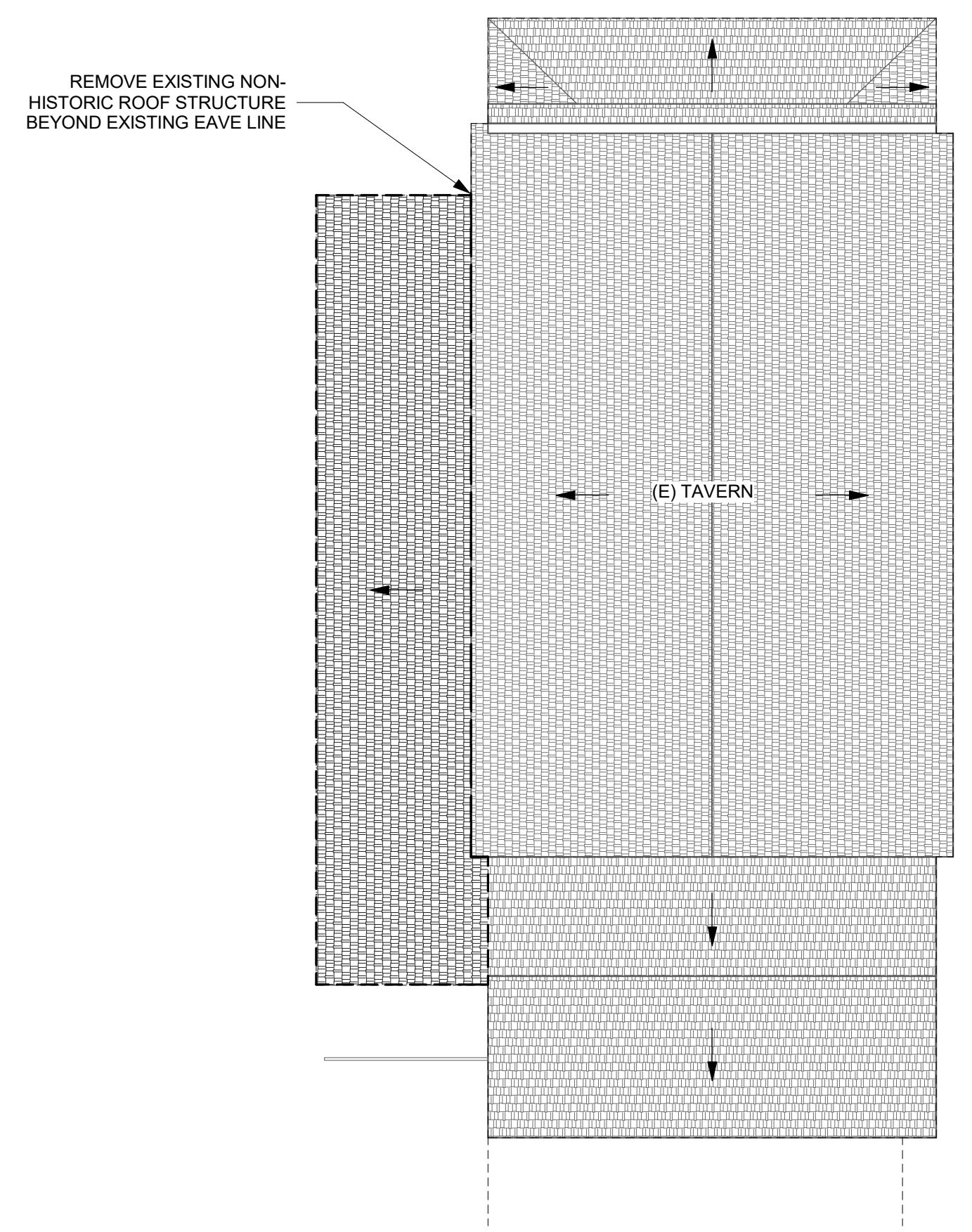
TITLE
EXISTING/DEMO FLOOR & ROOF PLANS

ISSUE DATE
SCALE 1/8" = 1'-0"
DRAWN BY
CHECKED BY
JOB NUMBER 21335

A1.1



1 GROUND FLOOR EXISTING/DEMO PLAN
1/8" = 1'-0"



2 ROOF PLAN - EXISTING/DEMO
1/8" = 1'-0"

GENERAL NOTES

KEYNOTES

FLOOR PLAN LEGEND

- ==== (E) WALL
- - - - DEMOD WALL OR OTHER
- ⊗ ILLUMINATED EXIT SIGN

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

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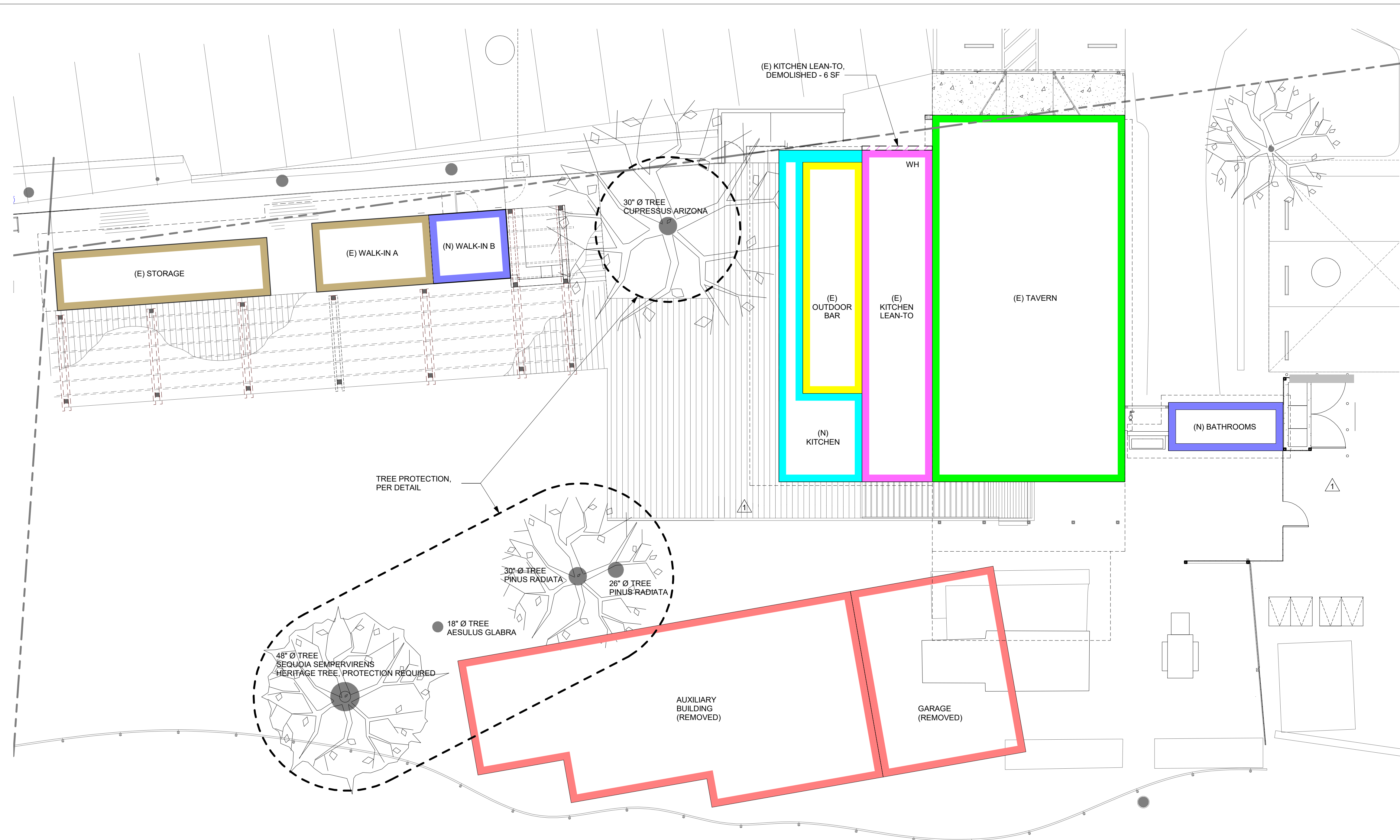
DBI STAMP

TITLE
SITE ANALYSIS & TREE PROTECTION PLAN

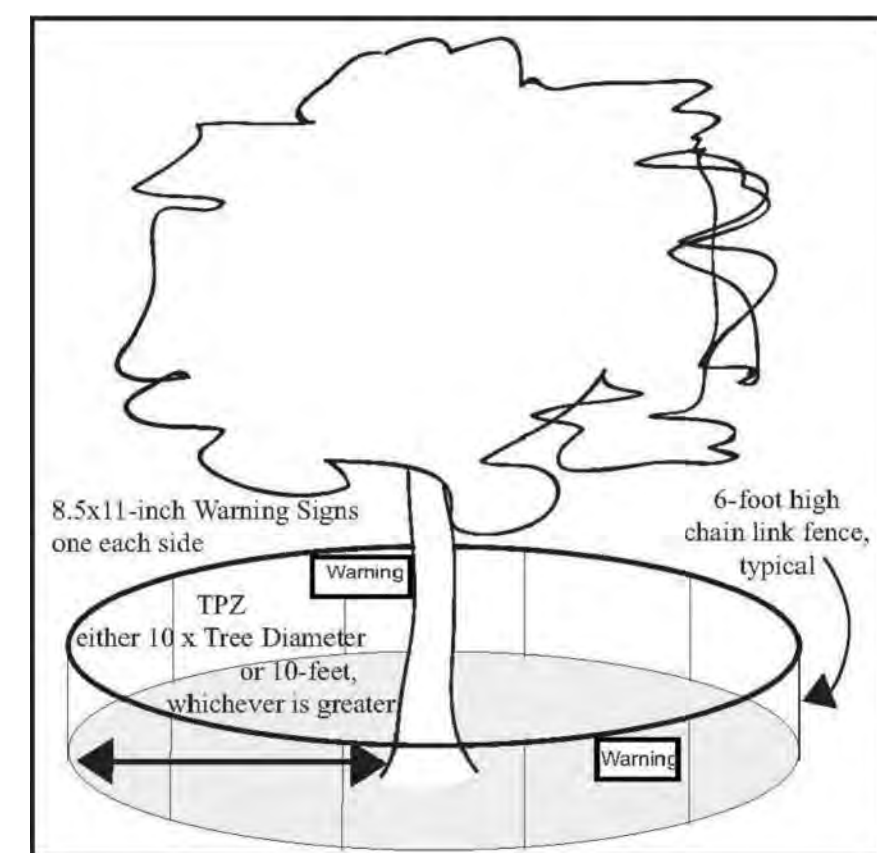
ISSUE DATE
SCALE As indicated
DRAWN BY
CHECKED BY
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A1.4

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1 SITE ANALYSIS & TREE PROTECTION PLAN
1/8" = 1'-0"



SCALE: N.T.S.

2 TREE PROTECTION DETAIL

SIGNIFICANT TREE DEFINITIONS		
COAST LIVE OAK (QUERCUS AGRIFOLIA)	36"	11.5'
BLACK OAK (QUERCUS KELLOGGII)	36"	11.5'
VALLEY OAK (QUERCUS LOBATA)	36"	11.5'
BLUE OAK (QUERCUS DOUGLASII)	16"	5.0'
COAST REDWOOD (SEQUOIA SEMPERVIRENS)	54"	17.2'
DOUGLAS FIR (PSEUDOTSUGA MENZIESII)	54"	17.2'
CALIFORNIA BAY LAUREL (UMBRELLULARIA CALIFORNICA)	36"	11.5'
(IF MULTIPLE TRUNK, MEASUREMENTS PERTAIN TO LARGEST TRUNK)		
BIG LEAF MAPLE (ACER MACROPHYLLUM)	24"	7.6'
MADRONE (ARBUTUS MENZIESII)	24"	7.6'

PROJECT DATA 10.31.2019	AREA
(E) TAVERN	1,320
(E) KITCHEN LEAN TO (WEST SIDE)	450
(E) OUTDOOR BAR	260
AUXILIARY BUILDING	1320
GARAGE	520
TOTAL	3,870

CURRENT CONDITION 08.26.2022	AREA
(E) TAVERN	1,320
(E) KITCHEN LEAN TO (WEST SIDE)	450
(E) OUTDOOR BAR	260
AUXILIARY BUILDING (REMOVED)	0
GARAGE (REMOVED)	0
STORAGE SHEDS IN GARDEN	236
WALK-IN COOLER A IN GARDEN	154
TOTAL	2,420

PROPOSED	AREA
(E) TAVERN	1,320
NEW KITCHEN, INCLUDES:	968
- KITCHEN LEAN TO (WEST SIDE) 444 SF	0
- OUTDOOR BAR (REMOVED) 260 SF	0
AUXILIARY BUILDING (REMOVED)	0
GARAGE (REMOVED)	0
STORAGE SHEDS IN GARDEN	236
WALK-IN COOLER A IN GARDEN	154
WALK-IN COOLER B IN GARDEN	102
4 OUTDOOR RESTROOMS	106
TOTAL	2,886

GENERAL NOTES

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
 PORTOLA VALLEY, CA 94028

CLIENT
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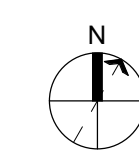
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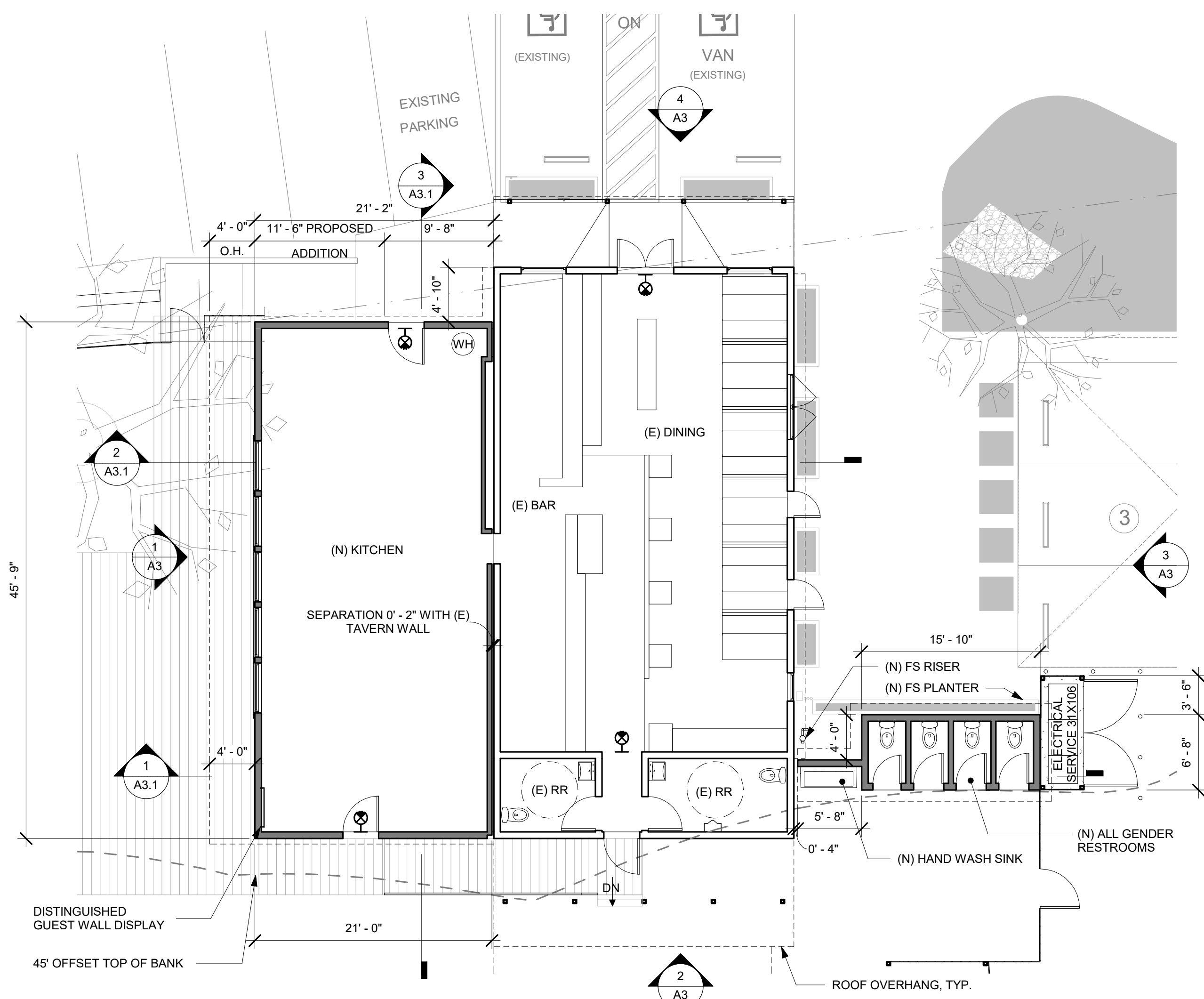
NOT FOR CONSTRUCTION

DBI STAMP

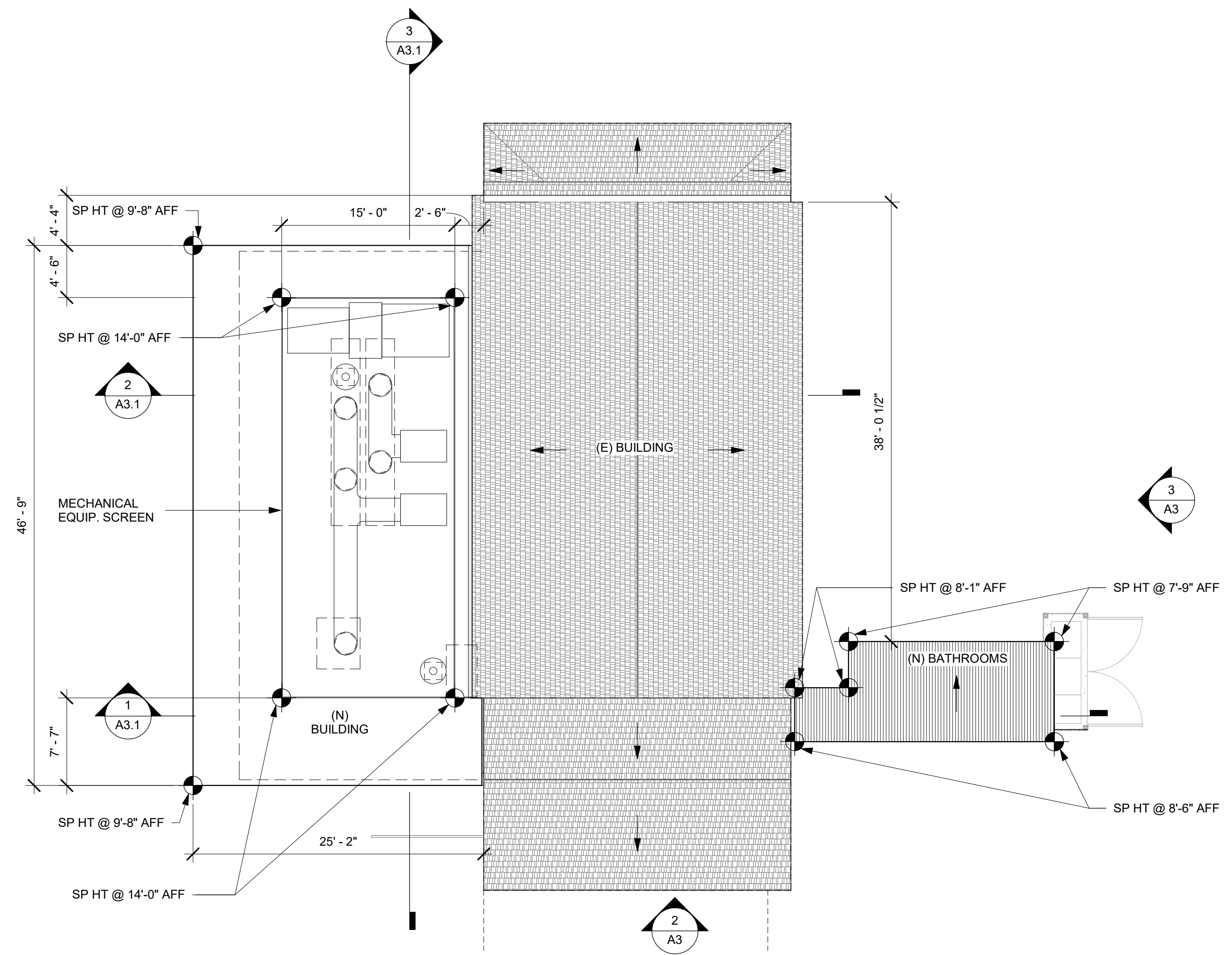
TITLE
PROPOSED FLOOR PLAN & ROOF PLAN, STORY POLE PLANS

ISSUE DATE _____
 SCALE As indicated
 DRAWN BY _____
 CHECKED BY _____
 JOB NUMBER 21335

A2



1 GROUND FLOOR - PROPOSED
 1/8" = 1'-0"



2 ROOF PLAN - PROPOSED & STORY POLE PLAN
 1/8" = 1'-0"

GENERAL NOTES

1. TYPE K FIRE EXTINGUISHERS TO BE PROVIDED/MOUNTED IN (N) KITCHEN
2. ANSUL FIRE SYSTEM TO BE INSTALLED IN KITCHEN
3. PROVIDE KNOX BOX (RECESSED MODEL 3270 OR SURFACE MOUNTED MODEL 3261)
4. SELF-ILLUMINATING EXIT SIGNS TO BE INSTALLED, WHERE REQUIRED.
5. FIRE SPRINKLERS (SEPARATE SUBMITTAL):
 A. NFPA 13 SYSTEM TO BE INSTALLED

KEYNOTES

FLOOR PLAN LEGEND

- (E) WALL
- PROPOSED WALL
- ILLUMINATED EXIT SIGN
- STORY POLE ELEVATION INDICATOR

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

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TITLE
EXISTING/DEMO & PROPOSED BUILDING ELEVATIONS

ISSUE DATE
SCALE As indicated
DRAWN BY
CHECKED BY
JOB NUMBER 21335

A3

LEGEND

☐ ITEM TO BE DEMOLISHED

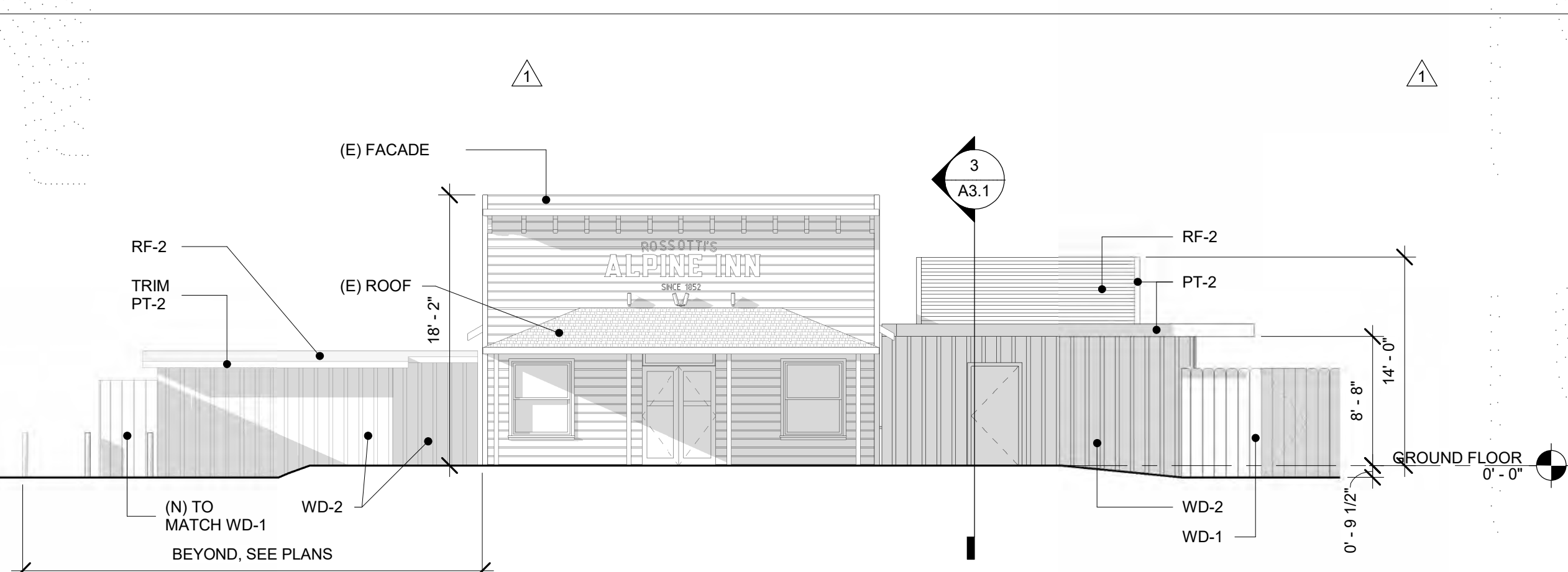
MATERIALS
(SEE ALSO MATERIAL BOARD)

- WD-2 SALVAGED BARNWOOD
- WD-1 (E) FENCE OR (N) FENCE TO MATCH (E)
- PT-1 PAINT 1
- PT-2 PAINT 2
- RF-1 (E) ROOF SHINGLE
- RF-2 CORRUGATED METAL PANEL

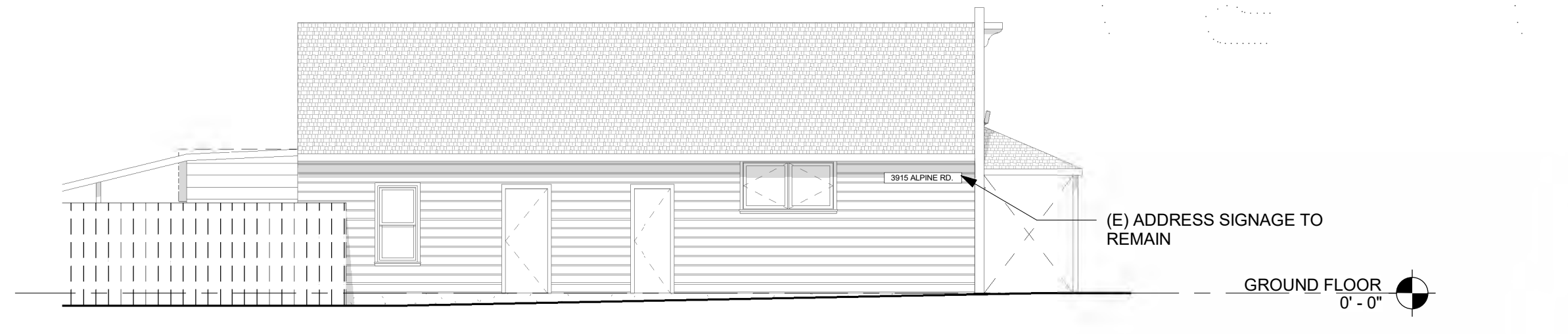
GENERAL NOTES



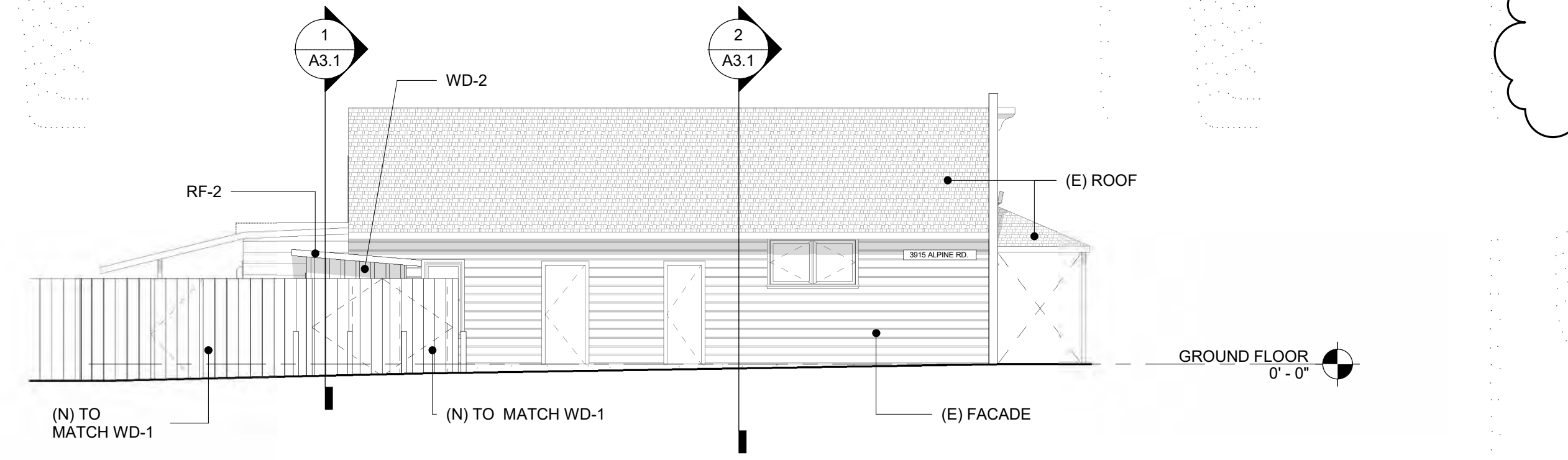
8 NORTH ELEVATION - EXISTING
1/8" = 1'-0"



4 NORTH ELEVATION - PROPOSED
1/8" = 1'-0"



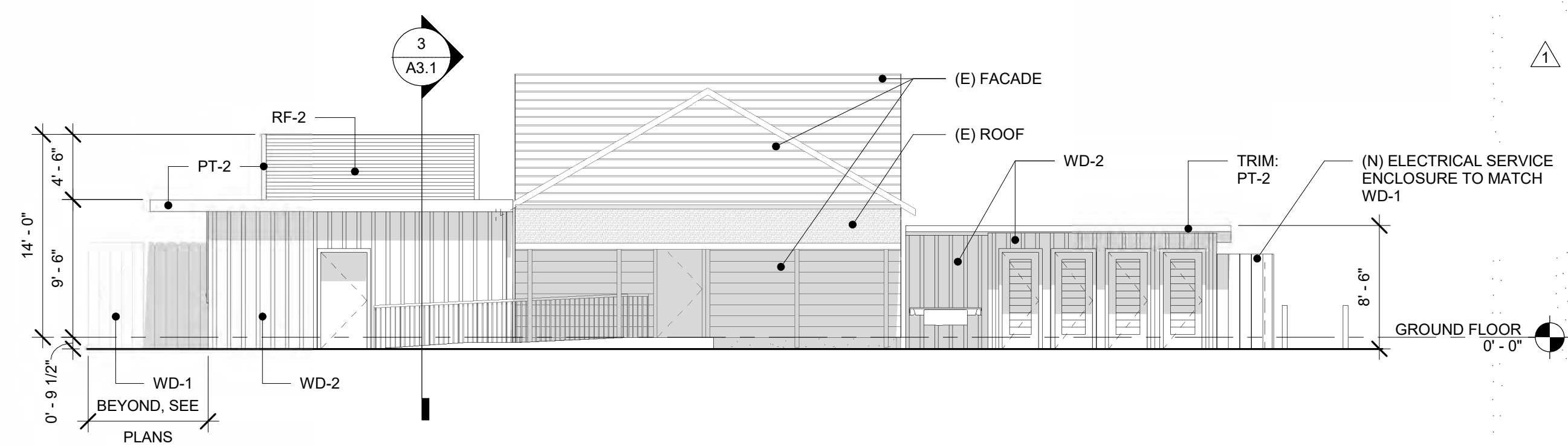
7 EAST ELEVATION - EXISTING
1/8" = 1'-0"



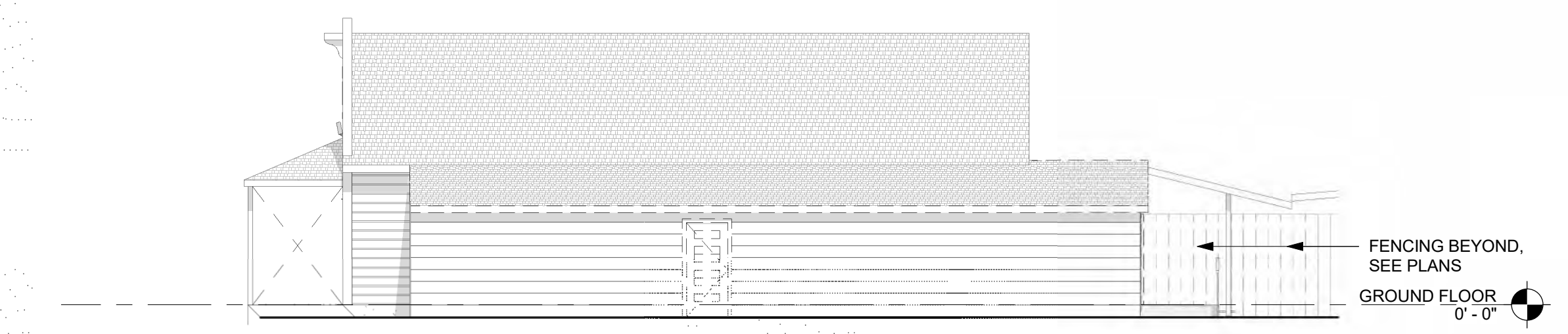
3 EAST ELEVATION - PROPOSED
1/8" = 1'-0"



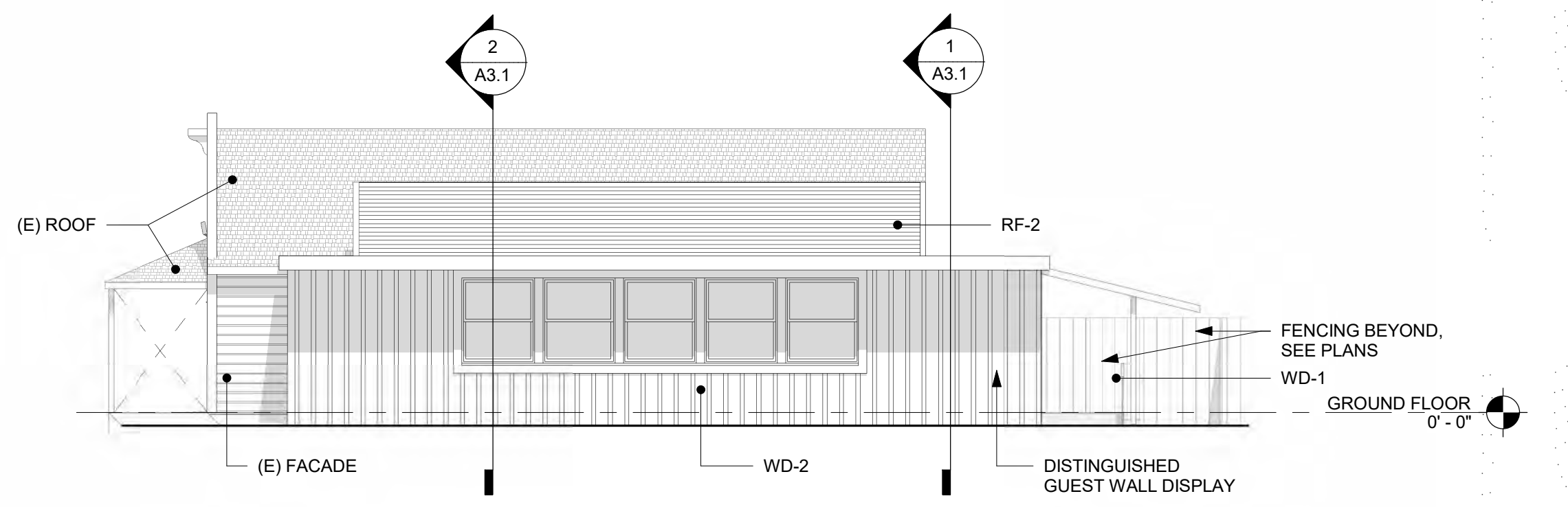
6 SOUTH ELEVATION - EXISTING
1/8" = 1'-0"



2 SOUTH ELEVATION - PROPOSED
1/8" = 1'-0"



5 WEST ELEVATION - EXISTING
1/8" = 1'-0"



1 WEST ELEVATION - PROPOSED
1/8" = 1'-0"

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

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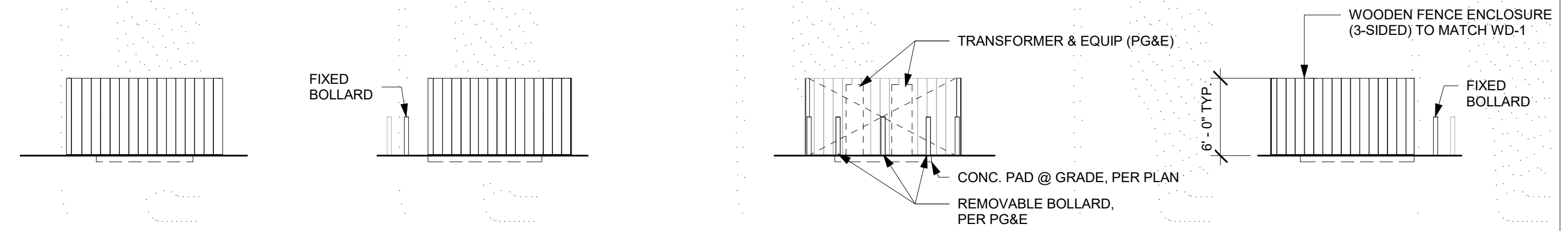
1 09.26.2022 PLANNING RE-SUBMISSION

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TITLE
PROPOSED TRANSFORMER ELEVATIONS & BUILDING SECTIONS

ISSUE DATE
SCALE 1/8" = 1'-0"
DRAWN BY
CHECKED BY
JOB NUMBER 21335

A3.1

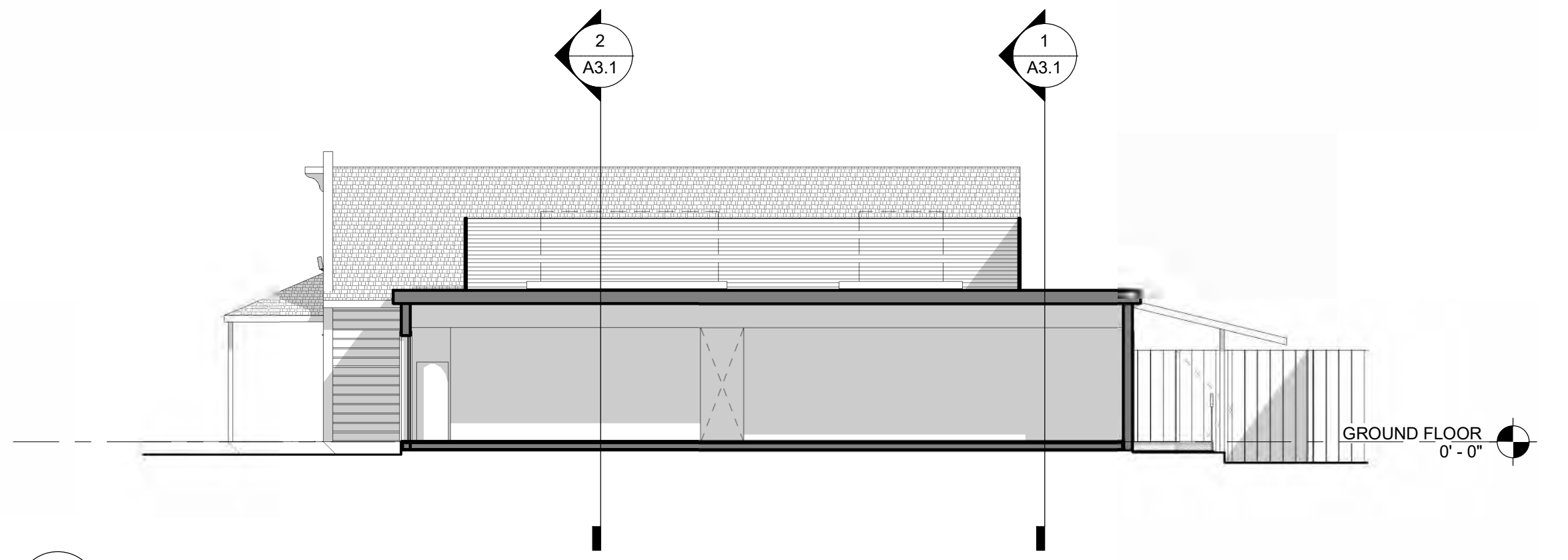


4 ENCLOSURE ELEV. - EAST
1/8" = 1'-0"

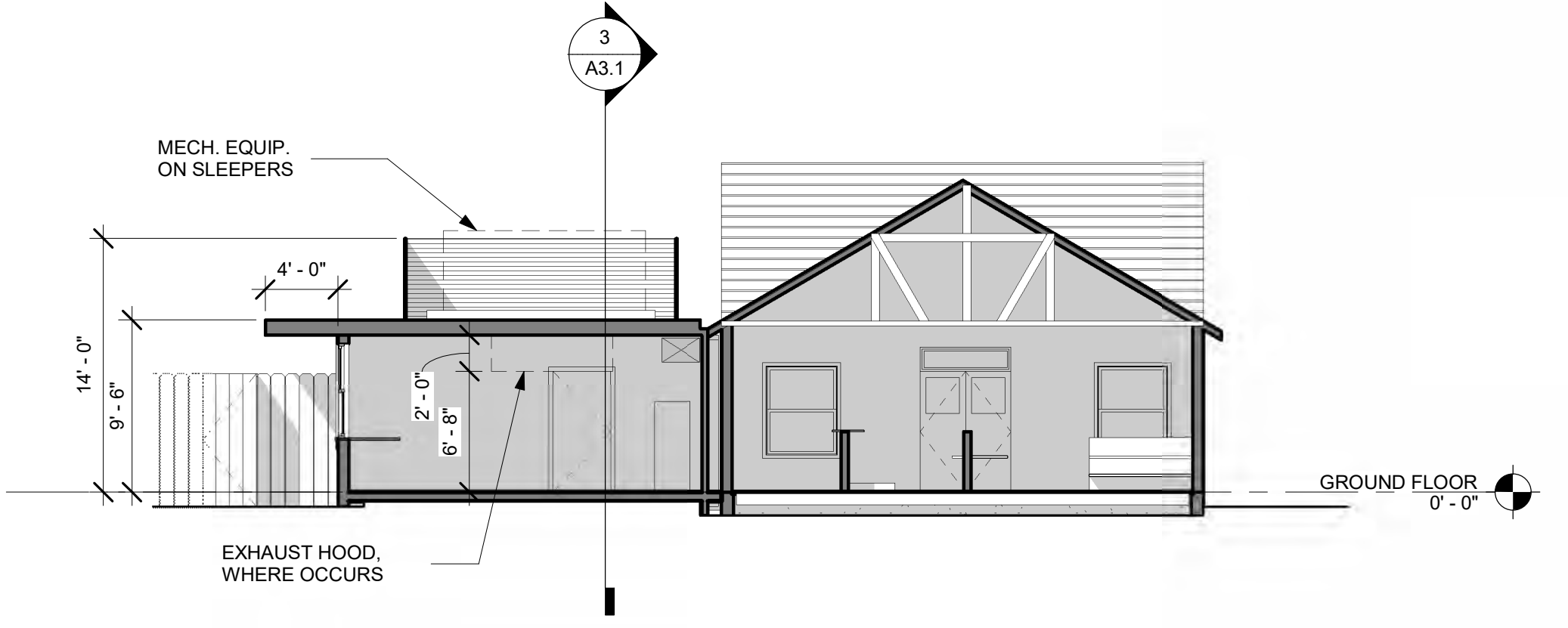
5 ENCLOSURE ELEV. - SOUTH
1/8" = 1'-0"

6 ENCLOSURE ELEV. - WEST
1/8" = 1'-0"

7 ENCLOSURE ELEV. - NORTH
1/8" = 1'-0"



3 SECTION 3
1/8" = 1'-0"



2 SECTION 2
1/8" = 1'-0"



1 SECTION 1
1/8" = 1'-0"

PROJECT
**ALPINE INN BEER
GARDEN**

3915 ALPINE RD.
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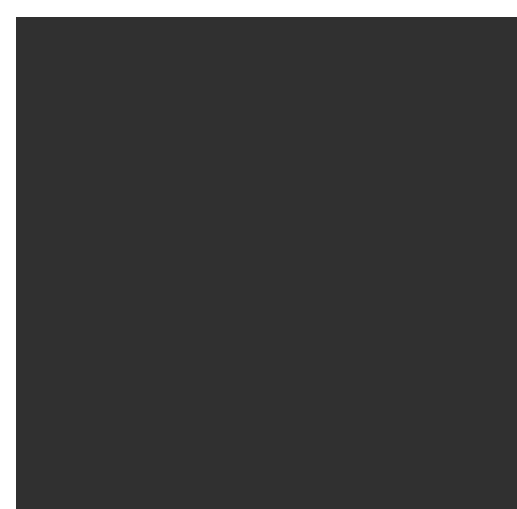
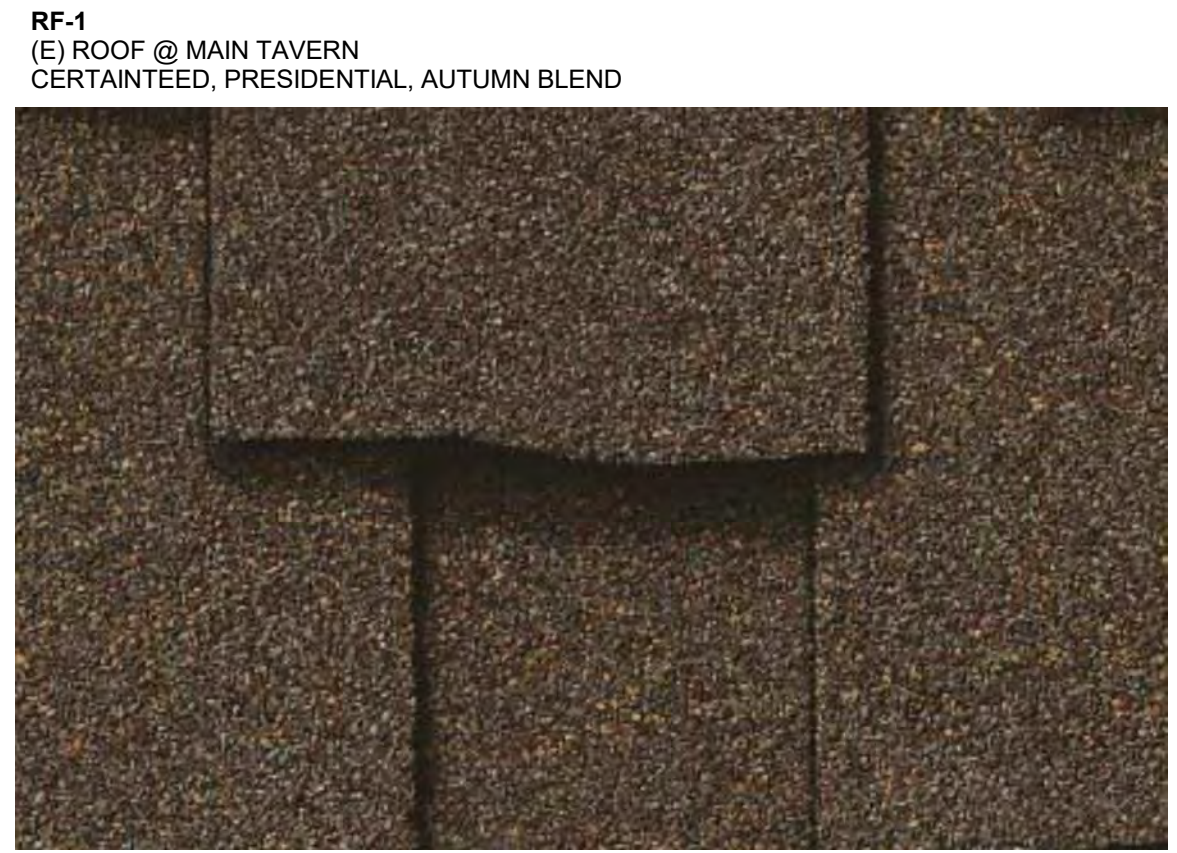
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TITLE
MATERIALS BOARD

ISSUE DATE _____
SCALE 12" = 1'-0"
DRAWN BY _____
CHECKED BY _____
JOB NUMBER 21335



A4





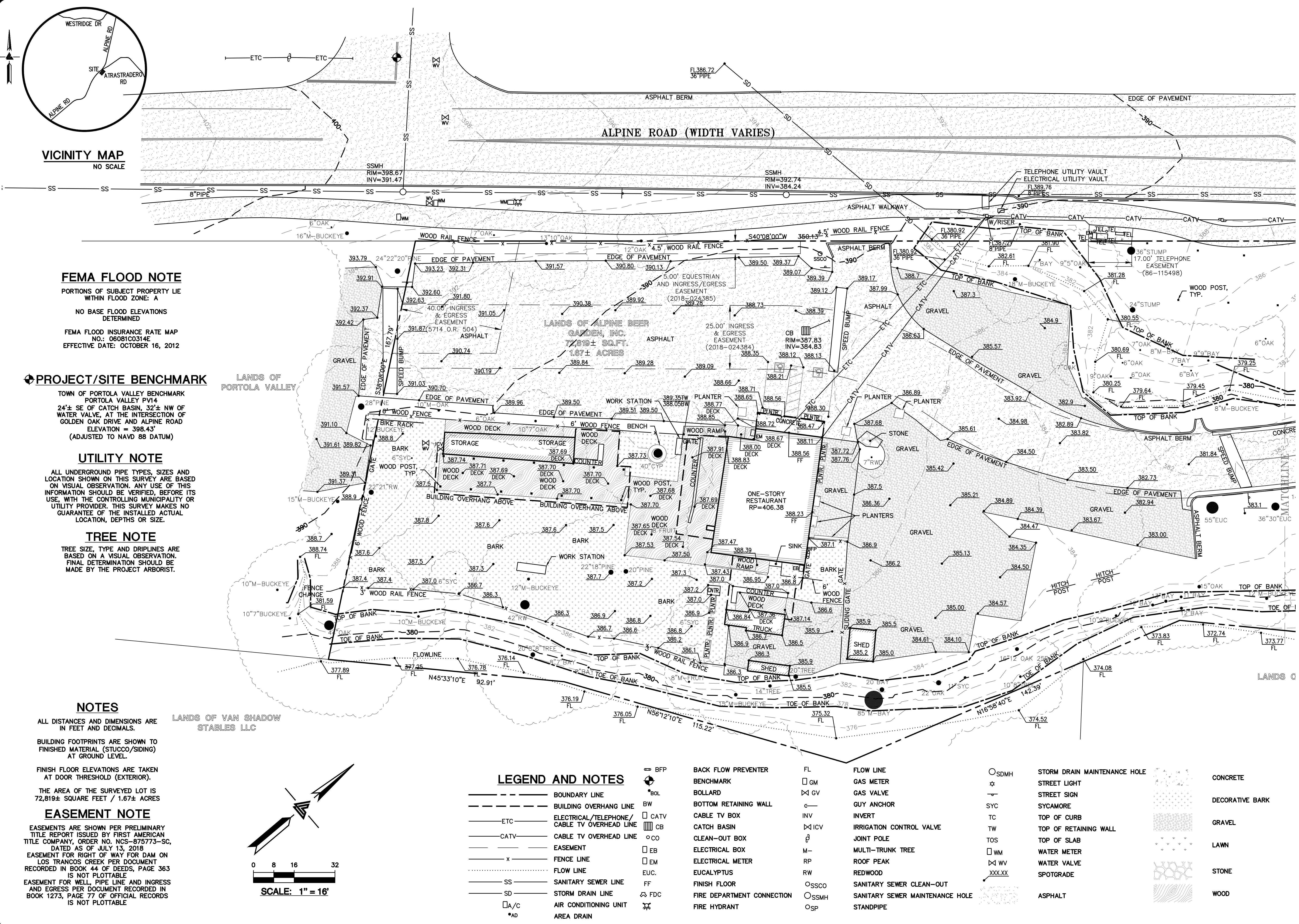
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3915 ALPINE ROAD
PORTOLA VALLEY
CALIFORNIA
 APN: 079-123-150
 SAN MATEO COUNTY

TOPOGRAPHIC SURVEY

REVISIONS	BY
7-13-22	ZB
6-30-21	DB
JOB NO: 2210138	
DATE: 4-21-21	
SCALE: 1"=16'	
FIELD BY: ES	
DRAWN BY: NT	
SHEET NO:	

SU1
1 OF 2 SHEETS



VICINITY MAP
NO SCALE

FEMA FLOOD NOTE
 PORTIONS OF SUBJECT PROPERTY LIE WITHIN FLOOD ZONE: A
 NO BASE FLOOD ELEVATIONS DETERMINED
 FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0314E
 EFFECTIVE DATE: OCTOBER 16, 2012

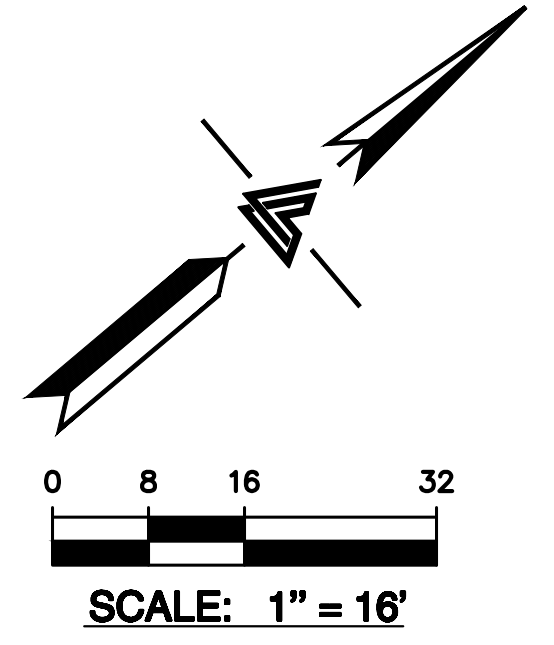
PROJECT/SITE BENCHMARK
 TOWN OF PORTOLA VALLEY BENCHMARK PORTOLA VALLEY PV14
 24'± SE OF CATCH BASIN, 32'± NW OF WATER VALVE, AT THE INTERSECTION OF GOLDEN OAK DRIVE AND ALPINE ROAD
 ELEVATION = 398.43'
 (ADJUSTED TO NAVD 88 DATUM)

UTILITY NOTE
 ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

TREE NOTE
 TREE SIZE, TYPE AND DRIP LINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

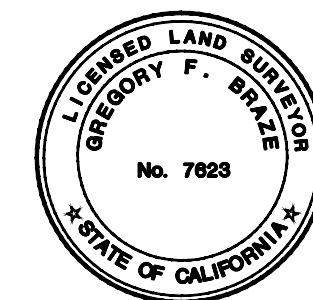
NOTES
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 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS 72,819± SQUARE FEET / 1.67± ACRES

EASEMENT NOTE
 EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. MGS-875773-SC, DATED AS OF JULY 13, 2018
 EASEMENT FOR RIGHT OF WAY FOR DAM ON LOS TRANCOS CREEK PER DOCUMENT RECORDED IN BOOK 44 OF DEEDS, PAGE 363 IS NOT PLOTTABLE
 EASEMENT FOR WELL, PIPE LINE AND INGRESS AND EGRESS PER DOCUMENT RECORDED IN BOOK 1273, PAGE 77 OF OFFICIAL RECORDS IS NOT PLOTTABLE



LEGEND AND NOTES

- | | | | | | | | | | |
|-----------|---|---|----------------------------|---|---------------------------------|-----|-----------------------|---|-----------------|
| — | BOUNDARY LINE | ⊕ | BENCHMARK | ○ | FLOW LINE | ○ | SDMH | ▨ | CONCRETE |
| - - - | BUILDING OVERHANG LINE | ⊙ | BOLLARD | □ | GAS METER | * | STREET LIGHT | ▨ | DECORATIVE BARK |
| - · - · - | ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE | ⊕ | BOTTOM RETAINING WALL | ⊕ | GAS VALVE | — | STREET SIGN | ▨ | GRAVEL |
| - · - · - | CABLE TV OVERHEAD LINE | ⊕ | CABLE TV BOX | ⊕ | GUY ANCHOR | SYC | SYCAMORE | ▨ | LAWN |
| - · - · - | EASEMENT | ⊕ | CATCH BASIN | ⊕ | INVERT | TC | TOP OF CURB | ▨ | STONE |
| - · - · - | FENCE LINE | ⊕ | CLEAN-OUT BOX | ⊕ | IRRIGATION CONTROL VALVE | TW | TOP OF RETAINING WALL | ▨ | WOOD |
| - · - · - | FLOW LINE | ⊕ | ELECTRICAL BOX | ⊕ | JOINT POLE | ⊕ | TOP OF SLAB | | |
| - · - · - | SANITARY SEWER LINE | ⊕ | ELECTRICAL METER | ⊕ | MULTI-TRUNK TREE | ⊕ | WATER METER | | |
| - · - · - | STORM DRAIN LINE | ⊕ | EUCALYPTUS | ⊕ | ROOF PEAK | ⊕ | WATER VALVE | | |
| □ | AIR CONDITIONING UNIT | ⊕ | FINISH FLOOR | ⊕ | REDWOOD | ⊕ | SPOTGRADE | | |
| ⊕ | AREA DRAIN | ⊕ | FIRE DEPARTMENT CONNECTION | ⊕ | SANITARY SEWER CLEAN-OUT | | | | |
| | | ⊕ | FIRE HYDRANT | ⊕ | SANITARY SEWER MAINTENANCE HOLE | | | | |
| | | ⊕ | | ⊕ | STANDPIPE | | | | |



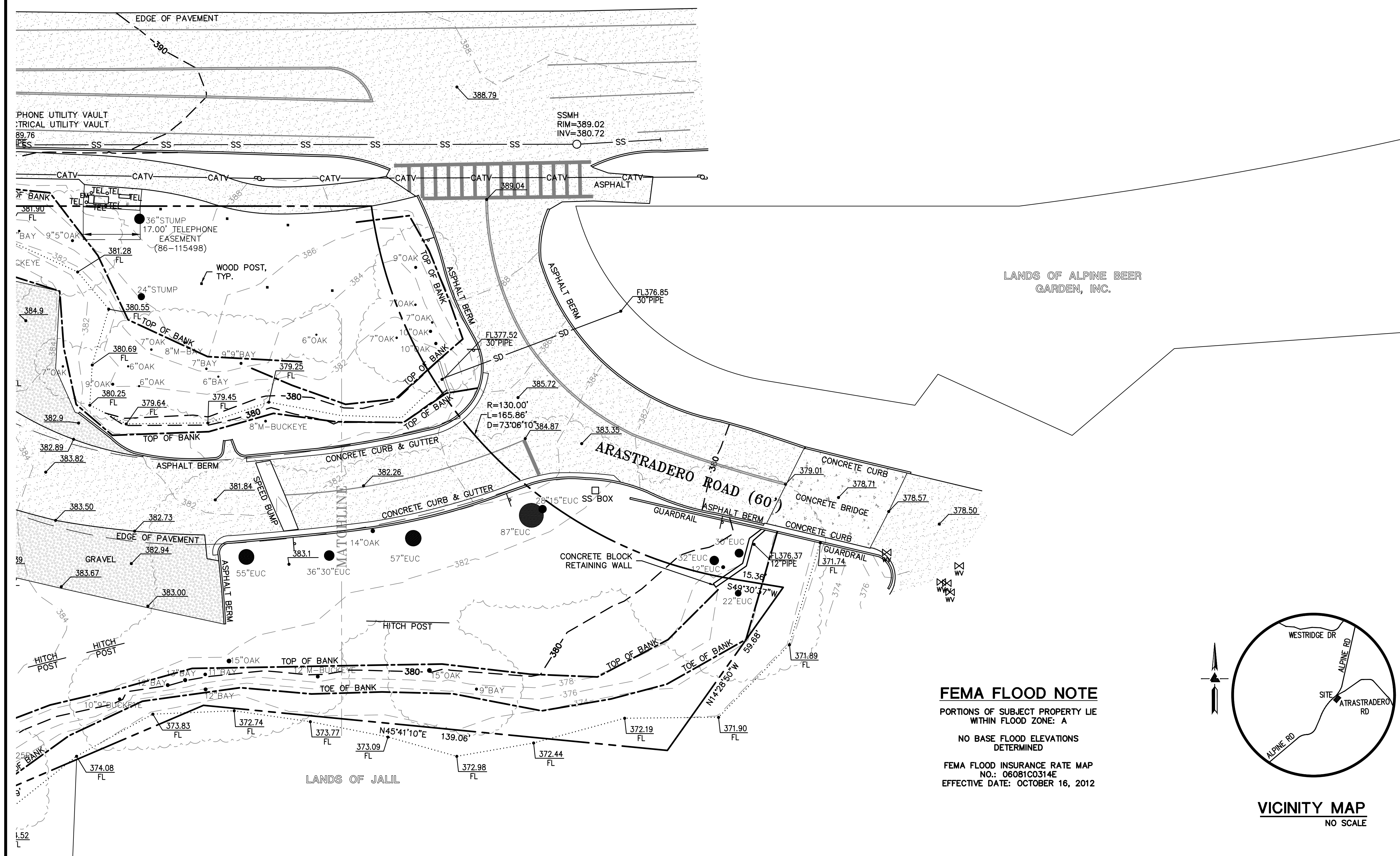
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**3915 ALPINE ROAD
 PORTOLA VALLEY
 CALIFORNIA**

APN: 079-123-150

SAN MATEO COUNTY

TOPOGRAPHIC SURVEY



PROJECT/SITE BENCHMARK

TOWN OF PORTOLA VALLEY BENCHMARK
 PORTOLA VALLEY PV14
 24'± SE OF CATCH BASIN, 32'± NW OF
 WATER VALVE, AT THE INTERSECTION OF
 GOLDEN OAK DRIVE AND ALPINE ROAD
 ELEVATION = 398.43'
 (ADJUSTED TO NAVD 88 DATUM)

UTILITY NOTE

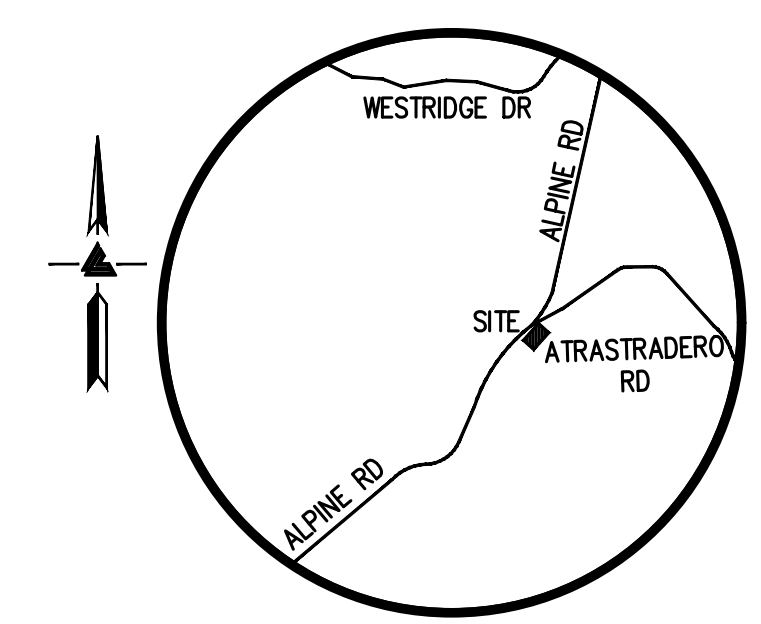
ALL UNDERGROUND PIPE TYPES, SIZES AND
 LOCATION SHOWN ON THIS SURVEY ARE BASED
 ON VISUAL OBSERVATION. ANY USE OF THIS
 INFORMATION SHOULD BE VERIFIED, BEFORE ITS
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TREE NOTE

TREE SIZE, TYPE AND DRILINES ARE
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 FINAL DETERMINATION SHOULD BE
 MADE BY THE PROJECT ARBORIST.

FEMA FLOOD NOTE

PORTIONS OF SUBJECT PROPERTY LIE
 WITHIN FLOOD ZONE: A
 NO BASE FLOOD ELEVATIONS
 DETERMINED
 FEMA FLOOD INSURANCE RATE MAP
 NO.: 06081C0314E
 EFFECTIVE DATE: OCTOBER 16, 2012



VICINITY MAP
 NO SCALE

NOTES

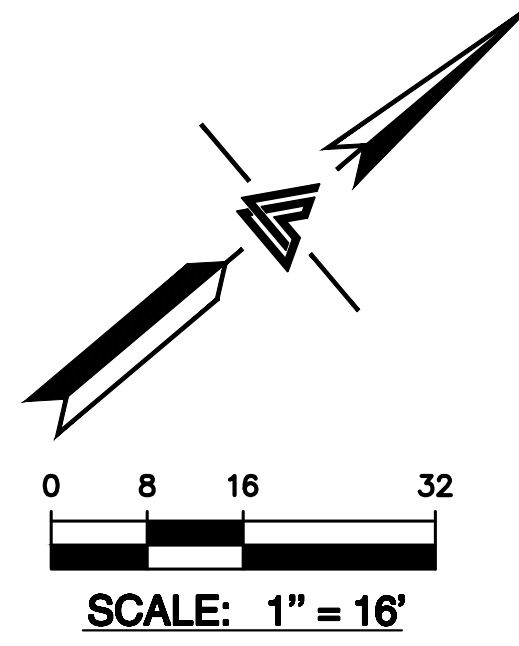
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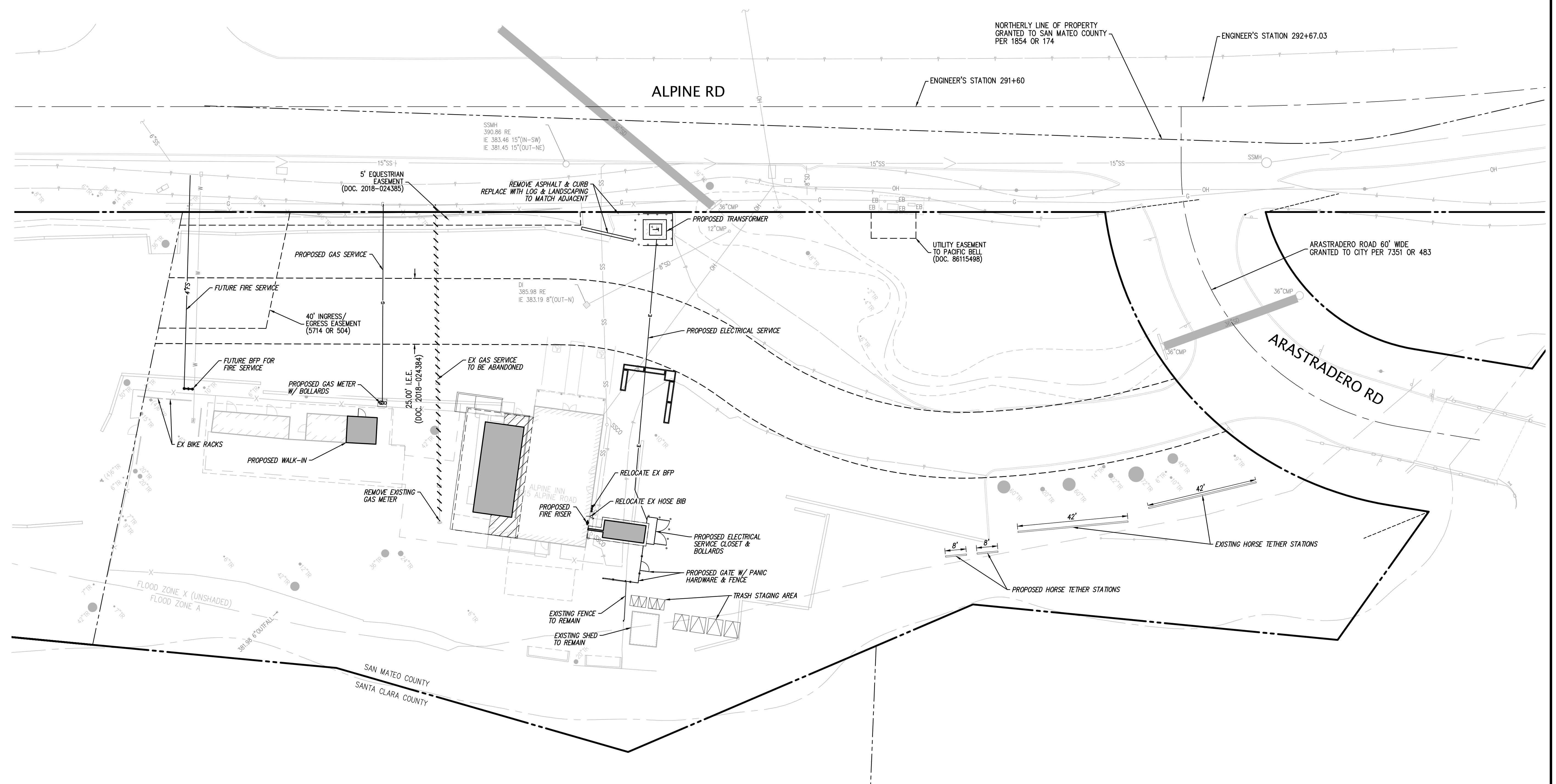
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 TITLE REPORT ISSUED BY FIRST AMERICAN
 TITLE COMPANY, ORDER NO. NCS-875773-SC,
 DATED AS OF JULY 13, 2018
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 RECORDED IN BOOK 44 OF DEEDS, PAGE 363
 IS NOT PLOTTABLE
 EASEMENT FOR WELL, PIPE LINE AND INGRESS
 AND EGRESS PER DOCUMENT RECORDED IN
 BOOK 1273, PAGE 77 OF OFFICIAL RECORDS
 IS NOT PLOTTABLE

LEGEND AND NOTES

- | | | | |
|---|--------------------------------|--------------------------------------|-------------------------------------|
| --- BOUNDARY LINE | ⊕ BFP BACK FLOW PREVENTER | FL FLOW LINE | ○ SDMH STORM DRAIN MAINTENANCE HOLE |
| --- BUILDING OVERHANG LINE | ⊙ BOL BOLLARD | GM GAS METER | ☆ STREET LIGHT |
| --- ETC ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE | BW BOTTOM RETAINING WALL | GV GAS VALVE | SYC SYCAMORE |
| --- CATV CABLE TV OVERHEAD LINE | CB CATCH BASIN | INV INVERT | TC TOP OF CURB |
| --- EASEMENT | CO CLEAN-OUT BOX | ICV IRRIGATION CONTROL VALVE | TW TOP OF RETAINING WALL |
| --- FENCE LINE | EB ELECTRICAL BOX | β JOINT POLE | TOS TOP OF SLAB |
| --- FLOW LINE | EM ELECTRICAL METER | M- MULTI-TRUNK TREE | WM WATER METER |
| --- SANITARY SEWER LINE | EUC. EUCALYPTUS | RP ROOF PEAK | WV WATER VALVE |
| --- STORM DRAIN LINE | FF FINISH FLOOR | RW REDWOOD | XXX.XX SPOTGRADE |
| --- AIR CONDITIONING UNIT | FDC FIRE DEPARTMENT CONNECTION | SSCO SANITARY SEWER CLEAN-OUT | |
| --- AREA DRAIN | FD FIRE HYDRANT | SSMH SANITARY SEWER MAINTENANCE HOLE | |
| | | SP STANDPIPE | |





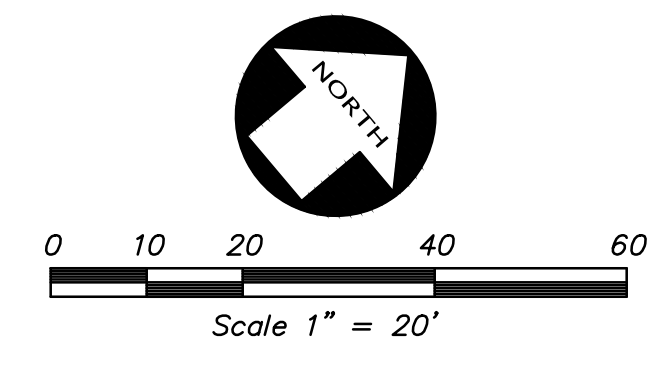
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NOTES

1. DURING CONSTRUCTION, ALPINE TRAIL TO REMAIN CLEAR OF PARKED VEHICLES AND EQUIPMENT AT ALL TIMES
2. IF EXISTING SURFACE OF ALPINE TRAIL IS COMPROMISED DURING CONSTRUCTION, IT MUST BE RESTORED TO ITS PREVIOUS CONDITION

LEGEND

PROPOSED	EXISTING	
		EDGE OF PAVEMENT
		ELECTRIC LINE
		ABANDON EXISTING UTILITY
		FENCE LINE
		GAS LINE-VALVE & METER
		PROPERTY LINE
		EASEMENT LINE
		SANITARY SEWER-MANHOLE & CLEANOUT
		STORM DRAIN-MANHOLE & CATCH BASIN
		SPOT ELEVATION
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		FIRE HYDRANT & FIRE DEPARTMENT CONNECTION
		POST INDICATOR VALVE
		TRANSFORMER
		BUILDING
		BUILDING TO BE DEMOLISHED



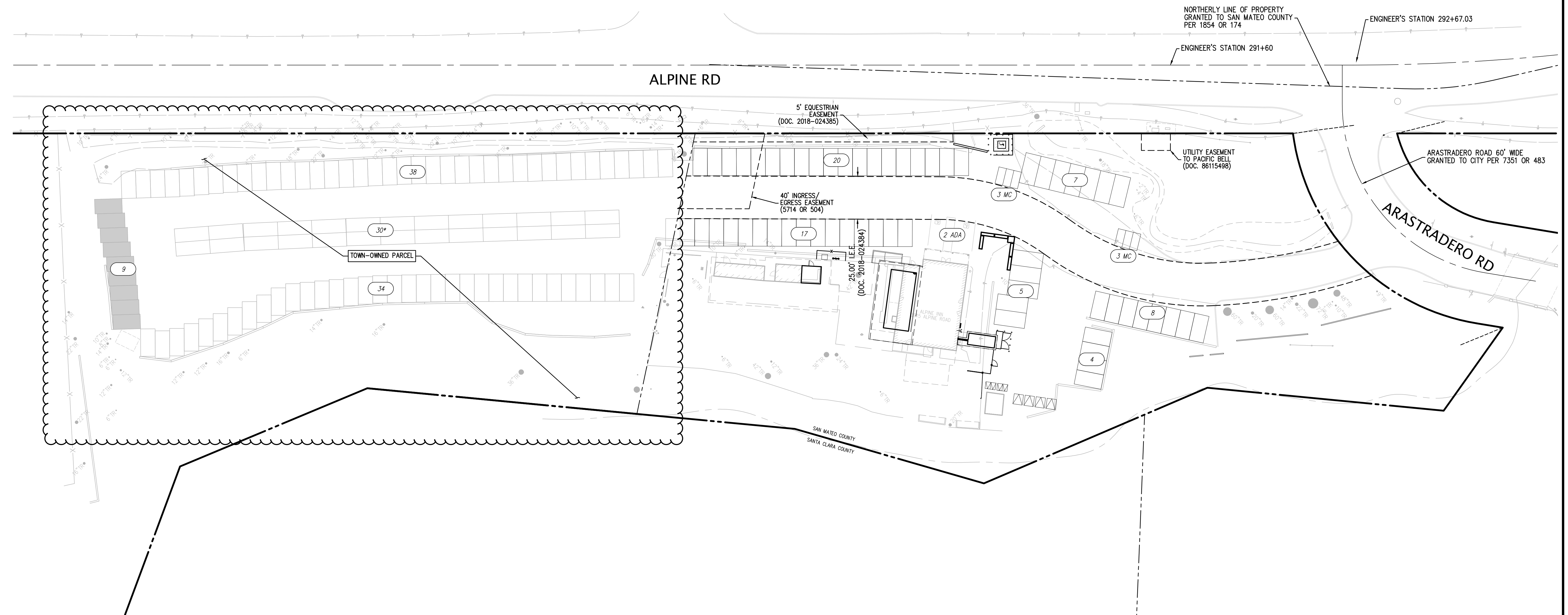
NO.	REVISION	BY

KIER+WRIGHT

 3350 Scott Boulevard, Building 22
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 Phone: (408) 727-6665
 www.kierwright.com

SITE PLAN
 OF
3915 ALPINE RD
 FOR
THE HUNTER 1988 REVOCABLE TRUST
 PORTOLA VALLEY, CALIFORNIA

DATE	JAN, 2023
SCALE	AS SHOWN
DESIGNER	NM
DRAWN BY	MC
JOB NO.	A19112
SHEET	C1.0
OF	SHEETS



NOTES

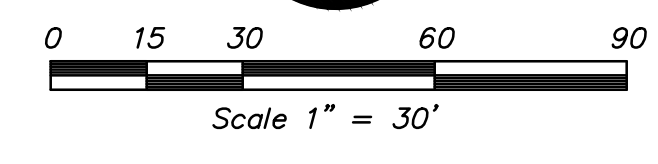
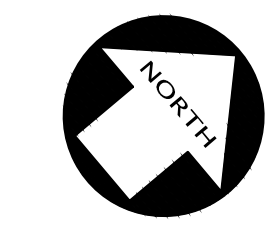
1. SITE IS SERVED BY A GRAVEL LOT AND IS NOT STRIPED WITH THE EXCEPTION OF THE EXISTING ADA STALLS.
 2. PARKING DIAGRAM IS FOR ILLUSTRATIVE PURPOSES AND DOES NOT CONSTITUTE AN APPROVED PARKING PLAN.
 3. THE STALLS SHOWN IN THIS PLAN ARE TYPICAL STALLS USED TO ESTIMATE PARKING CAPACITY:
 90° STALLS - 8.5' x 16' (ASSUMING 2' OVERHANG)
 PARALLEL STALLS - 8' x 20'
 MOTORCYCLE STALLS - 5' x 10'
 4. MOTORCYCLE PARKING LOCATED IN FRONT OF PROPOSED TRANSFORMER SHALL BE KEPT TEMPORARILY VACANT IN THE EVENT THAT PG&E REQUIRES ACCESS TO THE TRANSFORMER
- * PARALLEL PARKING SUBJECT TO TRAFFIC CONTROL PROVIDED BY ABG

PARKING COUNT

DESCRIPTION	STALLS
STANDARD 90° PARKING	133
PARALLEL PARKING*	30
ACCESSIBLE PARKING (NON-VAN)	1
ACCESSIBLE VAN PARKING	1
SOCCER PARKING	9
MOTORCYCLE PARKING	6
TOTAL	180

LEGEND

PROPOSED	EXISTING	
##		PARKING COUNT (BY BAY)
## ADA		ACCESSIBLE PARKING COUNT (BY BAY)
## MC		MOTORCYCLE PARKING COUNT (BY BAY)
---	---	EDGE OF PAVEMENT
---	---	FENCE LINE
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	BACKFLOW PREVENTION DEVICE
---	---	FIRE HYDRANT & FIRE DEPARTMENT CONNECTION
---	---	POST INDICATOR VALVE
---	---	TRANSFORMER
[Illustrative Stall]		ILLUSTRATIVE ON-SITE PARKING STALL FOR 3915 ALPINE RD
[Illustrative Stall]		ILLUSTRATIVE PARKING STALL ON TOWN-OWNED PARCEL
[Illustrative Stall]		ILLUSTRATIVE CONTROLLED PARKING FOR SOCCER FIELD USE ON TOWN-OWNED PARCEL



NO.	BY	REVISION

KIER+WRIGHT

3350 Scott Boulevard, Building 22
 Santa Clara, California 95054
 Phone: (408) 727-6665
 www.kierwright.com

PARKING LAYOUT OF 3915 ALPINE RD FOR THE HUNTER 1988 REVOCABLE TRUST PORTOLA VALLEY, CALIFORNIA

DATE	MARCH 8, 2023
SCALE	AS SHOWN
DESIGNER	NM
DRAWN BY	MC
JOB NO.	A19112
SHEET	C2.0
OF	SHEETS

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
 PORTOLA VALLEY, CA 94028

CLIENT
 THE HUNTER 1988 REVOCABLE TRUST

ARCHITECT



PAGE & TURNBULL

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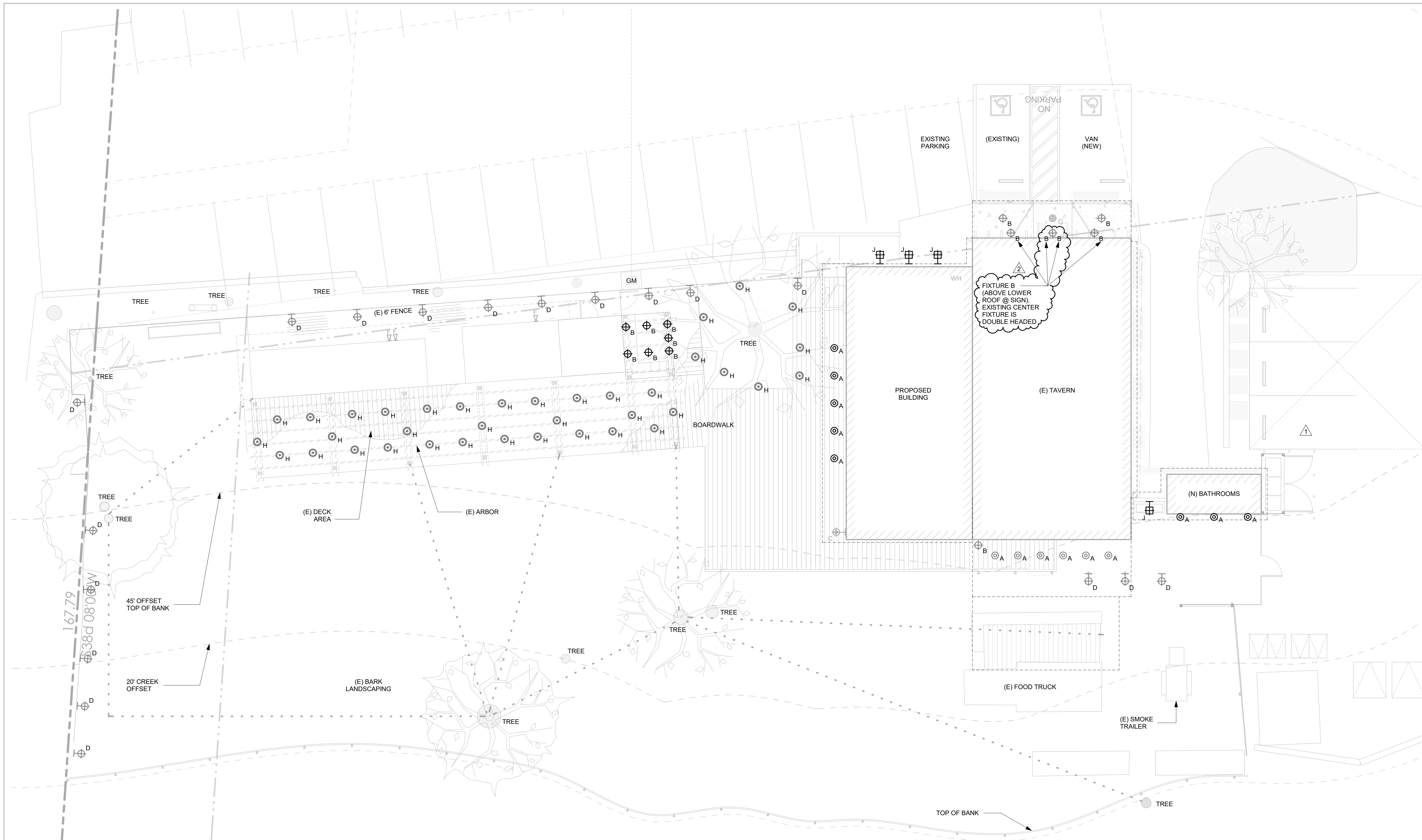
SEAL & SIGNATURE

ISSUE
PLANNING SUBMISSION

1 09.26.2022 PLANNING RE-SUBMISSION
 2 01.10.2023 PLANNING RE-SUBMISSION

NOT FOR CONSTRUCTION

DBI STAMP



1 OUTDOOR LIGHTING PLAN
 1/8" = 1'-0"

SYMBOL (N)	MARK (E)	FIXTURE TYPE	MANUFACTURER	QTY:	WATT (PER FIXTURE):	LUMENS (PER FIXTURE):	NOTES:
⊙	⊙	A (N) RECESSED DOWNLIGHT U.O.N. AS (E)	JUNO	14	8.6	600	--
⊕	⊕	B (N) DOWNLIGHT, U.O.N. AS (E)	FX LUMINAIRE	14	20	400	ONCE FIXTURE B'S LIGHTING LOCATION IS SET THE SWIVEL ABILITY WILL BE DISABLED, & FIXTURE WILL BE LOCKED INTO PLACE.
⊕	⊕	C (E) DECORATIVE ANTIQUE MINERS, RELOCATED	-	1	5.5	495	--
⊕	⊕	D (E) SCONCE	FX LUMINAIRE	18	10	101	--
- - -	- - -	E (E) STRING LIGHTS	-	450 LINEAR FEET	1 WATT/FT	15 LUMENS/FT	EXISTING LIGHT FIXTURE HAS BEEN REPLACED W/ DARK SKY COMPLIANT LIGHT FIXTURE.
▷	▷	F (E) WALL SCONCE	-	3	14	1,251	--
⊙	⊙	G (E) ANTIQUE LIGHT	-	1	20	400	EXISTING LIGHT FIXTURE HAS BEEN REPLACED W/ DARK SKY COMPLIANT LIGHT FIXTURE.
⊕	⊕	H (E) TRELLIS LIGHT	BK-LIGHTING GREAT OUTDOORS	37	3	178	EXISTING LIGHT FIXTURE HAS BEEN REPLACED W/ DARK SKY COMPLIANT LIGHT FIXTURE.
⊕	⊕	J (N) WALL SCONCE	-	4	14	376	--

TITLE
PROPOSED OUTDOOR LIGHTING PLAN

ISSUE DATE
 SCALE 1/8" = 1'-0"
 DRAWN BY
 CHECKED BY
 JOB NUMBER 21335

OL1

01.7.34

Juno

Project: _____
 Fixture Type: _____
 Location: _____
 Contact/Phone: _____

4" IC 600 LUMEN LED DOWNLIGHT NEW CONSTRUCTION

IC1 LED (G4 06LM) RECESSED HOUSING
WALL WASH TRIMS

PRODUCT DESCRIPTION
 Dedicated LED, Air-Loc™ sealed new construction housing with integral light engine • Double wall, shallow housing construction allows for fit in 2" x 6" construction • Can be completely covered with insulation • Fully sealed housing stops infiltration and exfiltration of air, reducing heating and air cooling costs without the use of additional gaskets • LED housing is designed to provide 50,000 hours of life and is compatible with many standard Juno trims • 5-year limited warranty on LED components

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury, RoHS compliant
- Comparable light output to 60W incandescent

PRODUCT SPECIFICATIONS

LED Light Engine: LED array attached to high purity aluminum, thermally conductive inner housing provides superior heat transfer to ensure long life of the LED • Replaceable light engine mounts directly to inner housing assembly and incorporates the latest generation, high lumen output LED array • LEDs are binned within a 3-step MacAdam Ellipse exceeding ENERGY STAR requirements for superior fixture to fixture color uniformity • 2700K, 3000K, 3500K, or 4000K color temperatures available • 90 CRI minimum

Optical System: Angle-cut aluminum reflector and specular clear kicker reflector directs light toward wall for uniform illumination on vertical surfaces while concealing LED optic assembly and minimizing glare • LEDs are concealed by high transmission diffusing lens

Aesthetic Trim Selections: Recessed lensed wall wash trim • Shadow free, knife edge design blends seamlessly into ceiling • Reflector finishes include clear, haze, wheat haze and white painted

LED Driver: Choice of dedicated 120 volt (120) driver or universal voltage (UVOL) driver that accommodates input voltages from 120/227V with AC at 50/60Hz • Power factor > 0.9 at 120V input • 120 volt only driver is dimmable with the use of most incandescent, magnetic low voltage and electronic low voltage wall box dimmers • Universal voltage driver is dimmable with the use of most 0-10V wall box dimmers • For a list of compatible dimmers, see [LINK:ICLED36A](#) • Mounted inside housing for easy access from below ceiling

Life: Rated for 50,000 hours or 70% lumen maintenance

Labels: ENERGY STAR® Certified when used with select trims • Certified to the high efficacy requirements of California T24 with select trims • UL listed for U.S. and Canada through-branch wiring, damp locations • Union made • US and cUL

Testing: All reports are based on published industry procedures; field performance may differ from laboratory performance.
 Product specifications subject to change without notice.

HOUSING FEATURES

Housing: Designed for use in IC (insulated ceiling) or non-IC construction • Aluminum housing sealed for Air-Loc™ compliance • Housing is vertically adjustable to accommodate up to a 1 1/2" ceiling thickness

Junction Box: Pre-wired junction box provided with (6) 1/8" and (1) 1/2" knockouts (4) knockouts for 12/2 or 14/2 NM cable and ground wire • UL listed and cUL listed for through-branch wiring, maximum 6 #12 branch circuit conductors • Junction box provided with removable access plates • Knockouts equipped with pry tool • Quick connect electrical connectors supplied as standard for fast, secure installation

Mounting Frame: 22-gauge die-formed galvanized steel mounting frame • Rough-in section (junction box, mounting frame, housing and bar hangers) fully assembled for ease of installation

Real Nail 3 Bar Hangers: Patented (US Patent D552,959) Real Nail® 3 bar hangers: telescoping system permits quick placement of housing anywhere within 24" O.C. joists or suspended ceilings • Includes removable nail for repositioning of fixture in wood joist construction • Integral 1/4" bar notch and clip for suspended ceilings

* Nominal input voltage @ 120-volt operation with dedicated 120-volt driver under stable operating conditions.

Acuity Brands 1300 S. West Road • Des Plaines, IL 60018 • Phone (847) 827-9880 • Fax (847) 827-2025 • Visit us at [www.acuitybrands.com/junoproducts](#)
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01.7.34

4" IC 600 LUMEN LED DOWNLIGHT NEW CONSTRUCTION

IC1 LED (G4 06LM) RECESSED HOUSING
WALL WASH TRIMS

ORDERING INFORMATION Housing and trim can be ordered together or separate, but will always ship separately.

Example: IC103 64 06LM 27K 90C 120 120 120 120

Series	Generation	Lumen	Color Temperature	CRI	Yolugo	Driver
IC103	64	600LM	27K, 3000K, 35K, 4000K	90C	120 120 120 120	120 120 120 120

Trim/Description

Trim	Description
35 00P	4" Round Wall Wash Coat Fin - Clear (MR-16), White (MR-16)
35 00W	4" Round Wall Wash Coat Fin - Haze, White (MR-16)
35 00V	4" Round Wall Wash Coat Fin - Wheat Haze, White (MR-16)
35 00S	4" Round Wall Wash Coat Fin - White, White (MR-16)

Electrical Data

Input Power	Input Current	Frequency	EMF/RFI	Minimum starting temp
8.6W (1.2/50)	0.07A	50/60Hz	FCC Title 47 CFR, Part 15, Class B (residential)	-25°C

Universal Voltage

Input Power	Input Current	Frequency	EMF/RFI	Minimum starting temp
8.7W (1.2/50)	0.07A	50/60Hz	FCC Title 47 CFR, Part 15, Class A (commercial)	-40°C

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LIGHT FIXTURE A
 PROPOSED FIXTURE TYPE

MD Down Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Compliance	Options	Finish
MD	NL No Lamp	LED20WFL 20W Equivalent LED Lamp 2,700K, 35°	UL Listed	SS Straight Shroud (90°)	BZ Bronze Metallic
					DG Desert Granite
					WI Weathered Iron
					SB Sabana Brown
					FB Black
					WG White Gloss
					FW Flat White
					AL Almond
					SV Silver
					ZD Zone/Dim

EXAMPLE FIXTURE CONFIGURATION: MD-LED20WFL-SS-FW

LANDSCAPE & ARCHITECTURAL LIGHTING

LIGHT FIXTURE B (CONTINUED)

LIGHT FIXTURE A (CONTINUED)

MD Down Light SPECIFICATIONS

Output	NL	LED20WFL	LED35WFL	ZD35WFL
Total Lumens	—	261	337	337
Input Voltage	10 to 15V	10 to 15V	10 to 15V	10 to 15V
Input Power (W)	—	4.0	5.0	5.0
VA	—	4.3	5.4	5.4
Efficacy (Lumens/Watt)	—	65	65	65
Color Rendering Index (CRI)	—	80+	80+	80+
Center Beam Candlepower*	—	756	844	844
Spot (17-20)	—	756	844	844
Dimming	—	Phase**	PWM, Phase**	PWM, Phase**
RGBW Available	—	No	No	No
Luxor Compatibility	—	—	—	Zoning
Default	—	—	—	Zoning/Dimming
ZD Option	—	—	—	Zoning/Dimming
Minimum Rated Life (L70)	—	40,000 Hrs	40,000 Hrs	40,000 Hrs

* Information not available for Flood or Wide Flood
 ** For optimal performance, select a trailing edge, phase-cut dimmer

FX Luminaire
 FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
 Die-cast aluminum A380 housing and shroud with stainless steel hardware. Die-cast zinc/aluminum alloy knuckle.

Wiring
 18 AWG (1 mm), SP7-W; 220V (100°C), 300V, 18' (655 mm) length

Socket
 MR-16 GUS-3 socket with retaining clips. Ceramic socket base with heat-resistant contact pad. Stainless steel retaining rings ensure high spring force retention.

Lamp
 LED MR-16 lamp with Cree® LEDs. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable; the LEDs are rated to 40,000 hrs.

Power
 Input: 10-15VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Housing
 Die-cast aluminum housing with capacity for one (1) standard MR-16 lamp.

Shroud
 Die-cast aluminum shroud with 45° cutoff (standard) or 90° straight shroud option.

Optics
 Stainless steel spring in housing ensures the lamp and additional lens stay flush against the glass lens, optimizing output and beam angles. Recess the lamp further inside the housing to use additional glass with the "Recessing" accessory (specify separately). For additional color filters, special lenses, hex baffles, etc., use MR-16 sized accessories (MR-16: 1.95" (50 mm) dia. x 11 mm thickness). Beam angle is calculated using LM-79 method for SSL luminaires.

Knuckle
 Die-cast zinc/aluminum alloy knuckle with 1/4" (13 mm) NPSM threads. Compress and lock features prevent slip after installation. 9° increments adjustability over 220° of vertical adjustment.

Lens
 Tempered glass lens with shock resistance and high tolerance for thermal expansion and stress.

Ambient Operating Temperature
 0°F to 140°F (18°C to 60°C)

Weight
 1.5 lbs. (0.7 kg)

Finish
 Two-layer protection of sulfuric acid anodization and polyester 100 powder coat, providing superior outdoor weathering in all conditions. Test to ASTM standards.

Hardware
 Stainless steel angle lock screw with set screw. Tamper-resistant locking screw included.

Control
 Luxor zoning and dimming technology with use of Luxor Cube (LUX-CUB) Luxor technology allows up to 250 groups, dimmable in 1% increments between 0 and 100%.

Installation Requirements
 Designed for installation in the downward direction only.

Sustainability
 Innovation inserts conser carbon in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

International Compliance
 Compliant per IEC 60598-1 and IEC 60598-2-7 by selecting the "e" version in parts builder.

Warranty
 10-year limited warranty on luminaires; 5-year limited warranty on preinstalled FX LED lamp.

Listings
 UL LISTED ENEC RoHS RECYCLED 100% GREEN

Learn more. Visit [fxl.com](#) | +1 760.744.5240

LIGHT FIXTURE B (CONTINUED)

FX Luminaire

Down Lights

PROJECT: _____
 CATALOG # _____
 TYPE _____
 NOTES _____

MD Down Light STANDARD PLUS

The versatile MD directional down light is available with several mounting options.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- MR-16 GUS-3 lamp base
- ProAim™ adjustability
- Tamper-resistant features
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

LANDSCAPE & ARCHITECTURAL LIGHTING

LIGHT FIXTURE B
 PROPOSED FIXTURE TYPE



LIGHT FIXTURE C
 EXISTING FIXTURE TYPE

PROJECT

ALPINE INN BEER GARDEN

3915 ALPINE RD.
 PORTOLA VALLEY, CA 94028

CLIENT

THE HUNTER 1988 REVOCABLE TRUST

ARCHITECT

P&T

PAGE & TURNBULL

170 MAIDEN LANE, 5TH FLOOR
 SAN FRANCISCO, CA 94108
 TEL 415.362.5154
 WWW.PAGE-TURNBULL.COM

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1 09.26.2022 PLANNING RE-SUBMISSION
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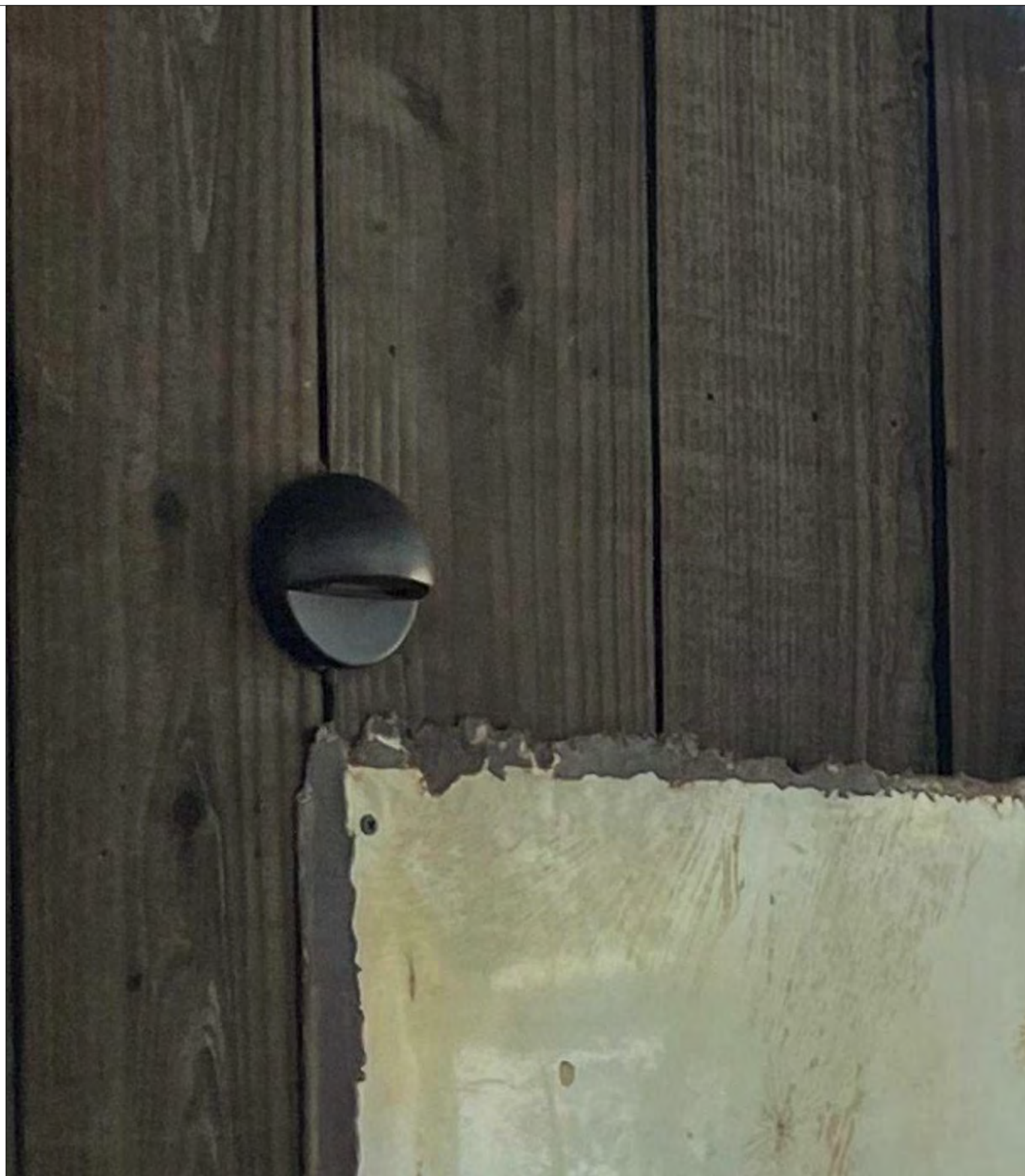
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TITLE

LIGHTING CUTSHEETS

ISSUE DATE _____
 SCALE _____
 DRAWN BY _____
 CHECKED BY _____
 JOB NUMBER 21335

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LIGHT FIXTURE D
EXISTING FIXTURE TYPE

FXLuminaire
LED Wall Lights

MS LED Wall Light DESIGNER PLUS

EXISTING FIXTURE IS IN SATIN BLACK

PROJECT: _____
CATALOG #: _____
TYPE: _____
NOTES: _____

The MS comes to the FX LED line as an immediate favorite thanks to its close relative the MM. The MS takes all the great features of the MM and adds the energy efficiency and long life of LED. Changeable filters and available in Brass or Powder Coat allow you to add glow at night and during the day.

Quick Facts

- Die-cast aluminum or brass
- Two-layer marine-grade anodization and powder coat finish
- Natural, powder coated, or antiqued brass
- Lumileds® integrated LEDs finishes
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

LANDSCAPE AND ARCHITECTURAL LIGHTING | Learn more. Visit: fxl.com | +1 750.744.5240
1 of 6 | Generated 19 Aug 2022 22:05:18

LIGHT FIXTURE D (CONTINUED)

MS LED Wall Light SPECIFICATIONS

Output	1LED
Total Lumens ¹	101
Input Voltage	10 to 15V
Input Power (W)	1.9
VA	2.2
Efficacy (Lumens/Watt)	56
Color Rendering Index (CRI)	94
Max Candela	53
Dimming	PWM, Phase**
Load Compatibility	
Default	zoning
ZD Option	zoning/Dimming
Minimum Rated Life L70 (hrs)	72,000

¹ Measured using the 3,000K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.95 (4,500K), and 0.65 (5,200K).
** For optimal performance, use a trailing-edge, phase-cut dimmer.

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2 of 6 | Generated 19 Aug 2022 22:05:18

LIGHT FIXTURE D (CONTINUED)



LIGHT FIXTURE E
EXISTING FIXTURE TYPE
(DARK SKY COMPLIANT LIGHT FIXTURE)



LIGHT FIXTURE F
EXISTING FIXTURE TYPE



LIGHT FIXTURE G
EXISTING FIXTURE TYPE
(DARK SKY COMPLIANT LIGHT FIXTURE)

MINI-MICRO - RING MOUNT LED IP66 RATED

DATE: _____ PROJECT: _____ FILE: _____
CATALOG NUMBER(S): _____

*Designed for use with LED transformers.

CATALOG NUMBER LOGIC
Example: RM - S - MM - LED - e70 - SP - BZW - 12 - 11 - E

MATERIAL
(Blank) - Aluminum - B - Brass - S - Stainless Steel

SERIES
RM - Ring Mount

LEAD LENGTH
5 - 5 Ft. of Lamp Leads and Cable
25 - 25 Ft. of Lamp Leads and Cable

FIXTURE
MM - Mini-Micro

SOURCE
LED - with Non-Dimming Integral Driver*

LED TYPE
e70 - 3W LED/2700K e72 - 3W LED/4000K
e71 - 3W LED/3000K e73 - 3W LED/Amber

OPTICS
NSP - Narrow Spot (17°) MFL - Medium Flood (28°)
SP - Spot (21°) ASY - Asymmetrical (17x31°)

FINISH (See page 2 for full-color swatches)
Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER) **SATIN BLACK**
Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDS, NBR, OCP, RMG, SDS, SMG, TXF, WCP, WJR)

Also available in RAL Finishes
Brass Finishes (MAC, POL, MIT)
Stainless Steel Finishes (MAC, POL)

LENS TYPE
12 - Soft Focus 13 - Rectilinear

SHIELDING
11 - Honeycomb Baffle

CAP STYLE
C - Flush
D - 45° Less Weephole
E - 90° Less Weephole

B-K LIGHTING MADE IN THE USA 559.438.5800 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

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LIGHT FIXTURE H
EXISTING FIXTURE TYPE
(DARK SKY COMPLIANT LIGHT FIXTURE)

PROJECT
ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

CLIENT
THE HUNTER 1988 REVOCABLE TRUST

ARCHITECT
P&T
PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA 94108
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TITLE
LIGHTING CUTSHEETS

ISSUE DATE _____
SCALE _____
DRAWN BY _____
CHECKED BY _____
JOB NUMBER 21335

OL3

LAMP & DRIVER DATA (e70, e71, e72, e73)

DATE: _____ PROJECT: _____ LHS: _____

DRIVER DATA	Input Volts	InRush Current	Operating Current	Operation Ambient Temperature
	12VAC/DC 50/60Hz	<250mA (non-dimmed)	500mA	-22°F-104°F (-30°C - 40°C)

LM79 DATA			L70 DATA		OPTICAL DATA		
BK No.	CCT (Typ.)	CRI (Typ.)	Input Watts (Typ.)	Minimum Rated Life (hrs.) 70% of Initial Lumens (L ₇₀)	Angle	CBCP	Delivered Lumens
e70	2700K	90	3	50,000	17°	1347	167
	2700K	80	3	50,000	21°	664	139
	2700K	80	3	50,000	28°	524	149
	2700K	-	3	50,000	17°x31°	613	151
	3000K	80	3	50,000	17°	1411	175
e71	3000K	80	3	50,000	21°	695	146
	3000K	80	3	50,000	28°	548	156
	3000K	-	3	50,000	17°x31°	642	158
	4000K	80	3	50,000	17°	1585	197
	4000K	80	3	50,000	21°	781	164
e72	4000K	80	3	50,000	28°	616	175
	4000K	-	3	50,000	17°x31°	721	178
	e73 Amber (590nm)	-	3	50,000	-	-	-

OPTICS	
Optic	Angle
NSP - Narrow Spot	17°
SP - Spot	21°
MFL - Medium Flood	28°
ASY - Asymmetrical	17°x31°

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LIGHT FIXTURE H (CONTINUED)

Baytree Lane LED Outdoor Wall Sconce
By The Great Outdoors: Minka-Lavery



Baytree Lane LED Outdoor Wall Sconce
By The Great Outdoors: Minka-Lavery

Product Options

Finish: Oil Rubbed Bronze w/ Gold Accents,
Size: Small

Details

Round wall plate
IMA Approved
Hand applied multi step finish
Designed in 2016
Material: Aluminum
Shade Material: Etched Glass
Dimmable when used with a ELY Dimmer (Not Included)
Dark Sky compliant.
ETL Listed Wet
Made In China



Dimensions

Small Option Backplate: Diameter 5"
Small Option Fixture: Width 8.5", Height 8.5", Depth 11.5"

Lighting

Small

Lamp Type	LED Built-in
Total Lumens	376
Total Watts	14.00
Volts	120
Color Temp	2700 (Warm)
Average Lifespan	30000.00
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:
<https://www.lumens.com/baytree-lane-led-outdoor-wall-sconce-by-the-great-outdoors-minka-lavery-MLV643638.html>
Rating: ETL Listed Wet

ITEM#: MLV643638

LIGHT FIXTURE J
PROPOSED FIXTURE TYPE

PROJECT

ALPINE INN BEER GARDEN

3915 ALPINE RD.
PORTOLA VALLEY, CA 94028

CLIENT

THE HUNTER 1988 REVOCABLE TRUST

ARCHITECT



PAGE & TURNBULL

170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA 94108
TEL 415.362.5154
WWW.PAGE-TURNBULL.COM

CONSULTANT

SEAL & SIGNATURE

ISSUE

PLANNING SUBMISSION

2 01.10.2023 PLANNING RE-SUBMISSION

DBI STAMP

TITLE

LIGHTING CUTSHEETS

ISSUE DATE _____
SCALE _____
DRAWN BY _____ Author
CHECKED BY _____ Checker
JOB NUMBER 21335



NOT FOR CONSTRUCTION

ALPINE INN PROPOSED PROJECT IMPACT ANALYSIS REPORT

PORTOLA VALLEY, CALIFORNIA
[21335]

PREPARED FOR HUNTER 1988 REVOCABLE TRUST

September 29, 2022

DRAFT



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I. INTRODUCTION

This Proposed Project Impact Analysis has been prepared at the request of the Hunter 1988 Revocable Trust to determine whether a proposed project will have an impact on the Alpine Inn, originally established as Casa de Tableta in 1852, located at 3915 Alpine Road in Portola Valley (San Mateo County Parcel 079123150) (**Figure 1**). The proposed project includes replacement and enlargement of a kitchen addition at the west side of the historic commercial building, construction of a bathroom building to the southeast of the building, removal of the non-historic roof extension of the tavern to restore the original roofline, installation of a new freestanding prefabricated walk-in cooler unit, and upgrades to gas and electrical systems.



Figure 1: Bird's-eye view of the Alpine Inn and its immediate vicinity. Alpine Inn shown outlined in red. Approximate parcel boundary shown with dashed yellow line. Looking south. Source: Google Maps, 2022. Edited by Page & Turnbull, 2022.

The Alpine Inn was designated as a California Historical Landmark No. 825 in 1968, under the name Casa de Tableta. The Alpine Inn was automatically listed in the National Register of Historic Places (National Register) in 1973 and in the California Register of Historical Resources (California Register) in 1998, as a result of its prior designation as a California Historical Landmark. Locally, the Alpine Inn is listed as a "Historic Resource to Preserve" under the Structures category within the *Town of Portola*

*Valley General Plan: Historic Element.*¹ Due to the building’s listing as a historic resource at the local, state, and national levels, the building is considered a historic resource for the purposes of the California Environmental Quality Act (CEQA).

This report includes a summary of the building’s current historic status, a brief history of the building’s development, a review of its previously identified character-defining features, and a description of the proposed project. The proposed project is then assessed using the *Secretary of the Interior’s Standards for the Treatment of Historic Properties* (the SOI Standards) to determine whether the proposed project will result in any impacts to the historic resource.

Methodology

Page & Turnbull prepared this report using information from a previous project analysis prepared by Page & Turnbull in 2017. The 2017 analysis synthesized available historic documentation to establish a construction chronology and list of character-defining features for the building that had not previously been identified in the California Landmark nomination, National Register documentation, or local historic resource documentation. This material established a baseline for the building regarding its extant historic features and provided additional context to determine that the building has retained its historic significance and integrity since it was listed as a California State Landmark nearly fifty years ago.

The project analysis is based on proposed project drawings by Page & Turnbull, dated September 29, 2022. This drawing set is an update to one prepared by The Midglen Studio, dated October 21, 2021, and submitted to the Portola Valley Planning and Building Department.

¹ Town of Portola Valley, *Town of Portola Valley General Plan: Historic Element*, amended April 22, 1998, <https://www.portolavalley.net/home/showdocument?id=1986>, accessed September 2022.

II. SUMMARY OF HISTORIC RESOURCE

Brief Architectural Description

The subject building is located south of Alpine Road on generally flat land. The building is oriented northwest of true north, but for the purposes of this report, the primary façade will be referred to as the north façade, and so on. The building is located slightly southwest of the junction of Alpine and Arastradero roads, which were historically the confluence point of significant trails and valley roads used for logging and cattle that connected the Portola Valley with the coast and points further inland. Parking areas are located to the north and east of the building, while a partially covered-open-air patio and an enclosed rear yard contains picnic tables and seating to the west of the building. Non-original structures – including decking, a roofed pergola structure, walk-in cooler/refrigerator, outdoor bar, and shed – have been constructed to the rear of the building. Some moveable features, such as a food truck and smoker, have also been located to the rear of the historic resource.



Figure 2: View of the primary façade of the historic portion of the Alpine Inn. Source: alpineinnpv.com

The Alpine Inn is a one-and-a-half-story vernacular commercial building constructed ca. 1852. The wood-frame building is clad primarily in painted rustic channel horizontal siding, although its west façade has a variety of non-historic wood cladding types including painted plywood. The building features a gabled roof with composition shingles that is hidden behind a false front at its primary (north) façade. The false front is capped by a bracketed wood cornice with simple wood corner boards. At the ground floor, the primary façade has symmetrically placed openings with a centered entrance with double-leaf, partially glazed wood doors and a one-over-one double hung wood sash window with ogee lugs to either side of the entrance. A hipped porch roof clad in composition shingles is supported on posts at its north side and is attached to the primary façade at the base of the false front.

The building contains a one-story lean-to addition along its west façade and a one-story rear addition that contains restrooms at its south façade. These additions are estimated to have occurred between ca. 1900 and the early 1930s.

Building History and Construction Chronology

The Alpine Inn was constructed as Casa de Tableta ca. 1852 by Felix Buelna, a former alcalde (mayor) of San José. Buelna settled within the Rancho de Corte de Madera in 1852 and opened the Casa de Tableta as a roadhouse that provided a gathering place and haven for fellow Spanish-speaking Californios displaced by the increased American settlement caused by the Gold Rush.

The roadside retreat was sold, or lost in a poker game, to local Menlo Park coachman William Stanton in 1867. Stanton rented the roadhouse and saloon to various proprietors through the early 1930s. Notable moments in the history of the Alpine Inn include a remodel of the exterior in 1904 when the false front was installed, and a change in use (in name, if not in fact) to a “picnic park” during the years of Prohibition when the sale and consumption of alcohol was illegal.

Enrico Rossotti ran the establishment from the early 1930s to 1956, and turned the establishment into a bar and restaurant during his ownership. In 1965, Don Horther and John Alexander took over the business and renamed it the Alpine Inn Beer Garden. Today, the roadside restaurant and bar still resonates with locals who refer to the destination as Rossotti’s or “Zott’s.”

Throughout its 170-year existence, the Alpine Inn, in its many iterations, was an important social gathering place for the surrounding region. As one of the oldest businesses still in operation on the San Francisco Peninsula, the Alpine Inn remains a significant historical resource associated with political and sociocultural contexts surrounding the transition from Mexican governance to American governance in California during the 1850s.

The following brief development chronology for the Alpine Inn has been compiled from documentation included in the building's National Register nomination form, historian Steve Staiger's article "Echoes of Alpine Inn's Early Days," and the physical evidence of the building as noted through visual observation.² Historic photographs taken in May 1969 show that the building's exterior appearance has been retained along its primary (north) and east façades (**Figure 3**).

- ca. 1852: Casa de Tableta was established.
- ca. 1904: False-front façade added to building.
- ca. 1930s: Restrooms added to rear of building (Rear Addition).
- ca. mid-1950s to 1960s: Interior partitions removed, creating one large room from five smaller rooms. Business renamed Alpine Inn Beer Garden in 1965. Hipped roof porch at primary façade may have been added at this time.³
- 1930s-present: "Several lean-to and shed-like additions" were added and removed on both sides of the building. Roofing material was repaired and replaced to the existing composition shingle, and HVAC was installed.

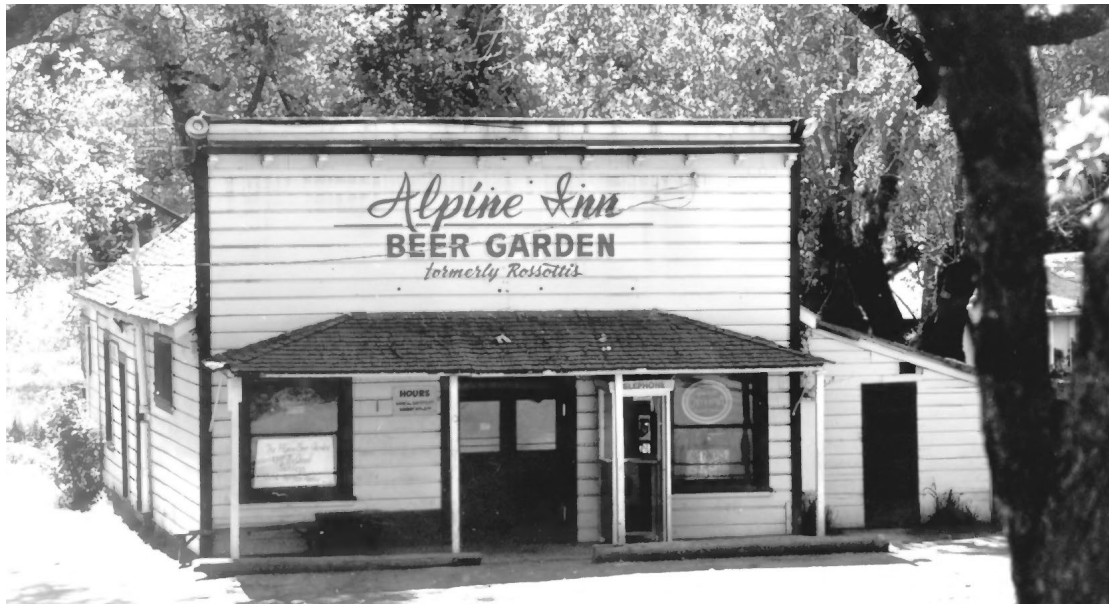


Figure 3: Alpine Inn Beer Garden in May 1969. Source: National Register of Historic Places – Property Photograph Form, 1973.

² National Register of Historic Places, Alpine Inn Beer Garden, 3915 Alpine Road, Portola Valley, San Mateo County, California. National Register Reference Number 73000447; Staiger, Steve. "Echoes of Alpine Inn's Early Days." *From the Past*. January 24, 2001. Accessed September 2022. http://www.paloaltoonline.com/weekly/morgue/spectrum/2001_Jan_24.HISTORY24.html.

³ National Register of Historic Places, Alpine Inn Beer Garden nomination form. Nomination (from 1973) notes that, "Recently the marquee [at the front façade] was bolstered with a few posts."

Historic Significance

The subject building was designated as California Historical Landmark No. 825 in 1968 and was listed under its original name of Casa de Tableta. The building's significance was related to its history "as a gambling retreat and meeting place for Mexican-Californios. It was strategically located on the earliest trail used both by rancheros and American settlers crossing the peninsula to the coast. Acquired by an American in 1868, it has continued to serve under various names as a roadhouse and saloon."⁴

When the building was nominated for listing in the National Register in 1973, no specific criteria of significance were identified. The National Register nomination form noted that:

The small insignificant wooden building with little structural changes holds several distinctions:

1. It served as a rendezvous for the Spanish-speaking Californios in the 1850s and 1860s when they were being harassed by the invading populace.
2. It was located strategically at the junction of an Indian trail used by Californios and Americans to cross the San Francisco Peninsula, and of an old cattle and logging road, Arastrado, to San Jose.
3. It has been used for dispensing liquor throughout all the American Period in California history.⁵

Based upon these aspects of the building's understood significance, it is the opinion of Page & Turnbull that the historic significance of Casa de Tableta is most effectively represented by National Register/California Register Criterion A/1 (Events) and Criterion C/3 (Architecture). The Alpine Inn is significant under Criterion 1 (Events) for its association with the early development of Portola Valley and San Mateo County as related to Californio and American settlement contexts. The building's period of significance for Criterion A/1 (Events) is from ca. 1852, when it was constructed, to 1868 when it stopped being a gambling house. Under Criterion C/3 (Architecture), the building is a good example of a nineteenth-century vernacular commercial building that was updated in 1904 with a false-front that was representative of a very late Italianate style. The building's period of significance for Criterion C/3 (Architecture) is ca. 1852, when it was constructed, through 1904, when the false front façade was added to the building.

⁴ California Office of Historic Preservation, "Landmarks by County: San Mateo," (refer to No. 825 Casa de Tableta), http://ohp.parks.ca.gov/?page_id=21520. Accessed September 2022.

⁵ National Register of Historic Places, Alpine Inn Beer Garden, 3915 Alpine Road, Portola Valley, San Mateo County, California. National Register Reference Number 73000447.

Alterations to the building since its listing on the California and National Registers have been relatively minor, including installing HVAC, reroofing the building, and interior alterations, that do not impact the integrity or the significance of the historic resource. Therefore, the Alpine Inn continues to be a historic resource for the purposes of CEQA.

Character-Defining Features

For a property to be eligible for national, state or local designation under one of the significance criteria, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles. To be eligible, a property must retain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, features, or materials.

The 1973 National Register nomination form did not include a list of character-defining features, but noted that the building appeared to have undergone few structural changes. Based on the site visit, construction chronology, and significance, the character-defining features of the Alpine Inn include:

- One-and-a-half story, rectangular main volume
- Center-gabled roof over main volume
 - Slightly overhanging eaves
- False-front primary façade
 - Symmetrical fenestration and overall composition
 - Molded cornice with decorative wood brackets
- Wood channel siding
- Wood sash, double-hung windows with molded wood trim (casings and sills)
- Wood-paneled doors along the primary and east facades
 - Doors are typically glazed with a single upper lite and feature articulated panels
- Roadside location and relationship of the building to Alpine Road

III. CALIFORNIA ENVIRONMENTAL QUALITY ACT

The California Environmental Quality Act (CEQA) is state legislation (Pub. Res. Code §21000 et seq.) that provides for the development and maintenance of a high-quality environment for the present-day and future through the identification of significant environmental effects.⁶ CEQA applies to “projects” proposed to be undertaken or requiring approval from state or local government agencies. A “Project” is defined as “an activity which may cause either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.”⁷ Projects can consist of “(a) An activity directly undertaken by any public agency. (b) An activity undertaken by a person which is supported, in whole or in part, through contracts, grants, subsidies, loans, or other forms of assistance from one or more public agencies. [or] (c) An activity that involves the issuance to a person of a lease, permit, license, certificate, or other entitlement for use by one or more public agencies.”⁸ Historic and cultural resources are part of the environment. In general, the lead agency must complete the environmental review process as required by CEQA. In the case of the proposed project at the Alpine Inn, the Town of Portola Valley will act as the lead agency.

In completing an analysis of a project under CEQA, it must first be determined if the project site possesses a historical resource. A site may qualify as a historical resource if it falls within at least one of four categories listed in CEQA Guidelines Section 15064.5(a).⁹ The four categories are:

1. A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).
2. A resource included in a local register of historical resources, as defined in Section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements of section 5024.1 (g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
3. Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering,

⁶ California Environmental Quality Act (CEQA), *California Legislative Information*, accessed September 15, 2022, http://leginfo.ca.gov/faces/codes_displayexpandedbranch.xhtml?tocCode=PRC&division=13.&title=&part=&chapter=&article=

⁷ CEQA, Section 21065.

⁸ CEQA, Section 21065.

⁹ California Code of Regulations, Guidelines for Implementation of CEQA, Subsection 15064.5(a).1

scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852).

4. The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to section 5020.1(k) of the Pub. Resources Code), or identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Pub. Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Pub. Resources Code sections 5020.1(j) or 5024.1.

In general, a resource that meets any of the four criteria listed in CEQA Guidelines Section 15064.5(a) is considered to be a historical resource unless "the preponderance of evidence demonstrates that the resource is not historically or culturally significant."¹⁰

Threshold for Significant Adverse Change Under CEQA

According to CEQA, a "project with an effect that may cause a substantial adverse change in the significance of an historic resource is a project that may have a significant effect on the environment."¹¹ Substantial adverse change is defined as: "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historic resource would be materially impaired."¹² The historic significance of an historical resource is materially impaired when a project "demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance" and that justify or account for its inclusion in, or eligibility for inclusion in, the California Register.¹³ Thus, a project may cause an adverse change in a historic resource but still not have a significant effect on the environment as defined by CEQA as long as the impact of the change on the historic resource is determined to be less than significant, negligible, neutral, or even beneficial.

In other words, a project may have an impact on a historic resource, and that impact may or may not impair the resource's eligibility for inclusion in the California Register. If an identified impact

¹⁰ Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.

¹¹ California Code of Regulations, Guidelines for Implementation of CEQA, subsection 15064.5(b).

¹² California Code of Regulations, Guidelines for Implementation of CEQA, subsection 15064.5(b)(1).

¹³ California Code of Regulations, Guidelines for Implementation of CEQA, subsection 15064.5(b)(2).

would result in a resource that is no longer able to convey its historic significance and is therefore no longer eligible for listing in the California Register, then it would be considered a significant effect.

In addition, according to Section 15126.4(b)(1) of the Public Resources Code (CEQA), if a project adheres to the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the Standards), the project's impact "will generally be considered mitigated below the level of a significance and thus is not significant."¹⁴

¹⁴ California Code of Regulations, Guidelines for Implementation of CEQA, subsection 15126.4(b)(1).; See Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*. U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017. September 15, 2020, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>

IV. ANALYSIS OF PROPOSED PROJECT

Proposed Project Description

The proposed project consists of several different elements throughout the site. Some of these alterations, including the construction of a replacement kitchen addition and a new bathroom building, will be discussed in detail, as they have a greater potential to impact the historic resource. Elements of the proposed project that are unlikely to impact the historic resource, such as upgrades to the electrical and gas systems, installation of a prefabricated walk-in cooler structure, and replacement of outdoor lighting, will be discussed briefly.

NEW KITCHEN ADDITION AND ROOF RECONFIGURATION

Alterations to the historic building will demolish the existing one-story kitchen lean-to and outdoor bar additions at the west side of the building and will erect a new one-story kitchen addition, with a slightly larger footprint, in its place. The existing kitchen and outdoor bar cover 710 square feet; the proposed kitchen addition will cover 968 square feet (a net gain of 258 square feet). The west side of the addition will feature an overhanging roof, providing approximately 4'-0" of coverage along the west façade of the addition where a row of five windows will be located.

The existing kitchen lean-to addition is integral to the existing roof of the building with the slope of the historic gable roof form extending to the west to encapsulate the addition. The demolition of the kitchen addition will require carefully cutting the existing roof in line with the original overhang and eave profile. The western edge of this original gable roof will be repaired once the addition is demolished. The roof of the new kitchen addition has been designed to fit below this historic roofline at its east edge. The new kitchen addition will be clad in vertically oriented, unpainted, salvaged wood planks and will have a flat roof with a 4'-4" tall mechanical screen clad in corrugated metal. This mechanical screen is setback from the north edge of the addition's roofline by 4'-6".

NEW BATHROOM BUILDING

A new bathroom building will be erected to the east of the historic building and will be located approximately 38 feet south of the front of the historic building. The bathroom building will connect to the non-historic east wall of a rear addition to the historic tavern building via a wood frame and clad wall and an extension of the bathroom building's roof. This new bathroom building will be 15'-10" by 6'-8" and will contain four separate fully enclosed toilet stalls with full-height partitions and doors. An outdoor sink will be located between the tavern building's rear addition and the bathroom building; this sink will be covered by the extension of the bathroom roof. The roof will be canted and consist of corrugated metal. The walls will be clad in vertically oriented, unpainted, salvaged wood planks. The east wall of the proposed bathroom will abut a new electrical service storage unit.

INSTALLATION OF PREFABRICATED WALK-IN COOLER STRUCTURE

A prefabricated walk-in cooler structure will be installed at the east end of an existing non-historic walk-in cooler structure located approximately 57' from the original west wall of the historic building. Once the proposed kitchen addition is completed, the prefabricated cooler will be approximately 37' west of the west wall of the addition. This location currently contains an outdoor bar area that will be relocated to the east of the new prefabricated structure once it is installed. The prefabricated unit will be approximately 9'-6" by 10'-8" and will be clad in vertical unpainted salvaged wood to match the existing cladding of the other non-historic structures on the property.

GAS AND ELECTRICAL SYSTEMS UPGRADES

The project site will undergo gas and electrical system upgrades in keeping with current code requirements. This includes the installation of an electrical transformer located on a concrete pad and surrounded by bollards that will be installed near the north property line within the existing parking area to the north of the building, and a new fire and gas electrical service unit to be located at the eastern side of the new bathroom building, and will be clad in vertical wood siding that matches the non-historic existing wood fencing.

Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (the Standards) provide guidance for reviewing proposed work on historic properties and are a useful analytic tool for understanding and describing the potential impacts of substantial changes to historic resources.¹⁵ Conformance with the Standards does not determine whether a project would cause a substantial adverse change in the significance of a historic resource. Rather, projects that comply with the Standards benefit from a regulatory presumption that they would have a less-than-significant adverse impact on a historic resource. Projects that do not comply with the Standards may or may not cause a substantial adverse change in the significance of an historic resource.

The Secretary of the Interior offers four sets of standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. The four treatments are summarized as follows:

¹⁵ Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, (U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017), accessed March 16, 2021, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>.

Preservation: The Standards for Preservation “require retention of the greatest amount of historic fabric, along with the building’s historic form, features, and detailing as they have evolved over time.”

Rehabilitation: The Standards for Rehabilitation “acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building’s historic character.”

Restoration: The Standards for Restoration “allow for the depiction of a building at a particular time in its history by preserving materials from the period of significance and removing materials from other periods.”

Reconstruction: The Standards for Reconstruction “establish a limited framework for recreating a vanished or non-surviving building with new materials, primarily for interpretive purposes.”¹⁶

Typically, one set of standards is chosen for a project based on the project scope. For the purposes of analyzing the proposed alterations at the Alpine Inn, the Standards for Rehabilitation would be the appropriate Standards.¹⁷

Standards for Rehabilitation Analysis

The following analysis applies the Standards for Rehabilitation to the proposed project for the Alpine Inn.

Rehabilitation Standard 1: *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*¹⁸

Discussion: The proposed project does not alter the use of the historic resource and it will continue to operate as a commercial business serving food and drinks. As no change in use is proposed by the proposed project, the proposed project will be consistent with Standard 1.

Rehabilitation Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

¹⁶ Grimmer, *The Secretary of the Interior's Standards*.

¹⁷ Grimmer, *The Secretary of the Interior's Standards*.

¹⁸ This and the following Standards are listed in Grimmer (2017) and National Park Service, U.S. Department of the Interior, *Technical Preservation Services: Rehabilitation as a Treatment*, accessed September 2022, <https://www.nps.gov/tps/standards/four-treatments/treatment-rehabilitation.htm>.

Discussion: The proposed project will retain the historic materials and features of the Alpine Inn to a high degree. The character-defining features of the building consist of its general form and massing, its roadside location, its materials including its wood siding, wood doors, and wood sash and frame windows, and the architectural details of its primary façade, including its false front, bracketed cornice, overhanging eaves, and symmetrical composition. All of these features will be retained by the proposed project.

Some slight change to the building's overall form will be made through construction of the new kitchen addition; however, as further discussed under Standard 9, this addition has been designed to be differentiated from the historic resource through the use of different cladding materials, details, and a flat roof form instead of the existing gable roof extension. The flat roof of the new addition visually separates the addition from the historic building and allows the original massing and form of the historic building to be expressed. The construction of the bathroom building and the installation of the prefabricated cooler structure introduces new elements to the rear and west of the building where historically a number of freestanding structures and additions have been located. The placement of the bathroom building and cooler structure are in keeping with the history of the parcel, and their placement on the property ensures that the historic relationship of the Alpine Inn to Alpine Road, and the overall openness of the northern portion of the parcel, remains.

Overall, the proposed project will make minor changes to the property that are respectful of the historic resource's materials, features, and spatial relationships, and will not impact the character of the Alpine Inn. Therefore, the proposed project will be consistent with Standard 2.

Rehabilitation Standard 3: *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

Discussion: The alterations proposed by the project are designed to be contemporary in their construction methods and finishes. The new kitchen addition, bathroom building, and prefabricated cooler structure will all be clad in unpainted salvaged wood from an old barn building; however, this type of cladding is not historic to the Alpine Inn, will be laid in a vertical orientation (as compared to the historic horizontal wood cladding) and will therefore not create a false sense of historical development.

The areas where the recreation of historic features is proposed – namely the repair of the roofline at the west of the building where the kitchen addition will be removed – will be based on evidence

from the existing roofline and eaves on the east side of the building. Therefore, it will not be conjectural in its design or materials. As such, the proposed project will not create a false sense of historical development and the proposed project will be consistent with Standard 3.

Rehabilitation Standard 4: *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Discussion: The Alpine Inn has two periods of significance. The first, corresponding to the building's political and sociocultural significance to early California history, begins ca. 1852, when it was constructed, and ends in 1868 when it stopped being a gambling house. The second period of significance, corresponding to the building's architectural importance also begins with the construction of the building ca. 1852 and ends ca. 1904 when the false front was added to the primary façade. The addition of the false front is considered a significant change to the property that, while not original, demonstrates a desire to update the building and attract customers at an early time in the building's history. This updated primary facade has become a key characteristic of the look of the building and defines its public image. Changes that have been made since 1904 have not had such an impact and have not gained historic significance in their own right. The kitchen addition and the outdoor bar located at the west of the building are two such alterations that post-date the periods of significance and have not been found significant in their own right. The removal of these non-historic features would therefore be consistent with Standard 4.

Rehabilitation Standard 5: *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Discussion: As discussed under Standard 2, the proposed project will retain the historic materials and features of the Alpine Inn to a high degree, and will not impact or remove any of the character-defining features of the building. The physical fabric that demonstrates the craftsmanship and character of the property will be retained. In the case of the roofline that joins the non-historic kitchen addition to the historic building, the roofline will be returned to its historic form, and the overall massing of the original building beneath a gable roof will be restored.

The bathroom building, prefabricated cooler structure, and the other aspects of the new kitchen addition will not impact the materials, features, finishes, or examples of craftsmanship of the historic building. Therefore, the proposed project is consistent with Standard 5.

Rehabilitation Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the*

old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Discussion: As proposed, the project will retain the existing historic features and materials to a high degree. The areas of the original building that will be altered by the proposed work are limited to the roofline at the western edge of the original building where it intersects with the existing kitchen addition. This roofline, which will have the roof of the non-historic addition carefully cut away, will be restored to reflect its original form and profile. This roofline and eave will be repaired using evidence of the surviving structure and materials. Areas where replacement and repair are necessary will be based on the existing roofline and eaves at the east façade of the building. Therefore, the proposed project is consistent with Standard 6.

Rehabilitation Standard 7: *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Discussion: No chemical or physical treatments of historic materials are proposed at this time. If such treatments are undertaken, as long as they are of the gentlest means possible and follow the guidance of the Standards, the proposed project will remain consistent with Standard 7.

Rehabilitation Standard 8: *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

Discussion: Some excavation will be required for the demolition of the existing kitchen and outdoor bar areas and for the construction of the new kitchen addition and the bathroom building. While excavation in these areas is unlikely to result in the discovery of artifacts or archeological material, if any archeological material is encountered during construction of the proposed project, construction will be halted, and the Town of Portola Valley and San Mateo County's standard procedures for the treatment of archaeological materials will be adhered to. If standard procedures are followed, the proposed project will comply with Standard 8.

Rehabilitation Standard 9: *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Discussion: Standard 9 consists of two parts, the first relates to the retention of historic features, and the second focuses on whether new construction is compatible but differentiated. As discussed under both Standards 2 and 5, the proposed project retains the historic features of the building to a

high degree, therefore the following discussion will focus on design of the new work as compatible but differentiated.

The new kitchen addition, the bathroom building, and the prefabricated cooler structure are all one-story in height, relatively small in their footprints in order to be deferential to the historic building, and will be clad in an unpainted vertically oriented wood siding that is clearly differentiated from the painted horizontally oriented wood siding of the historic building. These new elements are all set back from the primary façade of the historic building, with the kitchen addition set back by 4'-10", the bathroom building set back by approximately 38', and the prefabricated cooler structure located behind an existing fence and in line with existing non-historic structures located approximately 57' west of the original west wall of the historic building. The location where the bathroom building connects to the tavern building is along a non-historic rear addition of the tavern building, and no historic materials or features will be impacted. The addition and bathroom building will employ contemporary construction methods. The kitchen addition will have contemporary windows that, if made of wood, will lack the ogee lugs and detailing of the historic windows in order to not be too similar to the historic windows. The prefabricated structure is utilitarian in its look and construction and will be clearly identifiable as a contemporary unit.

Additionally, as mentioned in the discussion of Standard 2, the area to the rear of the historic building has historically been the location of a number of additions and freestanding structures; therefore, the placement of the proposed structures will not impact the overall spatial character of the historic resource.

The new electrical transformer that will be located within the parking area to the north of the building will be clearly contemporary and utilitarian and will not be confused for a historic feature of the site.

For the above listed reasons, the proposed addition and related new construction are deferential in their location and massing, and are compatible but differentiated from the historic resource. Therefore, the proposed project is consistent with Standard 9.

Rehabilitation Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Discussion: If the proposed kitchen addition, the bathroom building, the prefabricated cooler structure, and/or the new electrical transformer were to be removed in the future, the essential form and integrity of the historic resource would be retained. The proposed kitchen addition will

replace and enlarge an existing addition at the west side of the historic building and has been designed to be respectful of the massing and form of the historic building. If this addition were to be removed in the future, the west wall of the historic building would likely require some repair and replacement, but the form of the one-story building with false front and gable roof would be intact. The bathroom addition attaches to the tavern building along a non-historic rear addition and therefore will not impair the historic resource if it were to be removed. The prefabricated cooler structure and electrical transformer do not touch the historic building and their possible removal in the future will leave the historic resource unimpaired. Overall, the proposed project will allow the form, integrity, and character of the historic resource to remain unimpaired. Therefore, the proposed project is consistent with Standard 10.

Summary of Standards Compliance

The proposed project is compliant with all ten of the Standards for Rehabilitation. Therefore, the proposed project will not result in an impact to the historic resource.

Cumulative Impacts

The California Environmental Quality Act defines cumulative impacts as follows:

“Cumulative impacts” refers to two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts. The individual effects may be changes resulting from a single project or a number of separate projects. The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable probable future projects. Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.¹⁹

Several changes have been made to the Alpine Inn property, with the construction of a series of non-historic buildings, sheds, structures, and additions since approximately the 1930s. As stated previously, the construction of these structures to the rear of the historic building has been a typical method by which this property has been able to adapt to changing programming and needs without the significant alteration of the historic building. While cumulatively, a large number of additional non-historic structures have been erected and replaced over the last 90 years, the historic resource has remained able to convey its historic significance, and the presence of these rear structures has not impacted the significance of the building. Other changes to the building have consisted of repair

¹⁹ CEQA Guidelines, Article 20, Subsection 15355.

or in-kind replacement, or the addition of contemporary code and infrastructure needs, such as gas, electrical, HVAC, etc. These changes have not impacted the exterior of the historic Alpine Inn.

In addition to changes to the historic resource, cumulative impacts also look at recent or proposed changes to the setting of the historic resource. New construction in the surrounding area has been minimal and when located near the Alpine Inn has been located to the south and largely screened by the existing mature trees that characterize the area. The area of Alpine Road adjacent to the Alpine Inn has also remained largely unaltered in its natural qualities with many mature trees lining both sides of the road. The historic setting of the Alpine Inn has remained intact.

The proposed new construction at the site does not appear to cause any cumulative impacts which in combination with other currently proposed projects or recently completed projects would compound or increase environmental impacts. Overall, the building continues to express its sociocultural and architectural significance as an early tavern in Portola Valley that served the Californios and the early American settlers.

V. CONCLUSION

The Alpine Inn, originally known as Casa de Tableta, at 3915 Alpine Road in Portola Valley, is a designated California Historical Landmark. It is listed in the National Register of Historic Places and the California Register of Historical Resources, and is recognized as a Portola Valley historic resource to preserve. The building is significant for its or its association with the early sociocultural history of the Portola Valley, San Mateo County, and California, and as a good example of a nineteenth-century vernacular commercial building. As such, the building is a historic resource for the purposes of CEQA.

The proposed project involves the replacement of an existing kitchen addition, repair to the building's historic roof structure, construction of a bathroom building, installation of a prefabricated cooler structure, and the upgrading of the property's gas and electrical systems. This proposed project was evaluated according to *The Secretary of the Interior's Standards for Rehabilitation* (the SOI Standards). The proposed project will improve the legibility of the original massing of the building with the proposed changes to the kitchen addition and historic roof, and related new construction is adequately deferential to and differentiated from the historic resource. As no character-defining features of the Alpine Inn will be affected by the proposed project, and the materials and features of the historic resource will be retained, the proposed project was found to be consistent with all ten of the SOI Standards. Therefore, the proposed project does not appear to cause an impact under CEQA, and the Alpine Inn will continue to convey its historic significance.

VI. REFERENCES

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- California Office of Historic Preservation. *Technical Assistance Bulletin No. 8: User's Guide to the California Historical Resource Status Codes & Historic Resources Inventory Directory*. Sacramento: California Office of State Publishing. November 2004. Accessed October 22, 2018, <http://ohp.parks.ca.gov/pages/1069/files/tab8.pdf>.
- California Environmental Quality Act (CEQA), *California Legislative Information*, accessed September 2022, http://leginfo.legislature.ca.gov/faces/codes_displayexpandedbranch.xhtml?tocCode=PRC&division=13.&title=&part=&chapter=&article=
- California Code of Regulations. Title 14, Division 6, Chapter 3: Guidelines for Implementation of CEQA. Accessed September 2022. [https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=186C9BC205B4D11EC976B000D3A7C4BC3&originationContext=documenttoc&transitionType=Default&contextData=\(sc.Default\)](https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=186C9BC205B4D11EC976B000D3A7C4BC3&originationContext=documenttoc&transitionType=Default&contextData=(sc.Default))
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- National Park Service. U.S. Department of the Interior. *Technical Preservation Services: Rehabilitation as a Treatment*. accessed September 2022. <https://www.nps.gov/tps/standards/four-treatments/treatment-rehabilitation.htm>.
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- Town of Portola Valley, *Town of Portola Valley General Plan: Historic Element*, amended April 22, 1998, <https://www.portolavalley.net/home/showdocument?id=1986>, accessed September 2022.

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PAGE & TURNBULL

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TOWN of PORTOLA VALLEY

Town Hall: 765 Portola Road, Portola Valley, CA 94028 ~ Tel: (650) 851-1700 Fax: (650) 851-4677

December 22, 2017

Matthew Geisick
Coward & Geisick
16450 Los Gatos Blvd.
Los Gatos, CA 95032

Re: Renewal and Amendment to Existing CUP, 3915 Alpine Road, File # 36-2016

Dear Mr. Geisick,

The Planning Commission of the Town of Portola Valley at their meeting on December 20, 2017, approved the proposed Conditional Use Permit Renewal and Amendment with the surveys and materials referenced in the December 20, 2017 staff report, subject to the following conditions of approval:

The following Conditions of Approval supersede those contained in Planning Commission Resolution 1982-232.

1. **Property and Nature of Use.** This Conditional Use Permit shall apply to parcel 079-123-050 totaling 1.15 acres and identified as 3915 Alpine Road. The use permit shall be in the name of Alpine Inn Beer Garden and the use shall be limited to:
 - a. Restaurant use, including serving of hot and cold food and drink items.
 - b. Picnicking.
 - c. Accessory and amusement devices inside the restaurant building.
 - d. Residential use, not to exceed 1,500 square feet. This use shall not be permitted within the existing structure labeled "residence", but may be permitted in a new structure built to comply with all current zoning and building codes.
2. **Maximum Capacity.** The maximum capacity shall not exceed two hundred and ninety-two (292) persons, comprised of:
 - a. Fifty-two (52) persons inside the restaurant building.
 - b. Two hundred and forty (240) persons outside in the enclosed yard.
3. **Operation and Development of the Property.** Use and development of the property shall be subject to the following conditions:

- a. **Hours.** The hours of operation shall be limited to 11:00 a.m. to 11:00 p.m. daily.
- b. **Food.** Food and beverages shall be consumed only within the restaurant and rear enclosed area designated on the site plan as “Beer Garden Picnic Area.”
- c. **Music.** There shall be no amplified music or other amplified sound. Unamplified music may be played, subject to the Town’s noise ordinance.
- d. **Lighting.** All lighting and signs shall be satisfactory to the Architectural and Site Control Commission.
- e. **Safety.** The buildings and site shall at all times comply with the requirements of the Health Officer, Public Works Director, Building Inspector, and Fire Chief.
- f. **Parking.** All required parking described below shall remain available for patrons on the premises, and shall not be rented, leased or sub-leased to any other parties.
 - i. Car. Space shall be provided for 94 cars in the areas surfaced with crushed rock or gravel as shown on the site plan. This number shall be reduced by one parking space for every 2.5 horse tethering spaces provided.
 - ii. Horse. Tethering space for a minimum of 14 horses shall be provided within the property, away from Alpine and Arastradero roads.
 - iii. Bicycle. Parking for a minimum of twenty bicycles shall be provided on site, with the ability to secure the frame and front wheel to the parking fixture.
- g. **Maintenance.** The applicant shall maintain the property in a neat, clean and safe manner at all times, including:
 - i. Abutting and nearby portions of adjoining Los Trancos Creek,
 - ii. Vegetation and fencing fronting the public right of way and within the parking lot area,
 - iii. Sight lines at the intersection of Arastradero and Alpine Roads, and
 - iv. Fencing along the Alpine Road property line which sits within the property.
- h. **Preservation of Buildings.** If all or any portion of the main structure should be destroyed, and if rebuilt, shall be rebuilt so as to be a replica of the prior structure. The main structure (bar and restaurant) shall be preserved in its present historical state and style to the maximum extent possible. In particular, the interior and exterior walls shall remain as is.

- i. The shed attached to the southwest side of the building may be removed and replaced with an addition of the same or lessor floor area and in an architectural style compatible with the main architecture.
 - ii. The existing structure labeled “residence” on the site plan may remain, to be used as storage and office space accessory to the restaurant use, but not as a residence. If ever destroyed to more than 50% of its appraised value, this structure shall not be rebuilt but may be replaced with a building not exceeding 1,500 square feet to serve as a residence plus accessory use for the restaurant in a location conforming to the current zoning and building codes of the Town.
4. **Easements.** The applicant shall enter into easement agreements with the Town to provide the access and trail easements described below. The easement agreements shall be in a form acceptable to the Town Attorney and such agreements shall be executed and recorded within 90 days of approval of this CUP. The Applicant shall be responsible for repairing and maintaining the easements. All easements across the property shall be accommodated within the site plan.
 - a. **Access.** An unrestricted easement shall be dedicated to the Town to accommodate access to the Rossotti Field parking area owned by the Town. The easement shall measure twenty-five feet (25') in width and shall connect from the driveway access on Arastradero to the Rossotti Field parking area, crossing the Alpine Inn Beer Garden parking lot. No parking spaces shall ever be placed within this easement.

The roadway condition within the easement shall be repaired and maintained to standards to the satisfaction of the Public Works Director, including paving to a safe level for vehicle, bicycle, pedestrian and equestrian use, such as virgin Class II compacted base rock or equivalent. The existing speed bumps within the easement shall be maintained with diagonally striped yellow paint. An approvable plan showing these improvements shall be submitted for review by the Public Works Director on or before the one year permit review described in condition 6.
 - b. **Trail.** An easement shall be dedicated as necessary to accommodate the riding trail shown on the site plan along the Alpine road frontage of the subject site. The riding trail shall be installed within said easement and to standards shown on the site plan by the applicants to the satisfaction of the Public Works Director.
5. **Lease.** If the right to use the parcel currently leased from the Town is ever lost, the seating capacity of the use will be modified within 30 days to be consistent with the zoning ordinance standards to the satisfaction of the Town Planner unless a longer period is approved by the Planning Commission.
6. **Permit Review.** This permit shall be subject to review by the Planning Commission one year after its initial approval; following that review, the permit may be called for reviewed by the Planning Commission upon receipt of complaint or violation.

7. **Compliance to Local and State Laws.** The use shall be conducted in full compliance with all local and state laws. The permit shall be subject to revocation if the use is not conducted in compliance with these conditions and all applicable laws.
8. **Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the Town Council on appeal, at any time, whenever, after a noticed hearing in accordance the Town of Portola Valley Municipal Code and when the Planning Commission finds:
 - a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
 - b. A violation of any Town ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation.
9. **Covenants Run with the Land.** All of the conditions contained in this Conditional Use Permit shall run with the land and shall be binding upon, and shall inure to the benefit of Alpine Inn Beer Garden and its heirs, successors, assigns, devisees, administrators, representatives and lessees.
10. **Defend, Indemnify and Hold Harmless.** The applicant shall defend, indemnify and hold harmless the Town, and its elective and appointive boards, commissions, agents, officers and employees from any and all claims, causes of action or proceedings arising out of or in connection with, or caused on account of, the development and occupancy of Alpine Inn Beer Garden and the approval of this Conditional Use Permit or any related approvals except to the extent that such claims, causes of action or proceedings arise from the Town's gross negligence or willful misconduct.

The permit(s) granted by this approval may be appealed if done so in writing within 15 days of the date of approval. Acceptance of the two easements is on the consent calendar of the Town Council's January 10, 2018 agenda; this item does not require your attendance. The Planning Commission will schedule a one-year review of the above approval for the end of the year, 2018. If you have any questions, please contact me at (650) 851-1700, x230 or acassidy@portolavalley.net.

Sincerely,



Arly Cassidy
Associate Planner

WOODSIDE FIRE PROTECTION DISTRICT

Prevention Division

808 Portola Rd. Portola Valley, CA ~ www.woodsidefire.org ~ Fire Marshal Don Bullard 650-851-1594

ALL CONDITIONS MUST MEET WFPD SPECIFICATIONS – go to www.woodsidefire.org for more info

BDLG & SPRINKLER PLAN CHECK AND INSPECTIONS

PROJECT LOCATION:3915 Alpine Rd	Jurisdiction: PV
Owner/Architect/Project Manager: Hunter	Permit#: PLN ARCH 0022-2021,
PROJECT DESCRIPTION: Tenant Improvements. Additon/Remodel	
Fees Paid: <input checked="" type="checkbox"/> \$YES <input checked="" type="checkbox"/> See Fee Comments Date: 12/7/21	
Fee Comments: CH#1191 \$100.00 (plan review fee) paid by; Zotts 12/13/21 CH#.....\$225.00 (plan check fee) paid by: CH#1006.....\$120.00(review fee) paid by: alpine beer garden 11/7/22 NOTE: Fees include one plan check, one resubmittal and one inspection Any additional inspections will be \$90.00 each Any additional plan checks will be \$120.00 each	
BUILDING PLAN CHECK COMMENTS/CONDITIONS: 1. Address and/or suite number clearly posted and visible from street w/minimum of 4" numbers on contrasting background. 2. NFPA 13 Fire Sprinkler system must be installed. Separate submittal 3. Ansul Fire System must be installed. Separate submittal 4. Self-Illuminating Exit Signs 5. Panic hardware if occupant load is over 50 6. Occupancy Load to be posted. 7. Knox Box required. Recessed model 3270 or surface mount model 3261 8. Fire Extinguishers required and will be mounted. Type K for kitchen use. 9. Emergency exit gate will be installed on West end of the parking lot. This will remain locked with FD padlock and only opened by Fire to exit cars onto Alpine in the event of an Emergency. ***NOTE*** Main emergency gas line to be provided and labeled, which means to shut off all heaters.	
Reviewed by:M. Tamez	Date: 10/19/22
<input type="checkbox"/> Resubmit <input checked="" type="checkbox"/> Approved with Conditions <input type="checkbox"/> Approved without conditions	
Final Fire Inspection By: -----	Date:
Comments:	



December 29, 2021
V6351

TO: Jake Garcia
Assistant Planner
TOWN OF PORTOLA VALLEY
765 Portola Road
Portola Valley, California 94028

SUBJECT: **Geologic and Geotechnical Peer Review**
RE: Alpine Inn, Proposed Remodel
3915 Alpine Road
PLN_ARCH 022-2021

At your request, we have completed a geologic and geotechnical peer review of the Site Development Permit application for the proposed remodel, using the following documents:

- Architectural Plans, including: Site, Demolition, Parking, Floor, Tree Protection, and Roof Plans, Elevations, and Notes (8 sheets, various scales), prepared by The Midglen Studio, dated October 21, 2021;
- Topographic Survey (2 sheets, 16-scale), prepared by Lea and Braze Engineering, Inc., dated June 30, 2021; and
- Landscape and Lighting Plans, (3 sheets, 8-scale), prepared by Jenna Bayer Garden Design, Inc., and Midglen Studio, dated October 20, 2021.

In addition, we reviewed pertinent technical documents from our office files, and performed a recent site reconnaissance.

DISCUSSION

We understand that the applicant proposes to remodel portions of the historic Alpine Inn, specifically including a kitchen remodel, the addition of a bathroom, parking improvements, and landscape improvements. Proposed grading quantities are to be minimal. We understand that sanitary effluent would be directed into existing sanitary sewer facilities along Alpine Road.

SITE CONDITIONS

The project site is characterized by mostly level to gently inclined (less than 5-degree inclination), alluvial floodplain topography associated with Los Trancos Creek. Los Trancos Creek extends along the southern portion of the approximate 2-acre parcel, and has steep to precipitous embankments up to approximately 10 feet in height. For the majority of the stretch, Los Trancos Creek and its embankments are in relatively good condition, and not show evidence of active landsliding or excessive scour. We did observe an old railroad-tie retaining wall in the creek that is in ruins. This structure may have been part of the old deck for the previous residential development that was removed. At the upstream end of the beer garden, a tributary drainage channel has incised a gully several feet deep that is exposing large roots of the 44-inch oak tree. This gully has formed from runoff directed to this location from the unpaved parking lot. Sediment from the parking lot is directed to this location and into Los Trancos Creek during rainfall. Another tributary drainage near the entrance to the parking lot off of Arastradero Road has eroded a small portion of the parking lot, and currently contains orange cones to direct traffic away from this area. Historic modifications to the existing topography include minor building pad grading for the existing structure and parking area. Drainage is characterized by infiltration and sheetflow directed to the southeast where it is intercepted by northeast-flowing Los Trancos Creek.

The subject property is underlain, at depth, by bedrock materials of the Whiskey Hill Formation (i.e., sandstone, siltstone, and potentially expansive claystone). These materials are locally overlain by alluvial floodplain deposits. According to the Town Movement Potential Map, the proposed improvements are located within a "Sun" zone, which is defined as: *"unconsolidated granular material (alluvium, slope wash, and thick soil) on level ground and gentle slopes; subject to settlement and soil creep; liquefaction possible at valley floor sites during strong earthquakes."* The closest active trace of the San Andreas fault is mapped approximately 8,600 feet west of the site.

CONCLUSIONS AND RECOMMENDED ACTION

The proposed improvements are potentially constrained by expansive surficial soil materials, sloughing and undercutting of the nearby creek bank, the potential for liquefaction, the potential for flooding, and the susceptibility of the site to very strong /violent seismic ground shaking. The old residence that used to be located near the top of bank has been removed, except for the railroad timbers that are currently in the creek, and partially up the northern embankment. All of the proposed improvements are shown to be outside of the creek setback zone. We do not have geologic or geotechnical objections to the proposed improvements, and recommend Site Development Permit approval. However, we have the following recommendations that should be considered/addressed prior to approval of building permits:

1. **Erosion/Scour Mitigation**– The following items should be considered as part of the building permit application:

- The upstream erosion gully located approximately 15 feet from the western fence line of the beer garden should be mitigated to help reduce the undermining of the large oak tree, and to reduce the sedimentation off of the parking lot and into Los Trancos Creek. Rip rap with check dams should be considered for the lower portion of the erosion gully, and wattles or similar sediment catchment devices should be contemplated where the parking lot drainage enters the erosion gully.
- Rip rap should be considered for the eroded area near the driveway entrance along the tributary drainage channel from under Alpine Road.
- The railroad-tie ruins should be removed from the creek channel to help prevent log dams, scour, and flow diversions within the creek.

LIMITATIONS

This geologic and geotechnical peer review has been performed to provide technical advice to assist the Town with its discretionary permit decisions. Our services have been limited to review of the documents previously identified, and a visual review of the property. Our opinions and conclusions are made in accordance with generally accepted principles and practices of the geotechnical profession. This warranty is in lieu of all other warranties, either expressed or implied.

Respectfully submitted,

COTTON, SHIRES AND ASSOCIATES, INC.
TOWN GEOTECHNICAL CONSULTANT



John M. Wallace
Principal Engineering Geologist
CEG 1923



Patrick O. Shires
Senior Principal Geotechnical Engineer
GE 770

JMW:POS:st
Photographs 1-3

COTTON, SHIRES AND ASSOCIATES, INC.



Photograph 1 – Railroad-tie ruins with vertical posts that are founded in the active creek channel.



Photograph 2 – Erosion gully west of the beer garden fence (photo left) that accepts large amounts of runoff from the unpaved parking area. Roots of the large oak are being exposed in the gully.



Photograph 3 – Runoff from the unpaved portion of the parking area feeds the erosion gully at the west end of the beer garden in Photograph 2.



MEMORANDUM

To:	Howard Young & Jake Garcia, Town of Portola Valley	Date:	October 14, 2022
From:	Jay Radke & Nona Espinosa, NV5 Inc.	Project:	SJ00717-399 3915 Alpine Road #PLN_ARCH0022-2021
Subject:	Review comments for planning permit application <ol style="list-style-type: none"> 1. Page & Turnbull – Alpine Inn ASCC PC-1 Plan Submittal dated 9/29/22 2. Lea & Braze Engineering, Inc. – Topographical Survey dated 6/30/21 3. Page & Turnbull – Resubmittal Narrative dated 9/30/22 4. Page & Turnbull - Project Impact Analysis - Alpine Inn dated 9/29/22 		

NV5 has reviewed the Site Development Application for the subject property, and we have the following comments:

A. General.

1. Applicant shall review and comply with all conditions listed in the most current “Public Works & Engineering Department Site Development Standard Guidelines and Checklist”. The project architect or engineer shall submit a completed and signed checklist with the building plans. The checklist is available on the Town website at <https://www.portolavalley.net/home/showpublisheddocument/3432/635931967435700000>
2. Applicant shall review and understand all items listed in the most current “Public Works & Engineering Department Pre-Construction Meeting for Site Development.” This document is also available on the Town website <https://www.portolavalley.net/home/showdocument?id=3317>
3. The applicant shall resubmit any revisions to the Site Development permit plan set to the Town for review. The applicant must highlight the revised items on the plans and submit a letter noting each revised item.
4. The applicant shall address all plan review comments and subsequent review comments from NV5 to the Town’s satisfaction.
5. Show and label all existing and proposed utilities within the project vicinity on the plans.

B. Specific (for consideration during building plan submittal).

1. Hydrology/Hydraulics *(no calculations were submitted, any increase in impervious surface area that causes increase drainage runoff from pre-condition, needs to be mitigated).*
2. Refer to the current San Mateo County stormwater quality control requirements and demonstrate how the project complies with these requirements (no plans submitted).
3. The Town's Site Development Standard Guidelines include a requirement for mitigation of stormwater runoff if there is an overall increase in impervious surface area and for the installation of stormwater detention for projects that create or replace greater than 10,000 square feet of impervious surface. Provide documentation and a summary table showing the total overall impervious surface area for both the existing pre-construction site condition and the post-construction site condition, and provide mitigation measures, if required under these guidelines.
4. If required, provide documentation as to how you determined the size of the detention system and its components.
5. Provide a sediment capture inlet upstream of the detention basin connection.
6. Provide documentation showing the existing condition and estimated post-development peak runoff. Post-development peak runoff must be less than or equal to the existing pre-development condition or you must provide mitigation. For the runoff calculation for existing and post-construction conditions, please provide the watershed delineation, time of concentration for peak flow and the runoff coefficient used for the project site.
7. Provide an evaluation to determine if the project increases peak flows into adjacent creeks and the Town's storm drainage system; and if so, you must provide mitigation.
8. Add the San Mateo County Water Pollution Program's construction BMP plan sheet to project plans and update the C3 checklist *(submitted form is acceptable, provide construction BMP plan sheet).*
9. Provide calculations showing the flow velocity for sizing the proposed storm drainage pipes and provide information for the sizing of any proposed rock slope protection.

Trail Committee Comments:

I don't see any issue in the final plans impacting the Alpine Trail (perhaps the trail should be called Alpine Path on this section in front of Alpine Inn as it's paved). Three things to note:

1. It does not seem as though the existing equestrian easement is currently cleared/in-use, although I'm not sure if that's assumed to be included in the existing paved portion of Alpine Trail. Clearing this for use would be good as nearly all of the rest of Alpine Trail has unpaved surface
2. The plans do note that Alpine Trail continues across the street (without a crosswalk indicated, which would be nice to add). For extreme clarity, Alpine Trail also continues on the same side of the road and turns into the Dwight Crowder Path after crossing Arastradero. This portion is most likely to be impacted during construction.
3. Alpine Path gets heavy use and if possible, disruption to it should be minimized when installing the new transformer. Routing trail traffic across the road to Alpine Trail is not a good solution as that trail is single track and unpaved.

Submitted by Trails Committee Member Fred

ARCHITECTURAL AND SITE CONTROL COMMISSION

February 27, 2023

CALL TO ORDER AND ROLL CALL

Chair Wilson called the special hybrid meeting to order at 6:00 p.m.

Planning & Building Director Laura Russell called roll:

Present: ASCC Commissioners, Jane Wilson, Kenny Cheung, and Al Sill

Absent: None

Planning Commission Liaison:

Town Staff: Planning & Building Director Laura Russell; Consultant Planner Jake Garcia

ORAL COMMUNICATIONS

Public comment was received from:

- Caroline Vertongen

NEW BUSINESS

- (1) **Conceptual Design Review of an application for a new gym, new fitness center, an addition/remodel to the existing locker room (Gambetta Gym), an addition remodel to an existing chapel and to discuss plans for a forthcoming Conditional Use Permit Amendment – 302 Portola Road – Woodside Priory School; PLN ARCH 23-2022. (Jake Garcia)**

Consulting Planner Jake Garcia presented the conceptual design for the project as detailed in the staff report.

Commissioner Cheung asked for clarification of the process on the application. Mr. Garcia outlined the three steps in the process: 1) Conceptual review by the ASCC to provide guidance to the applicant team; 2) a CUP amendment to be approved by the Planning Commission, and 3) Architectural review by the ASCC for subsequent individual projects, and Site Development.

Patrick Ruff, Priory Head of School, presented additional details and background on the projects. Carter Warr, Architect, shared further aspects of the plan.

The Commissioners asked questions of the applicant team, including wildfire mitigation considerations.

Public comment was received from:

- Caroline Vertongen
- Danna B
- Kim Cashin

- Greg
- Kristi C
- Rita

Mr. Ruff and Mr. Warr responded to the public comments and concerns.

The Commissioners commented on the project in terms of consistency with the Town's Design Guidelines, landscape design, building height, lighting, light spill, attention to wildfires and building finishes.

Mr. Warr responded to comments on the subject of light spill.

Planning and Building Director Russell requested and received confirmation from the Commissioners on their comfort with the locker room addition and chapel addition at the current stage of planning.

Planning and Building Director Russell noted that attention should be paid to access to all parts of the campus from a fire point of view, as well as attention to more native plantings.

Mr. Warr asked for the Commissioners' reactions to the changes in the plan with respect to the fitness center. The Commissioners responded that they had no objections.

Planning and Building Director Russell pointed out that notice for this CUP project was sent to residents within 1,000 feet of the property site as opposed to 300 feet in order to hear from members of the community.

COMMISSION AND STAFF REPORTS

(1) Commission Reports

(2) Staff Report

Planning and Building Director Russell shared calendar and logistical updates with the Commissioners. Beginning on March 1st, members of the Commission will need to be present in the schoolhouse for meetings.

Planning and Building Director Russell announced upcoming meetings and events, including a March 6th Planning Commission meeting on the Housing Element; and March 15th, 22nd and 29th Town Council meetings on the Housing Element. Consultants from the Environmental team will be available on March 20th.

Upcoming ASCC meetings will include discussion on Cal Water projects, improvements to the Alpine Inn, and routine single-family projects. There are also two applications for single-family homes with requests for loop driveways which will come to the ASCC, although the BPTS will be the decision-making body on the driveways.

The Council will be appointing two more ASCC Commissioners. However, the Town Council is currently focused on the Town Manager's departure from employment.

Planning and Building Director Russell appealed to all to approach upcoming meetings with patience and kindness, and to work together.

Commissioner Wilson inquired about when new ASCC Commissioners would begin. Planning and Building Director Russell responded that interviews are being conducted and there are currently three applicants, but she was not sure when they might start.

Public comment was received from:

- Rita
- Greg

(4) **ASCC meeting of February 13, 2023**

Motion by Commissioner Sill to approve the minutes of the February 13, 2023, as written. Seconded by Commissioner Cheung, the motion carried (3-0) by roll call vote.

There was no public comment.

ADJOURNMENT [8:03 p.m.]