



TOWN OF PORTOLA VALLEY

7:00 PM – Meeting of the Planning Commission
Wednesday, April 17, 2024

MEETING AGENDA

HYBRID MEETING- IN PERSON AND VIA ZOOM

HISTORIC SCHOOLHOUSE - 765 Portola Road, Portola Valley, CA 94028

Remote Public Comments: Meeting participants are encouraged to submit public comments in writing in advance of the meeting. Please send an email to asmith@portolavalley.net by 12:00 PM on the day of the meeting. All comments received by that time will be distributed to Commissioners prior to the meeting. All comments received are included in the public record.

Remote participation is provided as a supplemental way to provide public comment, but this method does not always work. The public is encouraged to attend in person to ensure full participation. If you attend the meeting online, you will have access to any presentations that will be shown on your screen and can provide public comments using the “raise your hand” feature when the Chair calls for them.

VIRTUAL PARTICIPATION VIA ZOOM

Please select this link to join the meeting:

https://us06web.zoom.us/j/81052202132?pwd=vsCko0r7QXcZGJZdOQxXW_3RZe5N4g.Ej2kvousOv2Kc5O9J

Or: Go to Zoom.com – Click Join a Meeting – Enter the Meeting ID

Meeting ID: 854 3493 7778 **Passcode:** 604419

Or Telephone:

1.669.900.6833

1.669.444.9171 (toll-free) Enter same Meeting ID

*6 - Toggle mute/unmute.

*9 - Raise hand.

7:00 PM - CALL TO ORDER AND ROLL CALL

Commissioners Chair Goulden, Vice-Chair Targ, Brothers, Krashinsky and Kopf-Sill

ORAL COMMUNICATIONS

Persons wishing to address the Planning Commission on any subject not on the agenda may do so now. Please note, however, that the Planning Commission is not able to undertake extended discussion or action tonight on items not on the agenda. Comments will be limited to three minutes.

REGULAR AGENDA

1. Consider Adopting a Resolution Recommending Approval of an Ordinance Amending Title 18 [Zoning] of the Portola Valley Municipal Code and Amending the Zoning Map for the Town of Portola Valley to Implement the 2023-2031 Housing Element (Continued Public Hearing from March 20 and April 3, 2024)

COMMISSION, STAFF, COMMITTEE REPORTS AND RECOMMENDATIONS

2. Commission Reports
3. Staff Reports

ADJOURNMENT

ASSISTANCE FOR PEOPLE WITH DISABILITIES

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Department at (650) 851-1700. Notification 48 hours prior to the meeting will enable the Town to make reasonable arrangements to ensure accessibility to this meeting.

AVAILABILITY OF INFORMATION

Any writing or documents provided to a majority of the Town Council or Commissions regarding any item on this agenda will be made available for public inspection at Town Hall located 765 Portola Road, Portola Valley, CA during normal business hours. Copies of all agenda reports and supporting data are available for viewing and inspection at Town Hall and at the Portola Valley Library located adjacent to Town Hall.

PUBLIC HEARINGS

Public Hearings provide the general public and interested parties an opportunity to provide testimony on these items. If you challenge any proposed action(s) in court, you may be limited to raising only issues you or someone else raised at the Public Hearing(s) described in this agenda, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing(s).



TOWN OF PORTOLA VALLEY STAFF REPORT

TO: Planning Commission

FROM: Adrienne Smith, Senior Planner

DATE: April 17, 2024

RE: Adoption of a Resolution Recommending Approval of an Ordinance Amending Title 18 [Zoning] of the Portola Valley Municipal Code and Amending the Zoning Map for the Town of Portola Valley to Implement the 2023-2031 Housing Element, (Continued Public Hearing from March 20 and April 3, 2024)

RECOMMENDATION

Staff recommends that the Planning Commission receive a presentation from staff, ask questions, provide comments, hold a public hearing and adopt a resolution recommending approval of an Ordinance Amending Title 18 [Zoning] of the Portola Valley Municipal Code and Amending the Zoning Map for the Town of Portola Valley to Implement the 2023-2031 Housing Element.

MEETING FORMAT

This public meeting format will be as follows:

- Staff presentation: Summary of Draft Zoning Code and Zoning Map amendments
- Planning Commission questions of staff – suggest segment meeting to accommodate conflicts of interest related to Mixed Use zoning designation
- Public Comments
- Planning Commission discussion and consideration of adoption of a resolution recommending to Town Council approval of the Zoning Code and Zoning Map Amendments - suggest segment meeting to accommodate conflicts of interest related to Mixed Use zoning designation

MEETING PURPOSE

The purpose of this meeting is for the Planning Commission to consider recommendations from the ASCC and to review the draft Zoning Code and Zoning Map amendments (Attachment 1) and consider the recommendations for amendments to the draft from the ASCC. The Commission will also consider taking formal action to adopt a resolution recommending to Town Council approval of the draft amendments (Attachment 2).

BACKGROUND

The draft Zoning Code and Zoning Map amendments are the first required step to implementing the Portola Valley Housing Element and do so in two ways:

1. The amendments bring the Code into conformance with State Law and implement various programs of the newly-adopted Portola Valley Housing Element; and
2. The amendments rezone several parcels to new zoning classifications as identified on the Housing Element's Adequate Sites Inventory. Without a rezoning, these sites cannot be made available to be developed at the proposed densities and affordability levels as committed to in the Town's Housing Element.

The Planning Commission met on March 20, 2024, to discuss the Draft Zoning Code and Zoning Map Amendments. View the full agenda packet, including a summary of draft amendments, a full draft of amendments and public comments [here](#). The Planning Commission held a fulsome discussion but determined it wanted further Town input via an expanded public review process. The Commission first requested that the ASCC meet at its earliest opportunity to review the draft and compile its recommendations to the Planning Commission. After the ASCC meeting, the Planning Commission and ASCC would convene for a joint meeting on April 3, 2024 – a continuation of the Planning Commission's March 20, 2024 meeting.

The ASCC met on March 25, 2024, and in a workshop-style session, undertook a comprehensive review of the draft amendments including discussion on the technical development and design standards proposed for the new zoning districts. View the agenda packet [here](#) and the recording of that meeting [here](#). The Commission appointed a subcommittee consisting of Chair Warr and Vice-Chair Flynn to compile all feedback to be shared with the Planning Commission.

The Planning Commission and ASCC held its joint meeting on April 3, 2024, to discuss the ASCC's feedback. View the agenda packet and public comments [here](#) and the recordings of that meeting: [Part I](#) and [Part II](#). The Planning Commission received a presentation from the ASCC, and the Commissions collaborated to further articulate the scope of changes to the draft Zoning Code and Zoning Map amendments. At the meeting, the Commissions agreed it would be beneficial for the ASCC to meet once more on April 8, 2024, to finalize its more technical feedback.

At its April 8, 2024 meeting, the ASCC engaged in a second and final workshop session to solidify the changes to the draft Zoning Code and Zoning Map it wished to recommend to the Planning Commission. View the agenda packet and public comments [here](#) and the meeting recording [here](#). The ASCC maintained its same subcommittee of Chair Warr and Vice-Chair Flynn to compile all feedback related to the Multi Family zone and other areas of the draft code and struck a second subcommittee consisting of Vice-Chair Flynn and Commissioner Dixon to address all feedback related to the Mixed-Use zone. See the ASCC's complete compiled feedback and recommendations to the Planning Commission in Attachment 2.

Necessity of Timely Adoption of Zoning Code and Map Amendments

On February 5, 2024, the Town received a letter from the Department of Community Development and Housing's (HCD) Proactive Housing Accountability Chief stating that while the Town had committed to March 2024 to complete its necessary rezonings, since it did not adopt a compliant housing element within 120 days of the original statutory due date of January 31, 2023, any rezonings required to make the identified sites available to the Town's RHNA required completion no later than January 31, 2024. The Town sent a response to HCD on March 4 outlining the Town's

plan for moving forward the Zoning Code amendments beginning with the Planning Commission's March 20, 2024, public hearing to review the draft. The Town did not receive a direct response.

Letter of Housing Element Decertification from HCD/Applicability of the Builder's Remedy

On March 26, 2024, the Town received [a letter](#) from HCD notifying the Town that HCD had decertified the Town's Housing Element pending the required rezones. Once the Town has adopted required rezones and submits those rezones to HCD, HCD will consider recertifying the Housing Element. HCD will not be reviewing the entire housing element again, just the rezones, so staff expects a quick process.

In the meantime, the Town is now vulnerable to "Builder's Remedy". Government Code section 65589.5(d)(5), known as the "Builder's Remedy," is a provision of California's Housing Accountability Act. This provision states that local entities may not disapprove certain housing projects or condition their approval in a manner that renders the projects infeasible unless certain specific conditions are met. One of these conditions is that the local jurisdiction has adopted a housing element that is in substantial compliance with State Housing Element Law. Because Portola Valley has received a letter from HCD decertifying its Housing Element and is no longer in substantial compliance with State Housing Element law, an applicant may propose a housing project that is inconsistent with the Town's zoning ordinance or general plan, and the Town could not use that inconsistency as a basis to deny the project.

DISCUSSION

Scope of Review and ASCC Recommendations

The Planning Commission should consider limiting the scope of its review and recommendations for amendments to the draft Zoning Code and Zoning Map to just those items required to facilitate the Housing Element. Over the course of the last four meetings of the ASCC and Planning Commission, it has become clear that the Zoning Code would benefit from a comprehensive update to clean up small errors, improve navigability, streamline unnecessarily dense chapters and sections and to address other items of interest to Commissioners. Undertaking such an update would be subject to future Town Council direction.

The ASCC has made a series of technical recommendations to the Planning Commission. In many cases these recommendations are straightforward to incorporate and do not require further staff/consultant analysis. In the cases where recommendations include the addition of further development standards, staff will need time to conduct site-specific feasibility analyses to ensure that the development standards will facilitate projects that meet the density and expected unit productions as set forth in the Housing Element.

SB 330 – the Housing Crisis Act

SB 330 came into effect on January 20, 2020. The purpose of the act is to ensure qualifying housing development projects are only subject to the ordinances, policies, and standards adopted and in effect when an application is submitted. This means jurisdictions cannot impose or enforce non-objective design standards established on or after January 1, 2020. SB 330 also provides that no more than five public hearings may be held on a project before it is deemed complete, including both continued hearings and appeals. Alongside establishing the new Mixed-Use and Multi-Family zones, the Town must create a non-discretionary, ministerial path of review for all future development projects on sites where these zoning designations apply, via the Zoning Code amendments.

Applicability of Existing Town Code Outside of Amendments

At the April 8, 2024 ASCC meeting, staff was asked about the force of existing Zoning Code sections such as grading, fencing, tree removal and lighting. Because these Code sections predate the passage of SB 330, these standards still apply. In the case that a project in the new Multi-Family or Mixed-Use zones contains an element that triggers the discretionary review of one of these Code sections, the likely procedure would be to segment the project and subject that specific element of the project to the requisite discretionary review process, while the remainder of the project would proceed through ministerial review.

Public Comments

At the time of writing this report, three public comments were received (Attachment 4). As applicable, any additional comments received up to 12:00pm on April 17, 2024 will be posted to the meeting [calendar page](#).

ENVIRONMENTAL ANALYSIS

On March 29, 2023 the Town Council adopted, pursuant to the California Environmental Quality Act (CEQA), an Initial Study-Mitigated Negative Declaration (IS-MND) prepared for the Portola Valley Housing and Safety Elements Update and Conforming General Plan and Zoning Code Amendments. Prior to Town Council’s January 24, 2024 adoption of the Housing Element, the IS-MND was again reviewed to determine if revisions to the Housing Element occurring after the adoption of the IS-MND would require modifications to the document. It was concluded at that time that all mitigation measures in the IS-MND remained valid and reduced all project-related impacts to a less-than-significant level. Likewise, staff has reviewed the implementing Zoning Code text amendments and amendments to the Zoning Map and concluded that they do not require subsequent or supplemental environmental analysis under CEQA, and further concluded that the IS/MND adopted on March 29, 2023 remains valid.

NEXT STEPS

Once the Planning Commission has completed their review and made a recommendation, the Town Council will review the draft Zoning Code and Zoning Map amendments at a forthcoming meeting, tentatively scheduled for May 2024. Once the Zoning Code and Zoning Map amendments are adopted, the Town will submit to HCD and request that its Housing Element be considered for recertification.

ATTACHMENTS

1. Draft [Zoning Code](#) and [Zoning Map](#) Amendments
2. ASCC feedback/recommendations on the draft Zoning Code and Zoning Map Amendments
3. Draft Resolution Recommending Town Council Approval of An Ordinance Amending Title 18 [Zoning] of the Portola Valley Municipal Code and Amending the Zoning Map for the Town Of Portola Valley to Implement the 2023-2031 Housing Element
 - a. Attachment A-1 to Resolution: Draft Ordinance Amending Title 18 [Zoning] of the Portola Valley Municipal Code and Amending the Zoning Map
4. Public Comments

ASCC April 8, 2024 Recommendations for Multi Family Zones.

Version 5

Subcommittee: Carter Warr, Chair, and Rebecca Flynn, Vice Chair

Summary of Recommendations

Details of recommendations provided in Appendix.

Add option for ASCC discretionary review.

Include in definitions: "Landscaped Area Ratio" defined as that portion of the land that must be either retained as natural area including existing tree root protection zones or landscaped that is neither building coverage nor impervious surface area.

Update Development standards

MF4 (Glen Oaks)

- Glen Oaks development limited to the 4 acres bounded by where the creek setback and scenic corridor setback overlap.
- Add a Floor Area Ratio 21% for 4du/ac, 10% for 2 du/ac.
- Reduce Coverage Area Ratio (Building Coverage) (i.e. footprint) from 35% to 21% for 4 du/ac and 10% for 2 du/ac.
- Add a max and min unit size (500 to 2500 sf)
- Lower side setbacks (30 to 15 feet) (no neighbors to property)
- Lower rear setback (30 to 20 feet) (no neighbors)
- Add a Landscape Area Ratio (65% for 4 du/ac and 81% for 2 du/ac)
- Reduce impervious surface ratio from 35% to 14% for 4 du/ac and 9% for 2 du/ac.
- Change Gross Ground Level Floor Area for a single building to Maximum Gross Floor Area per building (MGFA) from 3000 sf ground floor to 4,574 sf total building square footage. Allows for duplex buildings.
- Add a Minimum Common Space (400 per unit, included in LAR)
- Add a requirement for a minimum of 20% of units to be affordable.
- Recommendation: that Glen Oaks be moved into the MU-6 zoning district with the added requirements that the development be limited to the 4 acres detailed above and 20% of units be affordable. This would give the option for Stanford to retain the Glen Oaks Riding Center and add the additional housing to the side of the center.

MF23 (Ladera)

- Add a Floor Area Ratio (55%)
- Reduce Building coverage (Coverage area ratio) (i.e. footprint) (from 55% to 35%)
- Add a max and min unit size (400 to 1800 sf)
- Change Gross Ground Level Floor Area for a single building to Maximum Gross Floor Area per building (MGFA) from 6600 sf ground floor to 6200 sf total building square footage.
- Lower Max Building Height (42 to 38 ft)

- Add a Maximum Vertical Building Height (34 feet)
- Increase rear setback for 3 story buildings (from 15 feet to 25 feet). This does not affect Ladera.
- Add a variety of building separations based on height of the buildings (Min.18 feet: 3 story; 12 feet:2 story; and 6 feet: 1 story)
- Add a Landscape Area Ratio (25%)
- Add a Minimum Common Space (150 sf per unit, included in LAR)
- Reduce Impervious Coverage Ratio (65% to 40%)
- Add a minimum 25% affordable housing requirement.

Design Guidelines

- Compliance with significant tree ordinance.
- Require local climate suitable plants (60%-70%)
- Require consideration of future view preservation for any new large trees planted.
- Privacy considerations: Add a Daylight Plane regulation.
- Roof decks above the second floor allowed only with ASCC approval, dependent on privacy issues, visibility, and architectural façade variety.
- Adherence to exterior landscape lighting guidelines.
- Adherence to PV Fence ordinance. Open fencing for free movement of wildlife.
- Materials – non combustibility/ignition-resistant requirements

Changes recommended to Design Guidelines – Zoning Amendments

- Addition of simple objective design standards for 1 story buildings (for Ladera, mainly)
- Future plan for design guidelines for simple 2 story buildings and a potential menu of architectural options for more complex buildings. (ASCC to agendize this review project in May 2024 to be considered later this year separately from the current zoning amendment recommendations.)
- Allow long term, minimum 30 days, renting of a single room in line with current PV regulations.
- Remove shared entrance limitation for a single building.
- Remove required 18” finish floor height from porches and stoops for greater flexibility in meeting accessibility requirements.
- Recommend simplification of door entry requirements (height, length, projections, width, etc.)
- Increase options for roof types and dormers and eliminate pitch requirements.
- Remove requirement for light hardscape.
- Add shared underground parking as an option.
- Limit driveways onto the public street to 2 for multifamily parking lots. The fire department requires two entrances exits from all parking lots to avoid turnarounds.
- Increase required guest parking spaces to 1 per 2 units and add 30% non-paved requirement.
- Remove “solid wall” from parking lot requirements and add “shading.”

Appendix

18.15.050 Development Standards

Add: Modest exceptions to the objective requirement limitations may be permitted as a part of a discretionary ASCC review. Applicants are encouraged to meet with the ASCC prior to submittal to get feedback on preliminary ideas and to explore available options.

Define “Landscape Area Ratio”. That portion of the land that must be either retained as natural area including existing tree root protection zones or landscaped that is neither building coverage nor impervious surface area.

Maximum Gross Floor Area per building (MGFA) requires definition.

Impervious coverage and lot coverage for porches and overhangs needs clarification and concordance with residential PV regulations.

Table 18.15.050

R-MF-4 (Glen Oaks)

(Limit land of Glen Oaks to be rezoned to 4 acres to meet the 16 units required.)

Recommendation that Glen Oaks be zoned **MU-6** with the additional requirements of ratios will correspond to developable land limited to the area specified in this document and 20% affordable units required.

(Red indicates changes from proposed zoning amendment document)

Standards R-MF-4	ASCC R-MF-4	Zoning Amendments R-MF-4
Unit Density	Min 2 du/ac; max. 4 du/ ac	Min 2 du/ac; max. 4 du/ ac
Lot width	Min. 120 feet	Min. 120 feet
Floor Area Ratio (FAR) (Total building sf)	21% for 4du/ac, 10% for 2 du/ac (limited to the ~4 acres)	
Coverage Area Ratio (CAR), Building Coverage (footprint)	.21 or 21% of developable lot area for 4 du/ac; .10 or 10% for 2 du/ac.	Max. 35%, See Chapter 18.54.040 for exceptions
Unit size (min, max) including any garage space	Min 500 sf; Max 2500 sf	
Maximum Gross Floor Area (MGFA) per building	4,574 square feet (entire building)	3,000 square feet (ground floor only)
Building Height		
Principal Structure	Building height, max: 34 ft; Building height, vertical: 28 ft	Building height, max: 34 ft; Building height, vertical: 28 ft

Accessory Structure (not incl. ADUs/SB9)	Building height, max 16 ft.	Building height, max 16 ft.
Setbacks		
Front Setbacks	30 Feet unless special setbacks prevail. 75 feet Alpine Road. See Chapter 18.58 – Special Setback Lines	75 feet Alpine Road. See Chapter 18.58 – Special Setback Lines for other roads.
Interior Side Setbacks	Min. 15 feet from property line (for Glen oaks). (Otherwise for other future MF23 properties, side setback for original combining district for parcel (20 feet or 10 feet)	Min. 30 feet
Rear Setbacks	Min. 20 feet	Min 30 feet
Building separation	Min. 20 feet	Min. 20 feet
Landscape Area Ratio (LAR)	Min 0.65 for 4 du/ac; .81 for 2 du/ac	
Minimum Common Space	Minimum 400 sf/unit (included in LAR)	
Impervious/Paved/Hardscaped Surface Ratio (IAR)	Maximum 50% of required front setback area; Max 14% of lot for 4 du/ac; max 9% of lot for 2 du/ac.	Maximum 50% of required front setback area; max 35% of lot.
Parking Buffer	Min. 15 ft landscaped buffer required between on-site property parking and property line within the scenic corridor.	Min. 15 ft landscaped buffer required between on-site property and property line within the scenic corridor.
Affordable Housing Units	Minimum 20%	

R-MF-23 (Ladera Church)

Standards R-MF-23	ASCC R-MF-23	Zoning Amendments R-MF-23
Unit Density	Min 20 du/ac; Max 23 du/ac	Min 20 du/ac., Max 23 du/ac.
Lot width	Min. 90 feet	Min. 90 feet
<i>Floor Area Ratio (FAR)</i>	.55 or 55% of lot area	
Coverage Area Ratio (CAR), Building Coverage (Footprint)	.35 or 35% of lot area	Max. 55%; see Chapter 18.54.040 for exceptions
Unit size (min, max) including any garage space	Min 400 sf; Max 1800 sf	
Maximum Gross Floor Area (MGFA) per building	6,200 square feet, total per building	6,600 square feet for ground floor per building
Building Height		
Principal Structure	Building height, max: 38 ft/ 3 stories Building height, vertical: 34 ft	Building height, max: 42 ft/ 3 stories
Accessory Structure (not incl. ADUs/SB9 units)	Building height, max 16 ft.	Building height, max 16 ft.
Setbacks		
Front Setbacks	75 ft Alpine Road. See Chapter 18.58 – Special Setback Lines 50 Ft if no special setbacks.	75 ft Alpine Road. See Chapter 18.58 – Special Setback Lines for other roads.
Interior Side	Min. 15 ft	Min. 15 ft (North: 0 with permission from Ladera)
Rear Setbacks	Min. 15 feet: 1 and 2 story. Min. 25 feet: 3 story	Min 15 ft
Building separation	Min. 18 feet: 3 story; 12 feet: 2 story; and 6 feet: 1 story (No less than the minimum separation determined by the California Building Code at the time of building permit application.)	Min. 12 ft
Landscape Area Ratio (LAR)	0.25 or 25% of lot area	
Minimum Common Space	200 sf/unit (included in LAR)	

Impervious/Paved/Hardscaped Surface Ratio (IAR)	Max.75% of required front setback area. Max. 40% of lot area	Max.75% of required front setback area. Max 65% of lot.
Parking Buffer	Min. 15 ft landscaped buffer required between on-site property parking and property line within the scenic corridor. Min 10 ft landscaped buffer required at property line for non-scenic-corridor streets.	Min. 15 ft landscaped buffer required between on-site property and property line within the scenic corridor.
Affordable Housing units	Minimum 25%	

Additions to Objective Design Standards

Heritage tree ordinance (design guidelines) applies.

New plantings: 60%-75% (?) should be plants and trees based on local climate suitability, with allowance for fruit trees and vegetables. Adherence to WELO requirements, if extensive new plantings.

View preservation – Future height of large trees must be considered.

Theoretical plane/daylight plane regulation applies similar to R1 districts (MF23 –start at 12’ above property line then 1 unit vertical to 2 units horizontal away for the property line. MF-4 and MU. Start at 0’ at property line.)

Roof decks and decks above the second floor are only allowed with ASCC approval. Decision based on privacy issues, visibility, and façade articulation.

Exterior landscape lighting guidelines. Landscape lighting–limited by the PV Design Guidelines – Refer to the “first” page 16 of PV Design Guidelines

Fence ordinance applies (no solid walls on parking lots). Open fencing for free movement of wild animals away from road traffic to preserve riparian and wildlife corridors.

Materials – non combustibility/ignition-resistant requirements

Details of Changes to Zoning Amendments.

18.15.040 Accessory uses permitted

18.15.040 Accessory uses permitted.

Accessory uses permitted in the R-MF districts shall be as follows:

- A. Accessory uses as permitted in Section 18.36.040 and Chapter 18.42;
- B. Accessory uses permitted by subsections B, D, E, F, G, H, I, and J of Section 18.12.040;
- C. Household pets permitted by town ordinances.

Rewrite section B to read: Accessory uses permitted in Section 18.12.040 (subsections B through J). Subsection C is limited to long term, minimum 30 day, one room rental.

This change would allow the renting of a room for long term only, in line with the rest of PV:

18.12.040 C The renting of rooms and/or the providing of table board in a dwelling as an incidental use to its occupancy as a dwelling, provided that not more than one paying guest is accommodated. Provided further that this shall not be construed as authorizing the establishment of any rest home, convalescent home, boarding home, or any other institution of a type which requires any state or local license, nor any other operation which tends to change the character of the property involved or of the neighborhood. (Note that this should be amended to say “long term, 30 day minimum rental of a single room.”)

18.15.060 Design Standards

Addition of a section of simple standards for single story buildings to the zoning amendments.

- 1 story
- Complies with requirements in Table 18.15.050 for ratios, height, square footage, etc.
- Noncombustible/ignition-resistant exterior building materials.
- Major heritage trees protected.
- Windows: Trim required on windows and doors or windows must be inset into the walls.
- All entrances shall be covered by an awning, portico, or architectural element projecting from the facade a minimum 3'. Awning, porch or arch element to be minimum of 8' clear above adjacent pedestrian walkway.
- Complies with Accessibility requirements (minimum 15% of units) if required by state law.
- Complies with 18.15.060 Design Guidelines subsections H, I, J, K (on-site circulation, parking configuration, exterior lighting, and MEP equipment screening requirements)
- Complies with off-street parking requirements 18.60.
- Complies with 18.15.070 Required Conditions (ASCC review of accessory buildings, Vehicles screened, No living in vehicles, recycling and trash enclosures, Fire Department requirements)

The Design Standards will be updated in the following sections and the proposed and updated standards will apply to 2 story and higher buildings. The ASCC requests to agenda meetings in May to consider ways to provide simpler guidelines for simple two-story buildings and to

work to provide greater flexibility for more complex and higher buildings. This effort would be separate from the current changes and for future consideration of the Planning Commission and Town Council after the current zoning amendments are approved.

C Building Entries

C. Building Entries.

1. Ground Floor Entrances.

- a. Shared entrances may serve no more than three units.
- b. Individual entrances must face either the right-of-way, an internal access drive, an internal pedestrian pathway, or a shared open space.

Remove a. Shared entrances may serve no more than three units.

If b. is unnecessary, remove it. (Where else are entries going to point?)

18.15.060 C. 3. C (Individual stoop) Finish floor height.

- b. Individual covered porch frontages with dimensions as indicated below:
 - i. Width of porch: Minimum 12 feet.
 - ii. Depth of porch: Minimum 8 feet.
 - iii. Finish floor level above sidewalk: Minimum 18 inches.
 - iv. Clear height, if porch is covered: Minimum 8 feet, maximum 12 feet.

Remove 18" minimum finish floor level above sidewalk.

18.15.060 C. 3. C (Individual porch) Finish floor height.

- c. Individual covered stoop frontages with dimensions as indicated below:
 - i. Width of stoop: Minimum 5 feet, maximum 12 feet.
 - ii. Depth of stoop: Minimum 5 feet, maximum 8 feet.
 - iii. Finish floor level above sidewalk: Minimum 18 inches.
 - iv. Projection depth: Minimum 5 feet, maximum 8 feet.
 - v. Clear height to projection: Minimum 8 feet.

Remove minimum 18" finish floor height.

Note : All the specific requirements for the three types of entries are excessively detailed and the stoop and dooryard projections too big. Recommend simplifying them.

D. Roof Design.

D. Roof Design.

1. Allowed Roof Forms. Roof forms shall be limited to:
 - a. Hip;
 - b. Gable;
 - c. Shed or butterfly;
 - d. Flat; or
 - e. Parapet, where segments do not exceed 20 feet in length without interruption in height or form.

Recommend removing allowed roof forms.

2. Pitch. Roof pitch must be a ratio of 3:12 to 5:12. Solar roofs and other Building Integrated Photovoltaic (BIPV) roof designs are exempt from roof pitch standards if needed to achieve a net-zero energy consumption result on site.

Recommend Eliminating D.2 Pitch since flat roofs are allowed and this subsection conflicts.

4. Dormers. Individual dormers may not exceed 8 feet in length.

Recommend rewriting as: “The total width of a single dormer or multiple dormers shall not exceed 50 percent of the total roof length at the street-facing façade. The dormer width shall be measured at dormer roof fascia, or widest part of the dormer.” (from Los Gatos)

H. On site Circulation

H. On-Site Circulation.

1. Walkways shall connect all primary building entrances on a site to each other, to on-site automobile and bicycle parking areas, to any on-site open space areas, and to adjoining public rights-of-way.
2. Paving within Setback Area. Paving within required setback areas shall be visually distinct from the adjacent public sidewalk.
3. Hardscape Materials. On-site hardscape material shall be permeable or pervious ~~and light in color.~~

Remove “and light in color.” (and correct typo in 1: building)

18.15.060 I. Parking Configuration and Design.

I. Parking Configuration and Design.

1. Location. Parking may be located in:

- a. Tuck-under individually secured garages;
- b. Shared ground-floor garages;
- c. Carports; or
- c. Surface parking lots.

Update b: Shared ground-floor and underground parking.

3. Driveway access.

- a. Driveways may not exceed 20 feet in width.
- b. Parking Lot Access. Parking lot access shall be provided from a street to which the scenic corridor does not apply, wherever possible.

Add: C. Parking lots must be served by a minimum and maximum of 2 driveways onto a public street for multifamily parking lots (without ASCC review), subject to Fire Department approval

18.15.070 Required Conditions

Update for fire code information.

18.15.070 Required conditions.

Required conditions in the R-MF districts shall be as follows:

- A. Required conditions as stipulated by subsections A, B and C of Section 18.12.050;
 - B. Conformance with the requirements set forth in Section 18.37.010.
 - C. For properties in the Very High Fire Hazard Severity Zone, conformance with the requirements of the Woodside Fire Protection District, the State Board of Forestry and Fire Protection, and other State regulations regarding, but not limited to, fire safe regulations, maintaining defensible space, and findings for subdivisions of property.
Development in the Very High Fire Severity Zone as designated by the town shall comply with the defensible space requirements set forth in California Government Code Section 51182 and the defensible space regulations adopted by the Woodside Fire Protection District from time to time.
 - D. ~~Before approving a tentative map, or a parcel map for which a tentative map was not required, in the Very High Fire Severity Zone as designated by the town, the decision making body shall make the findings set forth in California Government Code Section 66474.02 relative to consistency with regulations adopted by the State Board of Forestry and Fire Protection and availability of structural fire protection and suppression services.~~
 - E. ~~Development in the Very High Fire Severity Zone as designated by the town shall comply with the Board of Forestry and Fire Protection's State Minimum Fire Safe Regulations.~~
-

18.60.110 Schedule of required off-street parking spaces.

Change to:

Guest parking shall be provided in the amount of *1 for every 2 units* or fraction thereof.

30% of the required spaces would need to be improved with mulched areas instead of paved parking spaces.

(Note: for a 3 bedroom SFR on 1 acre with an ADU, we require 5 parking spaces. We should be requiring as much or more for multifamily units. For MF-23, 1 acre property, 20 unit development would require 47 in the proposed zoning amendments. This recommendation would increase to 50. Realistically, where are people going to park if their lot is full?)

18.60.120 Improvement and Maintenance of parking area

B. Border Barricades, Screening and Landscaping.

1. Every parking area that is not separated by a fence from any street upon which it abuts shall be provided with a suitable concrete curb or barrier not less than six inches in height. Except for entrance and exit driveways, such curb or barrier shall be continuous and shall be located not less than two feet from such street parcel lines, and such curb or barriers shall be securely installed and properly maintained.
2. Every parking area abutting property located in one of the R districts shall be separated from such property by a solid wall, view-obscuring fence, or planting screen at least six feet in height measured from the grade of the finished surface of such parking lot closest to the contiguous R district property.
3. Parking lots shall have a configuration and sufficient planting islands to accomplish a well-landscaped appearance while avoiding unpleasant expanses of paving.

2. Remove “solid wall”

3. Add “and shading”: Parking lots shall have a configuration and sufficient planting islands to accomplish a well-landscaped appearance and shading while avoiding unpleasant expanses of paving

ASCC April 8, 2024 Recommendations for M-U (Mixed Use) Zoning District Regulations.

Version 3

Subcommittee: Rebecca Flynn, Vice Chair and Gina Dixon, Commissioner

Summary of Recommendations

Add option for ASCC discretionary review for more flexibility.

Define “Landscape Area Ratio”

Update Development Standards

MU-6

- Add a Floor Area Ratio (entire building sf) (28%)
- Add Coverage Area Ratio (CAR) (Building coverage for the entire parcel/footprint) (20%)
- Add a max and min unit size (300 to 3000 sf)
- Add building separation requirements with increasing amounts as height increases (Min. 18 feet: 3 story; 15 feet: 2 story; and 6 feet: 1 story)
- Add a Landscape Area Ratio (LAR) (32%) (dependent on Planning Dept modeling)
- Change Impervious Area Ratio (IAR) (from 65% down to 48%)(dependent on Planning Dept modeling)
- Add a 20% affordable housing unit requirement.
- We recommend adding different development standards to the existing Supportive Housing Overlay for 4394 Alpine Road in exchange for an increased number of housing units and more supportive units. All the requirements in the Supportive Housing Overlay will continue, including a minimum of 2 affordable units. The percent increase in density being afforded by the increase in FAR and CAR would be lockstep with the percent supportive units. Final ratios and numbers would be based on modeling calculations and site testing.
 - Add a FAR (40%)
 - CAR (40%)
 - Min. 16 units
 - 50% supportive housing units
 - Parking, LAR, and IAR requirements would be adjusted to fit the expected population (tentatively LAR (30-32%) and IAR (28 to 30%).

Changes to Objective Design Standards

- Remove minimum space requirements for ground floor commercial space.
- Remove ceiling height requirements for non-residential buildings.
- Increase flexibility for window transparency.
- Require conformance with PV landscape lighting requirements, including for security lighting.

Appendix with Details of Recommended Changes

18.23.050 Development Standards

Add section: Modest exceptions to the objective limitations may be permitted as a part of a discretionary ASCC review. Applicants are encouraged to meet with the ASCC prior to submittal to get feedback on preliminary ideas and to explore available options.

Table 18.23.050

MU-6 (4370, 4388 (Willows Commons), and 4394 Alpine Road)

Red indicates changes from proposed Zoning Amendments

Standards MU-6	ASCC MU-6	Zoning Amendments MU-6 March 2024
Unit Density	Min 3 du/ac; max. 6 du/ ac	Min 3 du/ac; max. 6 du/ ac
Lot width	Min. 120 feet	Min. 120 feet
<i>Floor Area Ratio (FAR) residential</i>	<p>Max. 28% of lot area</p> <p>The existing Supportive Housing Overlay would be amended to include a FAR of max. 40% if the project includes a minimum of 16 units and includes min.50% supportive units. (The percent increase in density being afforded by the increase in FAR and CAR would be lockstep with the percent supportive units. Final ratios and numbers would be based on modeling calculations and site testing.)</p>	
Floor Area Ratio, non-residential		Max. 0.18, exclusive of residential uses
Coverage Area Ratio (CAR) (Building Coverage) (Footprint)	<p>Max. 0.2 or 20% of lot area.</p> <p>The existing Supportive Housing Overlay would be amended to include a CAR of 40% if the project includes a minimum of 16 units and includes min. 50% supportive units. (The percent increase in density being afforded by the increase in FAR and CAR would be lockstep with the percent supportive units. Final ratios and numbers would be</p>	

	based on modeling calculations and site testing.)	
Unit size (max, min) including any garage space	Min 300 sf; Max 3000 sf. Supportive Housing Overlay would have a maximum unit size of 2000 sf and the state minimum size.	
Lot Size		
Area	Min. 1.0 acre (If 4370 Alpine is unable to create a separate area of 1 acre, they will have the option to reduce the min. size to 0.88 ac)	Min. 1.0 acre
Lot Width	Min 120 ft	Min. 120 ft
Gross Ground Level Floor Area for a Single Building (Floor area limit)	Max. 3000 sf. The Max. 7500 sf Gross Ground Level Floor Area for a Single Building would be moved to the Supportive Housing Overlay.	Max 7,500 sf
Building Height		
Principal Structure	Building height, max: 34 ft; Building height, vertical: max 28 ft	Building height, max: 34 ft; Building height, vert: max 28 ft
Accessory Structure (not incl. ADUs)	Building height, max 16 ft.	Building height, max 16 ft.
Setbacks		
Front	Min 75 feet Alpine Road. See Chapter 18.58 – Special Setback Lines for other roads. Min.30 Feet if no special setbacks.	Min 75 feet Alpine Road. See Chapter 18.58 – Special Setback Lines for other roads.
Street Side	Min. 30 ft along Nathhorst; Min. 25 ft elsewhere	Min. 30 ft along Nathhorst; Min. 25 ft elsewhere.
Interior Side	Min.25 feet	Min. 25 feet
Rear Setbacks	Min. 25 feet	Min. 25 feet
Creek setback	As specified in an individualized Engineering Study approved by the	As specified in an individualized Engineering Study approved by

	Town Engineer, but in no case less than 10 feet.	the Town Engineer, but in no case less than 10 feet.
Building separation	Min. 18 feet: 3 story; 15 feet: 2 story; and 6 feet: 1 story (No less than the minimum separation determined by the California Building Code at the time of building permit application.)	Min. 15 feet
Landscape Area Ratio (LAR)	Min. 0.32 or 32% of lot area (Planning Dept and Consultants to model calculations for confirmation.) Supportive Housing Overlay would have a LAR of tentative min. 30-32% based on modeling calculations for parking requirements for expected population)	
Impervious/Paved/Hardscaped Surface Ratio (IAR)	Max 48% (Planning Dept and Consultants to model calculations for confirmation.) Supportive Housing Overlay would have a IAR of tentative max. 28-30% based on modeling calculations for parking requirements for expected population.)	Max. 65% of lot.
Parking Buffer	Min. 15 ft landscaped buffer required between on-site property parking and property line within the scenic corridor.	Min. 15 ft landscaped buffer required between on-site property and property line within the scenic corridor.
Affordable Housing Units	Min. 20%	

Changes to MU Design Standards

18.23.060 Design Standards C. Non-residential design.

1. Ceiling Height – remove
2. Non residential space: remove
3. Transparency: Change to: A minimum 40 percent of ground floor street-facing non-residential facades shall be transparent window surfaces with no more than a 5% tint. Mirrored windows not allowed.

C. Non-residential design. The following standards apply to ground floor non-residential design.

1. Ceiling Height. The ground floor ceiling height shall be a minimum of 12 feet.
 2. Non-residential space. Ground floor leasable commercial space shall have a minimum depth of 50 feet for at least 50 percent of the length of the building or a minimum length of 30 feet, whichever is larger.
 3. Transparency. A minimum 40 percent of ground floor street-facing non-residential facades between 2.5 and six feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.
-

G. Security lighting: shall conform with PV lighting standards

G. During hours when an establishment is not open for business, only security lighting shall be allowed. Such lighting, both inside and outside, shall be of the minimum amount and the intensity to achieve its intended purpose.

Request for Future revision to be scheduled for May 2024 (or September 2024):

Simplification of design standards - provision of an objective standards option for simple 2 story buildings and greater flexibility in the design standards.

RESOLUTION NO. 2024 – 2

RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN OF PORTOLA VALLEY RECOMMENDING APPROVAL OF AN ORDINANCE AMENDING TITLE 18 [ZONING] OF THE PORTOLA VALLEY MUNICIPAL CODE AND AMENDING THE ZONING MAP FOR THE TOWN OF PORTOLA VALLEY TO IMPLEMENT THE 2023-2031 HOUSING ELEMENT

WHEREAS, State Housing Element Law (Government Code Sections 65580 et seq.) requires that the Town of Portola Valley (Town) adopt a housing element for the eight-year period 2023-2031 to accommodate the regional housing need allocation (RHNA) of 253 housing units assigned to the Town by the Association of Bay Area Governments; and

WHEREAS, State Housing Element Law also requires the Town to rezone properties as required to make sites available with appropriate zoning and development standards to accommodate the portion of the Town regional housing need for each income level that cannot be accommodated on sites under existing Town zoning; and

WHEREAS, on January 24, 2024 the Town Council of the Town of Portola Valley adopted the 2023-2031 Housing Element, which identifies those properties proposed for rezoning to accommodate the Town’s regional housing need; and

WHEREAS, the 2023-2031 Housing Element was submitted to the State Department of Housing and Community Development (HCD) for review on January 26, 2024, and HCD notified the Town on January 30, 2024 that they found the Housing Element to be in substantial compliance with State Housing Element Law; and

WHEREAS, on March 26, 2024, HCD sent a letter notifying the Town that it was revoking the Department’s finding of substantial compliance for the Town of Portola Valley’s sixth cycle housing element based on a failure to timely implement required rezone programs; and

WHEREAS, to implement the 2023-2031 Housing Element, (1) text amendments are required to Title 18 [Zoning] of the Portola Valley Municipal Code to enable the programs identified in the Housing Element; and (2) amendments are required to the Zoning Map for the Town of Portola Valley to rezone sites in order to accommodate the Town’s regional housing need for all income levels; and

WHEREAS, the Town, as lead agency under the California Environmental Quality Act (“CEQA”), prepared an Initial Study/Mitigated Negative Declaration (IS/MND) for the Housing Element, Safety Element, conforming General Plan amendments and zoning code amendments and circulated it for public review; and

WHEREAS, on March 29, 2023, the Town Council conducted a public hearing on the IS/MND and adopted Resolution No. 2922-2023 adopting the IS/MND, the Updated Response to Comments and Text Changes, and the Mitigation Monitoring and Reporting Program (MMRP) (as updated at the March 22 and 29, 2023 public hearings); and

WHEREAS, none of the implementing zoning code text amendments or amendments to the Zoning Map for the Town of Portola Valley require subsequent or supplemental environmental analysis under CEQA described in Public Resources Code Section 21166 and CEQA Guidelines Section 15162. None of the following triggers have occurred: a substantial change to the project; a substantial change to the circumstances under which the project is being undertaken, or new information, which was not known and could not have been known at the time the environmental analysis was completed, becomes available. Therefore, the IS/MND adopted on March 29, 2023 remains valid; and

WHEREAS, on March 20, 2024, the Planning Commission held a public hearing to review the proposed amendments to Title 18 [Zoning] of the Portola Valley Municipal Code to implement the 2023-2031 Housing Element programs and the amendments to the Zoning Map for the Town of Portola Valley, at which all interested persons had the opportunity to appear and continued the public hearing to April 3, 2024; and

WHEREAS, on April 3, 2024, the Planning Commission held a continued public hearing and conducted a joint meeting with the Architectural Site Control Commission to review the proposed zoning amendments and continued the public hearing to April 17, 2024; and

WHEREAS, on March 25 and April 8, 2024, the Architectural Site Control Commission held study sessions to review the proposed zoning amendments and provide recommendations to the Planning Commission.

NOW, THEREFORE, be it resolved that the Planning Commission of the Town of Portola Valley does hereby recommend that the Town Council approve the proposed ordinance as set forth in Attachment A-1, which includes both the proposed zoning code text amendments (Exhibit A) and the proposed Zoning Map amendments (Exhibit B).

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the Town of Portola Valley on April 17, 2024.

By: _____
Jon Goulden, Chair

ATTEST:

Jon Biggs, Interim Planning and Building Director

ORDINANCE NO. 2024 –

ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF PORTOLA VALLEY AMENDING TITLE 18 [ZONING] OF THE PORTOLA VALLEY MUNICIPAL CODE AND AMENDING THE ZONING MAP FOR THE TOWN OF PORTOLA VALLEY TO IMPLEMENT THE 2023-2031 HOUSING ELEMENT

WHEREAS, State Housing Element Law (Government Code Sections 65580 et seq.) requires that the Town of Portola Valley (Town) adopt a housing element for the eight-year period 2023-2031 to accommodate the regional housing need allocation (RHNA) of 253 housing units assigned to the Town by the Association of Bay Area Governments; and

WHEREAS, State Housing Element Law also requires the Town to rezone properties as required to make sites available with appropriate zoning and development standards to accommodate the portion of the Town regional housing need for each income level that cannot be accommodated on sites under existing Town zoning; and

WHEREAS, on January 24, 2024 the Town Council of the Town of Portola Valley adopted the 2023-2031 Housing Element, which identifies those properties proposed for rezoning to accommodate the Town’s regional housing need; and

WHEREAS, the 2023-2031 Housing Element was submitted to the State Department of Housing and Community Development (HCD) for review on January 26, 2024, and HCD notified the Town on January 30, 2024 that they found the Housing Element to be in substantial compliance with State Housing Element Law; and

WHEREAS, on March 26, 2024, HCD sent a letter notifying the Town that it was revoking the Department’s finding of substantial compliance for the Town of Portola Valley’s sixth cycle housing element based on a failure to timely implement required rezone programs; and

WHEREAS, to implement the 2023-2031 Housing Element, (1) text amendments are required to Title 18 [Zoning] of the Portola Valley Municipal Code to enable the programs identified in the Housing Element; and (2) amendments are required to the Zoning Map for the Town of Portola Valley to rezone sites in order to accommodate the Town’s regional housing need for all income levels; and

WHEREAS, on March 20, 2024, the Planning Commission held a public hearing to review the proposed amendments to Title 18 [Zoning] of the Portola Valley Municipal Code to implement the 2023-2031 Housing Element programs and the amendments to the Zoning Map for the Town of Portola Valley, at which all interested persons had the opportunity to appear and continued the public hearing to April 3, 2024; and

WHEREAS, on April 3, 2024, the Planning Commission held a continued public hearing and conducted a joint meeting with the Architectural Site Control Commission to review the proposed zoning amendments and continued the public hearing to April 17, 2024; and

WHEREAS, on March 25 and April 8, 2024, the Architectural Site Control Commission held study sessions to review the proposed zoning amendments and provide recommendations to the Planning Commission; and

WHEREAS, on April 17, 2024, the Planning Commission adopted Resolution 2024-____ recommending the Town Council approve an ordinance amending Title 18 [Zoning] of the Portola Valley Municipal Code and Amending the Zoning Map for the Town of Portola Valley to implement the 2023-2031 Housing Element; and

WHEREAS, the Town Council subsequently held a public hearing, and after considering the entire record of proceedings, including but not limited to, the staff report and all written and oral comments received and the Planning Commission recommendation, the Town Council voted to approve the ordinance.

NOW, THEREFORE, the Town Council of the Town of Portola Valley does **ORDAIN** as follows:

1. AMENDMENTS TO CODE. The following Chapters of Title 18 [Zoning] are amended as specified in Attachment A. Attachment A shows additions with underlined text and deletions with ~~strike out text~~. All text that is unmarked remains as is and all Title 18 chapters and sections not referenced in Attachment A remain unchanged.

Chapter 18.04	Definitions
Chapter 18.06	Districts
Chapter 18.10	Residential Districts
Chapter 18.11	Reasonable Accommodation for Individuals With Disabilities
Chapter 18.14	R-1 (Single-Family Residential) District Regulations
Chapter 18.15	R-MF (Multi-Family Residential) District Regulations
Chapter 18.23	M-U (Mixed-Use) District Regulations
Chapter 18.27	Standards for SB 9 Residential Development
Chapter 18.29	Affiliated Housing (AH) Combining District Regulations
Chapter 18.40	Signs
Chapter 18.60	Off-Street Parking

2. AMENDMENTS TO THE ZONING MAP FOR THE TOWN OF PORTOLA VALLEY. The following parcels will be rezoned to the zoning district indicated below and will be so designated on the Zoning Map for the Town of Portola Valley, included as Attachment B to this ordinance:

APN 79072120 (4388 Alpine):	M-U (3-6 du/a)
APN 77282030: (Glen Oaks site)	MF (2-4 du/a)
APN 79072060 (4370 Alpine):	M-U (3-6 du/a)
APN 79072130 (4394 Alpine):	M-U (3-6 du/a)
APN 77271180 (Ladera Church site):	MF (20-23 du/a)

3. CONSISTENCY WITH GENERAL PLAN. This ordinance is found to be consistent with the General Plan of Portola Valley.

4. ENVIRONMENTAL REVIEW. The Town, as lead agency under the California

Environmental Quality Act (“CEQA”), prepared an Initial Study/Mitigated Negative Declaration (IS/MND) for the Housing Element, Safety Element, conforming General Plan amendments and zoning code amendments and circulated it for public review. On March 29, 2023, the Town Council conducted a public hearing on the IS/MND and adopted Resolution No. 2922-2023 adopting the IS/MND, the Updated Response to Comments and Text Changes, and the Mitigation Monitoring and Reporting Program (MMRP) (as updated at the March 22 and 29, 2023 public hearings). None of the implementing zoning code text amendments or amendments to the Zoning Map for the Town of Portola Valley require subsequent or supplemental environmental analysis under CEQA, as described in Public Resources Code Section 21166 and CEQA Guidelines Section 15162. None of the following triggers have occurred: a substantial change to the project; a substantial change to the circumstances under which the project is being undertaken, or new information, which was not known and could not have been known at the time the environmental analysis was completed, becomes available. Therefore, the IS/MND adopted on March 29, 2023 remains valid.

5. CONSISTENCY WITH STATE LAW. This ordinance is intended to be consistent with State Housing Element Law and to the extent there is any inconsistency with such State law requirements, State law shall control.

6. SEVERABILITY. If any section, sentence, clause or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The Town Council hereby declares that it would have passed this Ordinance and adopted this Ordinance and each section, sentence, clause or phrase thereof, irrespective of the fact that any one or more section, subsections, sentences, clauses or phrases be declared invalid or unconstitutional.

7. EFFECTIVE DATE; POSTING. This ordinance shall become effective 30 days after the date of its adoption and shall be posted within the Town in three public places.

INTRODUCED:
PASSED:
AYES:
NOES:
ABSTENTIONS:
ABSENT:
RECUSED:

ATTEST:

Town Clerk

By: _____

Mayor

APPROVED AS TO FORM

Town Attorney

From: tclark@factpoint.com
To: Town Center; [Danna Breen](#); [Carter Warr](#); [REDACTED]; [REDACTED]
Cc: [Adrienne Smith](#); [REDACTED]; [Jud Hoffman](#) (via [REDACTED])
Subject: ASCC [DO NOT EDIT SUBJECT] Modular homes as affordable housing Ladera Church response
Date: Thursday, April 11, 2024 10:11:19 PM
Attachments: [Map for Save the Trees amendment Dec 2023.pdf](#)
[Overlook - Layout Elevations.pdf](#)

ASCC members,

At the ASCC's April 8 meeting, Commissioner Kenny Cheung, among others, asked for drawings or photos of modular buildings that Ladera Church might install. I have asked Habitat for Humanity Greater San Francisco (HGSF), our potential partner, for information on the modular homes that HGSF uses, and I hope these adequately address the questions. Please note the attachments:

1. Our potential partner, HGSF, uses [Villa Homes](#) as its modular provider, which offers something like 15 different models—see [Multifamily Rental Properties | Villa \(villahomes.com\)](#) for examples.
2. On Monday, Planning Commission Chair Jon Goulden shared at ASCC [this photograph](#) of two modular units installed in Bolinas. I was uncertain at that time, but these are, in fact, the installed Habitat modulares.



3. Attached also are the Elevations and Layout (**Overlook Layout Elevations**) for these units on Overlook Drive in Bolinas plus another photo (**Overlook 31 copy**) that shows the solar panels. These units came online in 2023.
4. Habitat is in the process of bringing online two other modular units in summer 2024. The installation is still unfinished. See photo (**Aspen Road completion summer 2024**).
5. Also attached is the current draft map (**Map to save the trees Dec 2023**) of buildable area on Ladera Church's half-acre parcel, which reduces our parcel by about a third in order to retain three beautiful heritage oaks that are highly prized by the congregation. We hope to build up to six units, but that may be difficult given the configuration of the boundary.

I hope this satisfies the ASCC's curiosity about modular housing and what Ladera Church has in mind. Please bear in mind that the church does not currently have an agreement with Habitat, so our partner is going beyond any contractual requirements in providing these sample documents.

Finally, I hope that the ASCC, in its recommendations to the Planning Commission, will use the term "modular housing" to describe what Ladera Church is thinking of. Somehow the language of "trailers" and "pre-fab" housing slipped into the discussion on April 8. We do not contemplate trailers, and they would not be acceptable to Ladera Church. "Pre-fab" carries a sometimes-pejorative connotation. With the escalating costs of traditional construction, modular housing may be the future of the affordable housing that the Portola Valley has pledged in its Housing Element to enable.

Faithfully yours,

Tim

--

Tim Clark

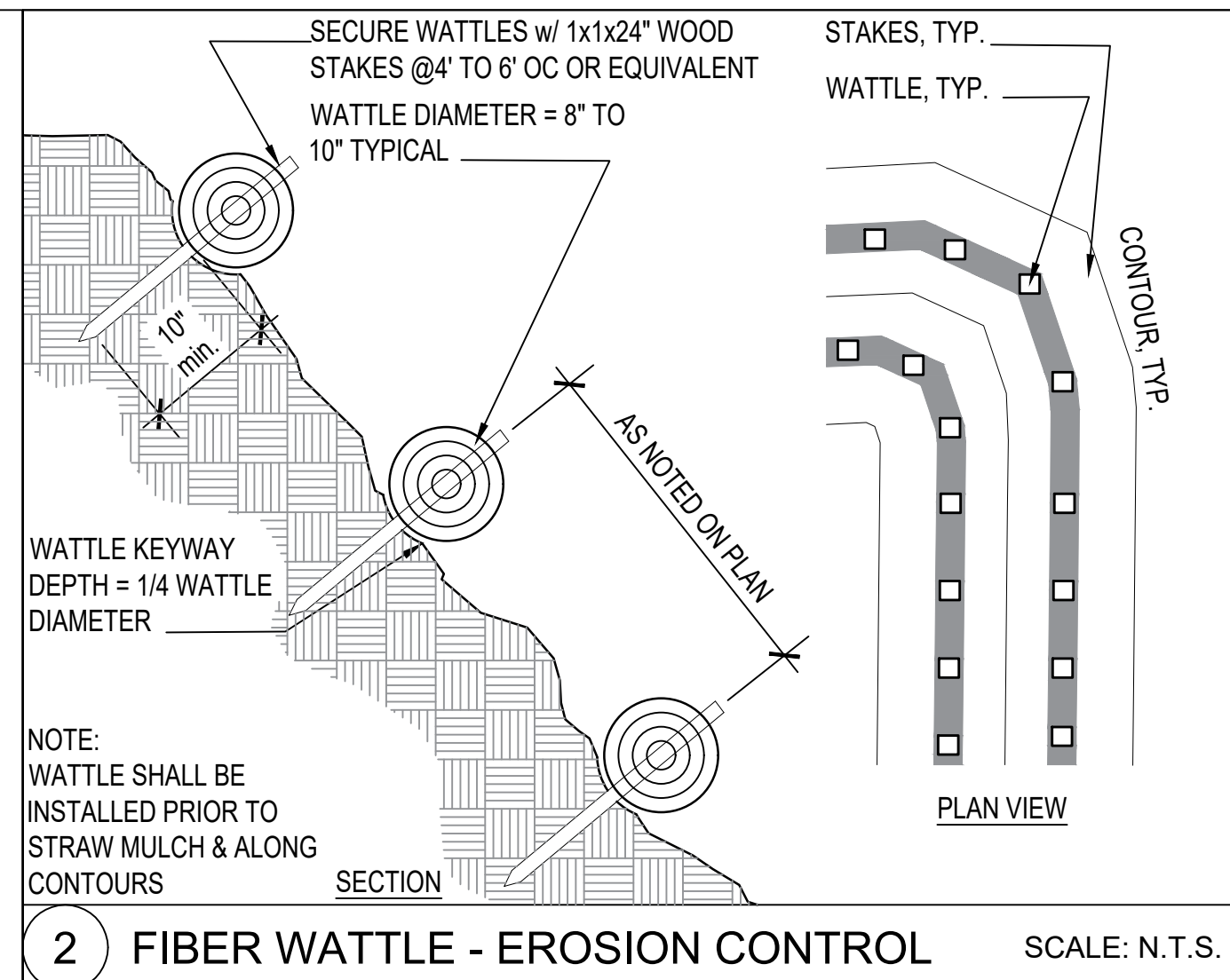
Affordable Housing Task Force

Ladera Community Church

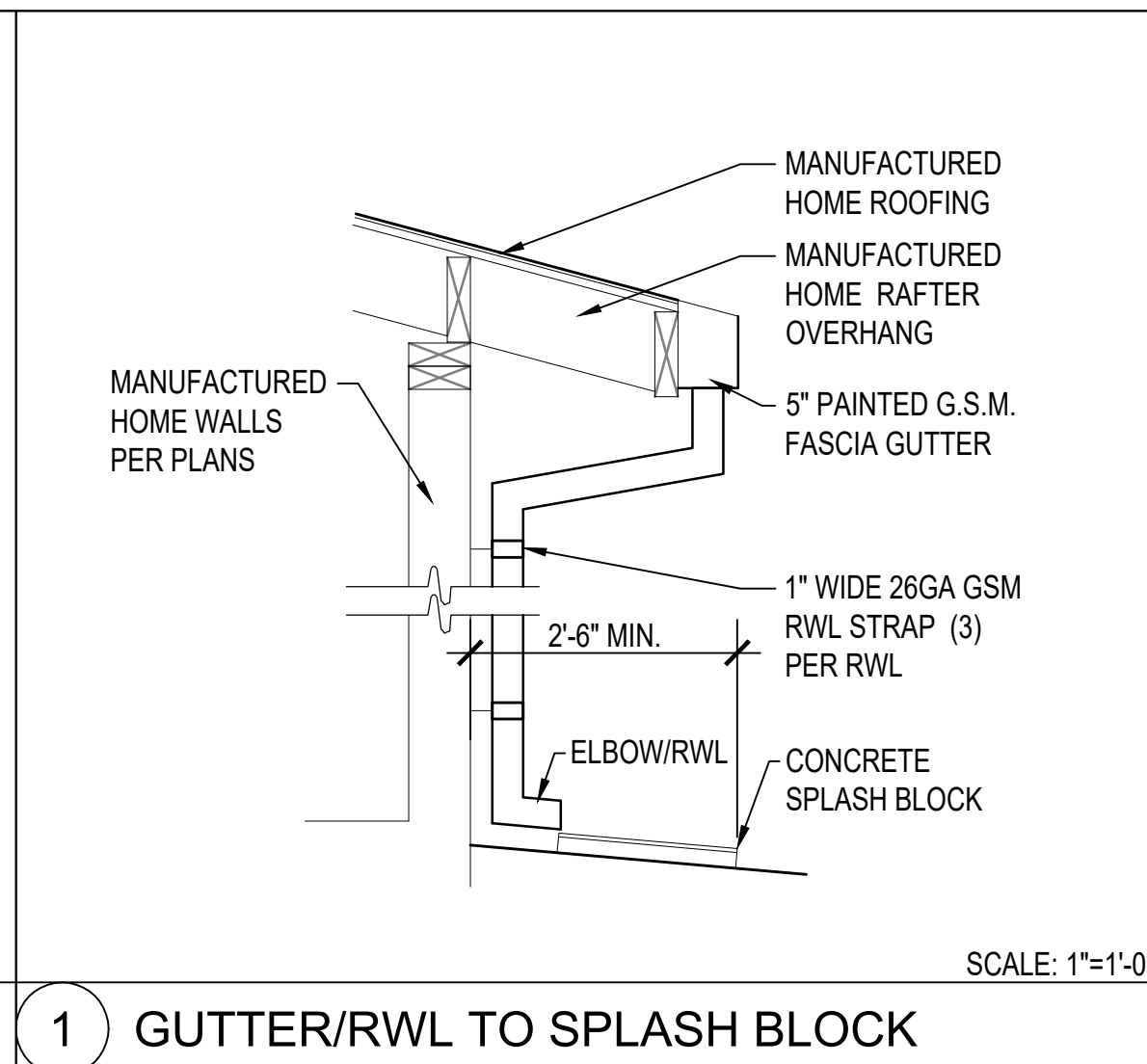
tclark@factpoint.com

650 208 6997





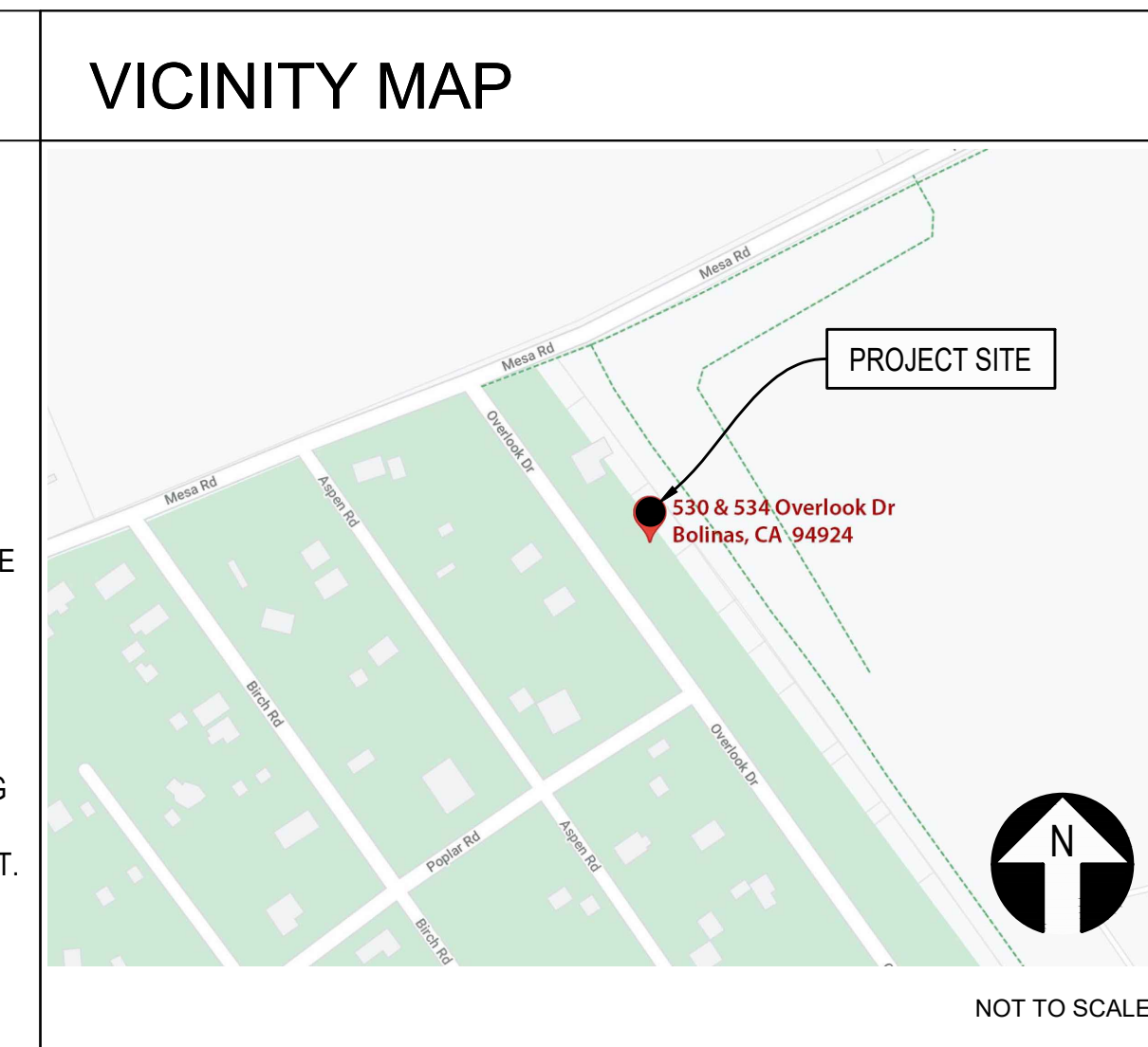
2 FIBER WATTLE - EROSION CONTROL SCALE: N.T.S.



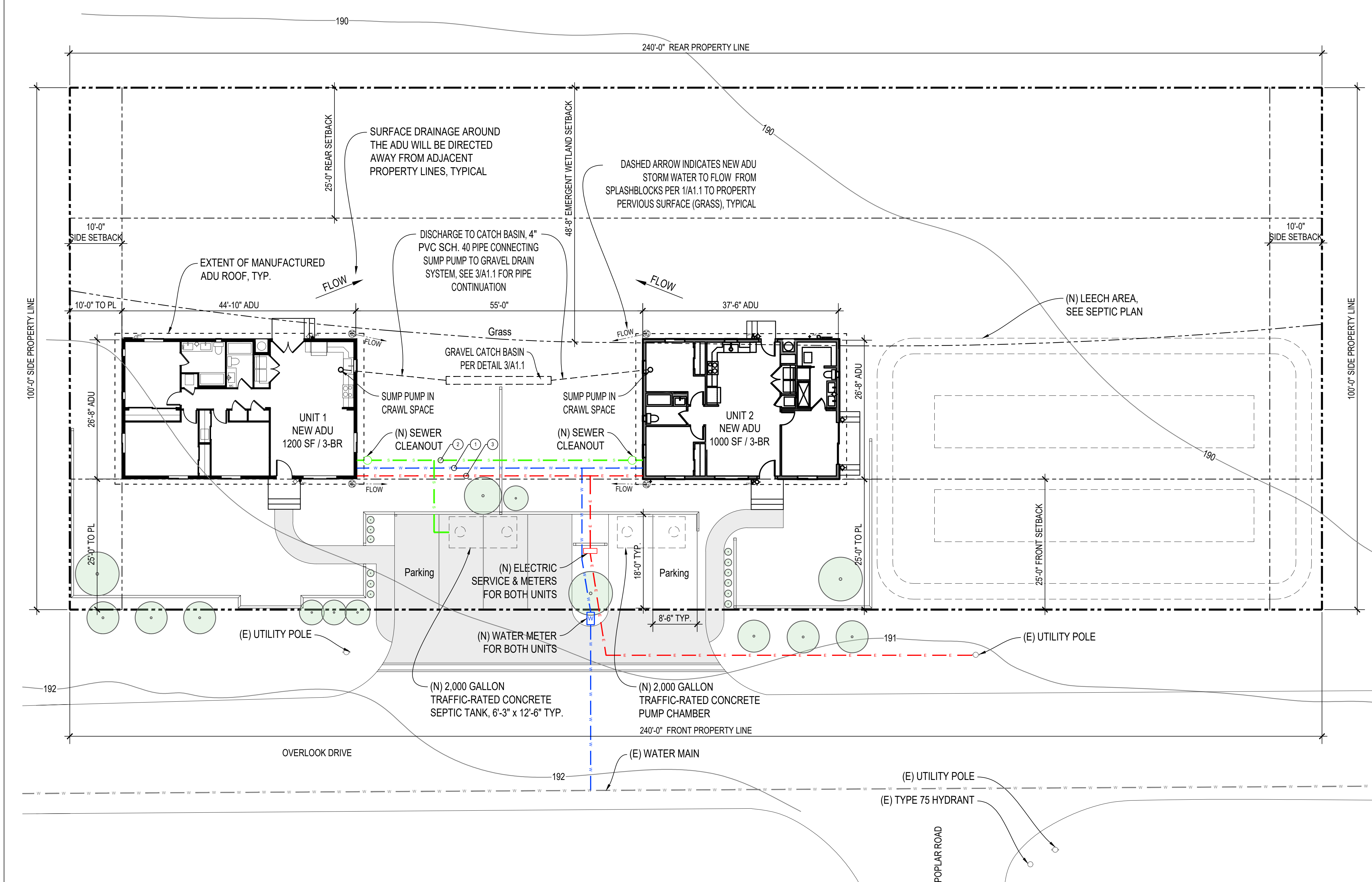
1 GUTTER/RWL TO SPLASH BLOCK SCALE: 1"=1'-0"

SITE PLAN NOTES

1. AN ENGINEERING / ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO DELIVERY OF MFR'D STRUCTURES, CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK (BY OTHERS). APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY.
2. WASTEWATER GRINDER PUMP - IF REQUIRED (PLANS / PERMIT BY OTHERS), IF DETERMINED ON SITE 2% SEWER PIPE FALL IS NOT AVAILABLE A GRINDER PUMP / TANK SYSTEM SHALL BE DESIGNED & INSTALLED BY OTHERS).
3. CONTRACTOR TO INSTALL / SETUP OF MODULAR ADU STRUCTURE PER CODE & MFR'R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
4. ALL EXISTING GRADING IS TO REMAIN. IF REMOVED OR REVISED FOR NEW WORK IT SHOULD BE MINIMAL IN SCOPE TO PROVIDE POSITIVE DRAINAGE. INSTALL PROPER EROSION CONTROL MEASURES AS REQUIRED PER LOCAL CODE.
5. CONTRACTOR SHALL VERIFY ALL BUILDING UTILITY LOCATIONS FOR ALL UTILITY CONNECTIONS / CONNECTIONS (UNDERGROUND OR OVERHEAD) PRIOR TO INSTALLATION WITH LOCAL UTILITY COMPANY. DESIGN BUILD.
6. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT (IF APPLICABLE) FOR ALL SITE & BUILDING RECOMMENDATIONS PRIOR TO COMMENCING WORK. FIELD REVIEW BY GEOTECHNICAL ENGINEER SHALL REVIEW ALL EXCAVATIONS PRIOR TO PLACING CONCRETE, etc... per REPORT.
7. ENCROACHMENT PERMIT BY OTHERS WILL BE REQUIRED FOR STAGING REQUIREMENTS.
8. NEW 200 AMP ELECTRICAL PANEL @ NEW ADU WITH UFER GROUND AT SEPARATE BUILDING PANEL IN ACCORDANCE WITH CEC 250.32.



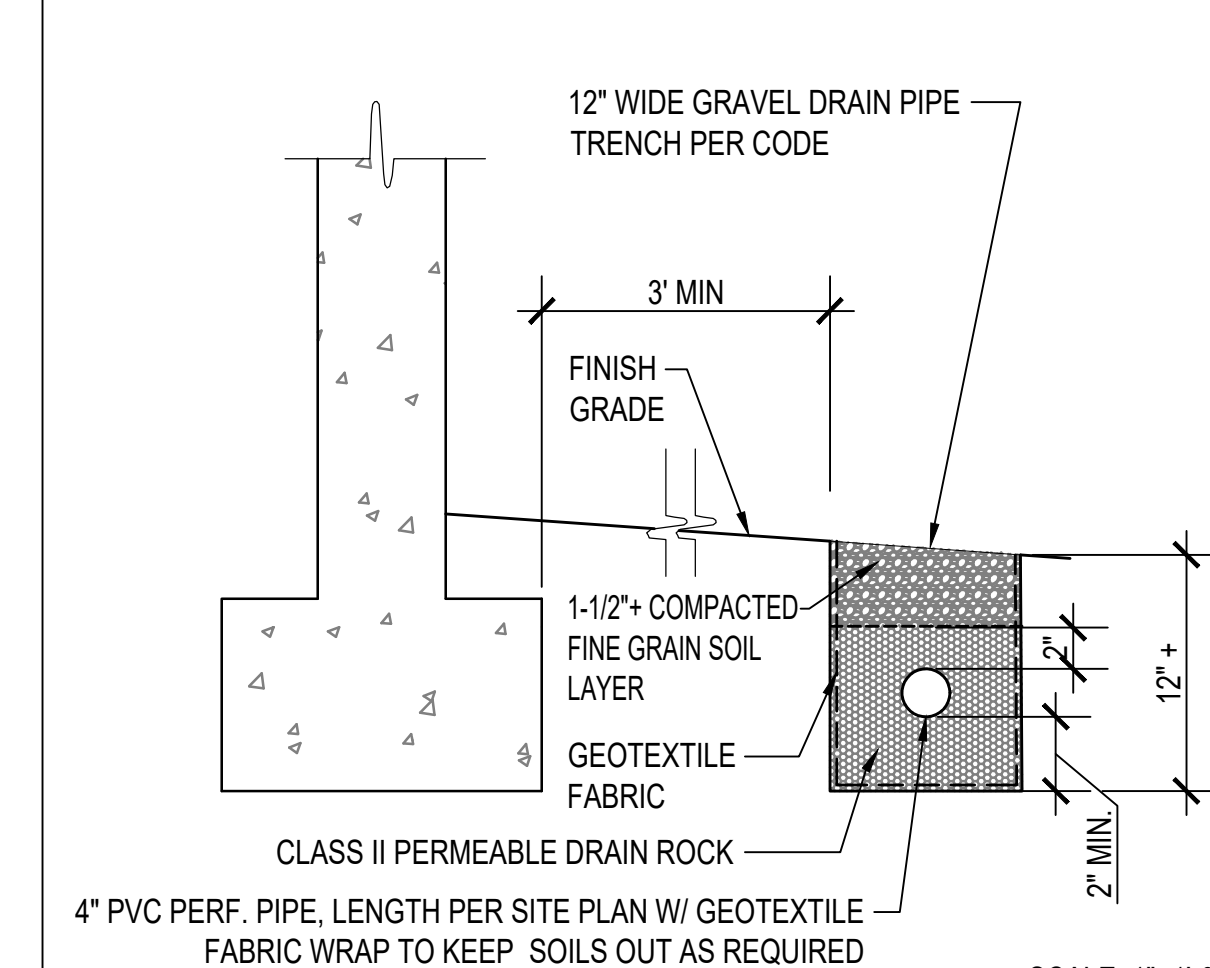
VILLA
1 LETTERMAN DR.
BUILDING C, SUITE 3500
SAN FRANCISCO, CA 94129
415.968.1625 PH
villahomes.com



PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

UTILITY KEYNOTES

1. WATER - 1" PVC SCH 40, INSTALL IN ACCORDANCE WITH CURRENT CPC CODE WITH A SHUT-OFF VALVE @ POINT OF CONNECTION TO SUPPLY SYSTEM & PRIOR TO MFR'D HOME CONNECTION WITH NON REMOVABLE BACKFLOW HOSE BIBB (or BIBB-TYPE VACUUM BREAKER ON ALL HOSE BIBBS).
2. SEWER - CONNECT TO NEW MFR'D HOME TO (N) SEPTIC SYSTEM WITH BACKFLOW PREVENTER ON ADU BRANCH SIDE. PROVIDE CLEANOUT AT CONNECTION TO EACH ADU. INSTALL IN ACCORDANCE WITH CURRENT CPC CODE WITH A 4" PVC SCH 40 PIPE & 2% MIN. SLOPE TO 2' FROM MFR'D HOME WITH CLEANOUT (6" PVC SCH 40 @ 1% MIN. SLOPE OR GRINDER PUMP SYSTEM MAY BE REQUIRED AS DETERMINED IN FIELD). UNDER FLOOR CLEANOUTS LOCATED MORE THAN 5' FROM CRAWL SPACE ACCESS WILL NEED TO EXTENDED TO OUTSIDE.
3. ELECTRICAL - CONNECT NEW MFR'D HOME TO (N) SERVICE PANEL AND METERS.



3 GRAVEL CATCH BASIN SCALE: 1"=1'-0"

Detached ADU
 530 + 534 OVERLOOK DR
 BOLINAS, CA 94924
 ARIANNE DAR

REVISION LIST	DATE
Delta 1	02/16/22
Project number	252 / 253
Date	2/16/22

**PROPOSED
SITE PLAN**

A1.1

EXTERIOR & W.U.I. NOTES

1. WILDLAND URBAN INTERFACE CODE PER 2019 CRC Chapter 337.
2. BUILDING MFRR TO INSTALL ALL WORK ABOVE AND INCLUDING STEEL CHASSIS BEAMS, FLOOR JOISTS IN FACTORY PER THEIR APPROVED PLANS FOR DOORS, WINDOWS, SIDING, TRIM, SPARK ARRESTOR FLUE CAPS, SOFFITS, & ROOFING AS PER W.U.I. STANDARDS & MFRR INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
3. W.U.I. APPROVED COMPOSITION SHINGLE ROOFING OF CLASS 'A' RATED (CLOSURE STRIP INSTALLED IN FIELD PER ROOFING MFRR RECOMMENDATIONS & BUILDING MANUFACTURER INSTALLATION MANUAL).
4. ALL FLASHINGS (Siding, Cap, Edge, Hip, Valley, 'Z' or 'L' etc...) TO BE 26ga. G.S.M. AS A MINIMUM. WHEN INSTALLED w/ AN APPLIANCE AS PER MFRR LITERATURE & WUI REQUIREMENTS.
5. SEE SHEET S1 FOR FOUNDATION VENTILATION CALCS FOR CRAWL SPACE VENTS REQUIRED.
6. VENT & FLUE SCREENS TO BE GALV. METAL 1/16" min. to 1/8" max. MESH.
7. FIELD INSTALLED 26ga. min. G.S.M. 2"x3" RWL & FASCIA GUTTER (UNDER ROOFING) w/ W.U.I. APPROVED LEAF GUARD.
8. W.U.I. APPROVAL # MFR'R MAKE & MODEL # OF THE FOLLOWING PROVIDE DOCUMENTATION TO FIELD INSPECTOR
 - a. SKIRT SIDING: (MATCH MFR'D BUILDING SIDING & COLOR): WUI APPROVED
9. VEGETATION MANAGEMENT COMPLIANCE PER R337.1.5
10. ADDRESS SIGNAGE FACING THE STREET SHALL BE WITH 1" HIGH LETTER (CONTRASTING COLOR TO BACKGROUND) OR PER LOCAL FIRE DEPT. REQUIREMENTS
11. ALL EXISTING GRADING IS TO REMAIN. IF REMOVED OR REVISED FOR NEW WORK IT SHOULD BE MINIMAL IN SCOPE TO PROVIDE POSITIVE DRAINAGE. INSTALL PROPER EROSION CONTROL MEASURES AS REQUIRED PER LOCAL CODE
12. ALL FLASHING (CAP, EDGE, HIP, VALLEY, 'Z' OR 'L' ETC.) TO BE 26GA. G.S.M. AS A MINIMUM, WHEN INSTALLED W/ AN APPLIANCE AS PER MANUFACTURERS LITERATURE & REQUIREMENT
13. METAL FASCIA GUTTER W/ W.U.I APPROVED LEAF GUARD, WITH LIP UNDER ROOFING WITH DROP TO 2"x3" R.W.L INTO U.G. DRAINAGE SYSTEM TO DRAIN @ STREET CURB/GUTTER OR DAYLIGH
14. ADDRESS SIGNAGE FACING THE STREET SHALL BE WITH 1" HIGH LETTER (CONTRASTING COLOR BACKGROUND) OR PER LOCAL FIRE DEPT. REQUIREMENTS

FLOOR PLAN NOTES

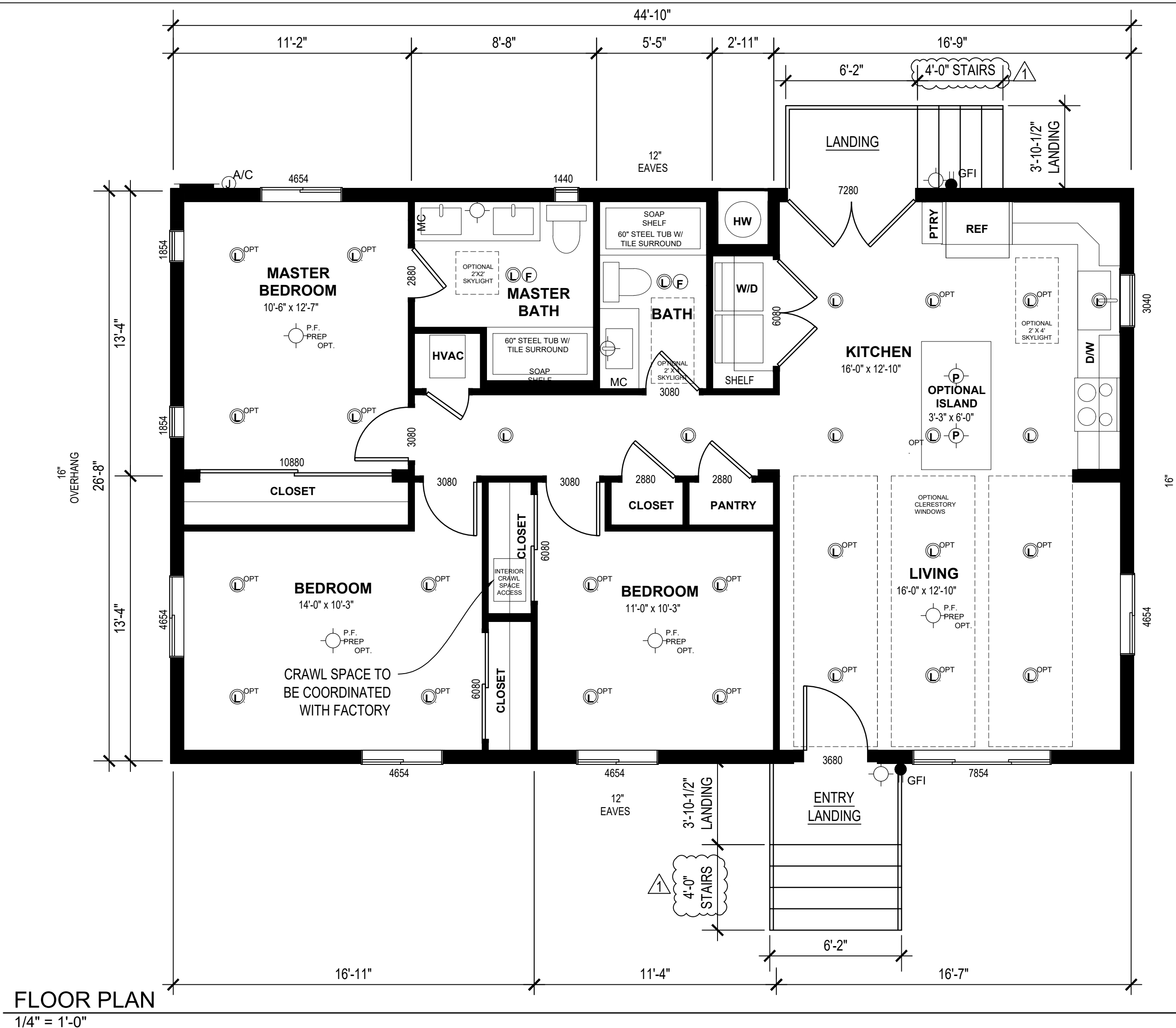
- 1) VERIFY ALL TRIM, FINISH, AND MANUFACTURER'S COLORS TO BE SAME FROM CRIPPLE WALL AS OCCURS
- 2) 18" X 24" MINIMUM CRAWL SPACE ACCESS WITHIN 20' OF PLUMBING - THROUGH OUTSIDE WALL, FOUNDATION WELL OR INSIDE ADU THROUGH FLOOR
- 3) ALL ELECTRICAL HEATER AND RANGE/OVEN WITH MANUFACTURERS LITERATURE - PER HUD REQUIREMENT
- 4) STEPS TO BE A MAXIMUM OF 3 RISERS WITHOUT NEEDING HANDRAILS. RISERS TO BE 4" MIN. TO 7.5" MAX., TREADS TO BE 10-1/2" MIN., NO RISER OR TREAD SHALL EXCEED MORE THAN 3/8" FROM THE SMALLEST TO THE LARGEST. 3' MIN LANDINGS TO RESIDENCE TO HAVE A STEP UP OF 1/4" MIN TO 1" MAX OR 4" MIN TO 7-1/2" MAX.
- 5) HANDRAILS (REQUIRED @ MORE THAN 3 RISERS) TO BE 1-1/2" DIA. @ 34" TO 38" ABOVE NOSE OF STAIRS WITH RETURN TO POST OR WALL.

EXTERIOR FINISH NOTES

- 1) 12" MIN. OVERHANG LENGTH
- 2) 2X6 PAINTED WOOD FASCIA, TYP.
- 3) 2X4 MIN. PAINTED WOOD TRIM AND CORNERS, DOORS AND WINDOWS
- 4) PAINTED HORIZONTAL SIDING, SKIRT WALL FINISH TO MATCH MANUFACTURED BUILDING SIDING.
- 5) CLASS "A" MINIMUM COMPOSITION ROOFING

VENT NOTES AND CALCS

1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA PER R408.1
 PROJECT UNDER FLOOR SPACE = 1,200 SF
 1,200 SF / 150 = 8 SF UNDER FLOOR VENT REQUIRED



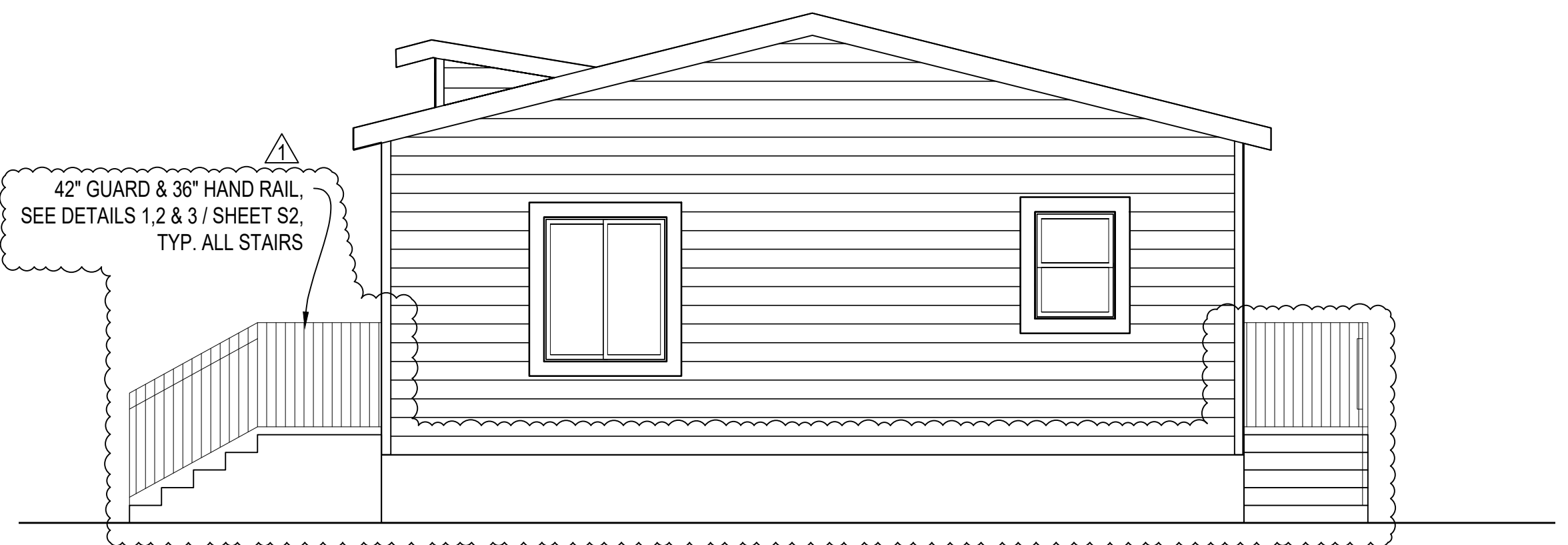
FLOOR PLAN
1/4" = 1'-0"



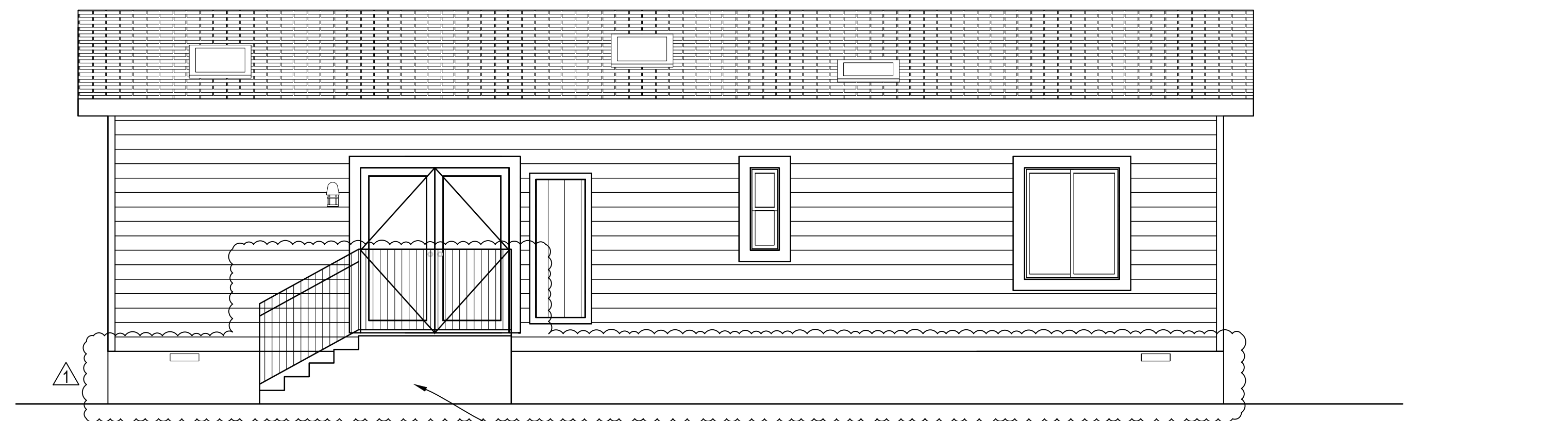
NORTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

VILLA
 1 LETTERMAN DR.
 BUILDING C, SUITE 3500
 SAN FRANCISCO, CA 94129
 415.968.1625 PH
 villahomes.com

Detached ADU
530 + 534 OVERLOOK DR
BOLINAS, CA 94924
ARIANNE DAR

REVISION LIST	DATE
Delta 1	02/16/22

Project number 252 / 253
 Date 2/16/22

PLANS AND ELEVATIONS UNIT 1

A2

EXTERIOR & W.U.I. NOTES

1. WILDLAND URBAN INTERFACE CODE PER 2019 CRC Chapter 337.
2. BUILDING MFRR TO INSTALL ALL WORK ABOVE AND INCLUDING STEEL CHASSIS BEAMS, FLOOR JOISTS IN FACTORY PER THEIR APPROVED PLANS FOR DOORS, WINDOWS, SIDING, TRIM, SPARK ARRESTOR FLUE CAPS, SOFFITS, & ROOFING AS PER W.U.I. STANDARDS & MFRR INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
3. W.U.I. APPROVED COMPOSITION SHINGLE ROOFING OF CLASS 'A' RATED (CLOSURE STRIP INSTALLED IN FIELD PER ROOFING MFRR RECOMMENDATIONS & BUILDING MANUFACTURER INSTALLATION MANUAL.
4. ALL FLASHINGS (Siding, Cap, Edge, Hip, Valley, 'Z' or 'L' etc...) TO BE 26ga. G.S.M. AS A MINIMUM. WHEN INSTALLED w/ AN APPLIANCE AS PER MFRR LITERATURE & WUI REQUIREMENTS.
5. SEE SHEET S1 FOR FOUNDATION VENTILATION CALCS FOR CRAWL SPACE VENTS REQUIRED.
6. VENT & FLUE SCREENS TO BE GALV. METAL 1/16" min. to 1/8" max. MESH.
7. FIELD INSTALLED 26ga. min. G.S.M. 2"x3" RWL & FASCIA GUTTER (UNDER ROOFING) w/ W.U.I. APPROVED LEAF GUARD.
8. W.U.I. APPROVAL # MFRR MAKE & MODEL # OF THE FOLLOWING PROVIDE DOCUMENTATION TO FIELD INSPECTOR
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FLOOR PLAN NOTES

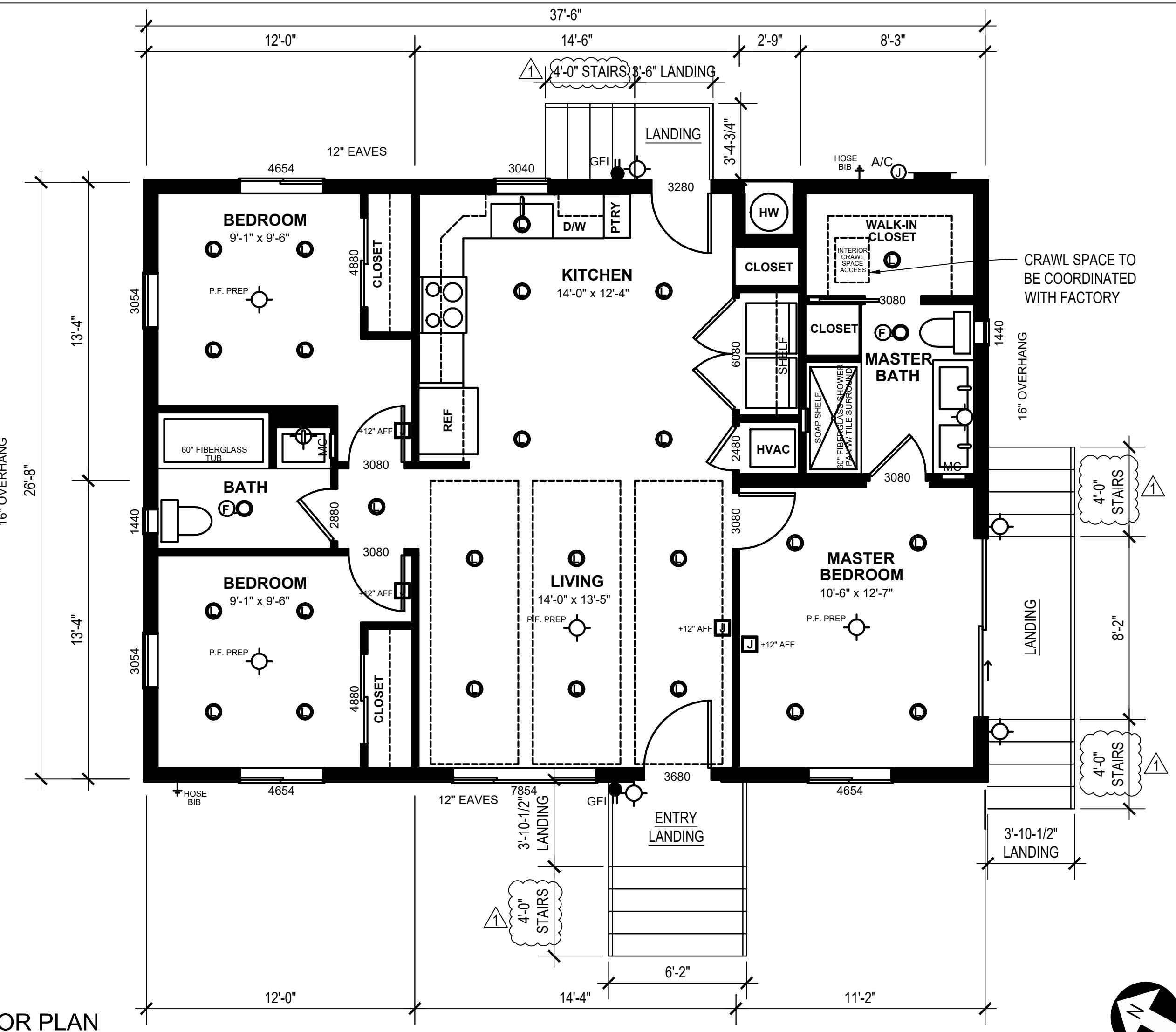
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EXTERIOR FINISH NOTES

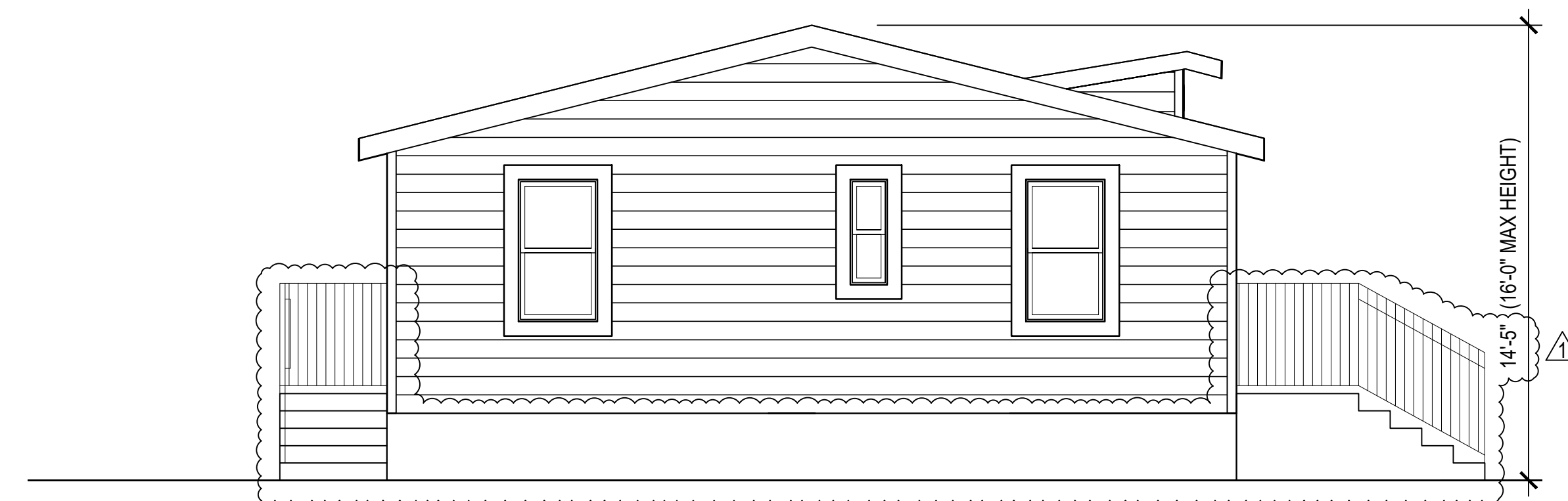
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VENT NOTES AND CALCS

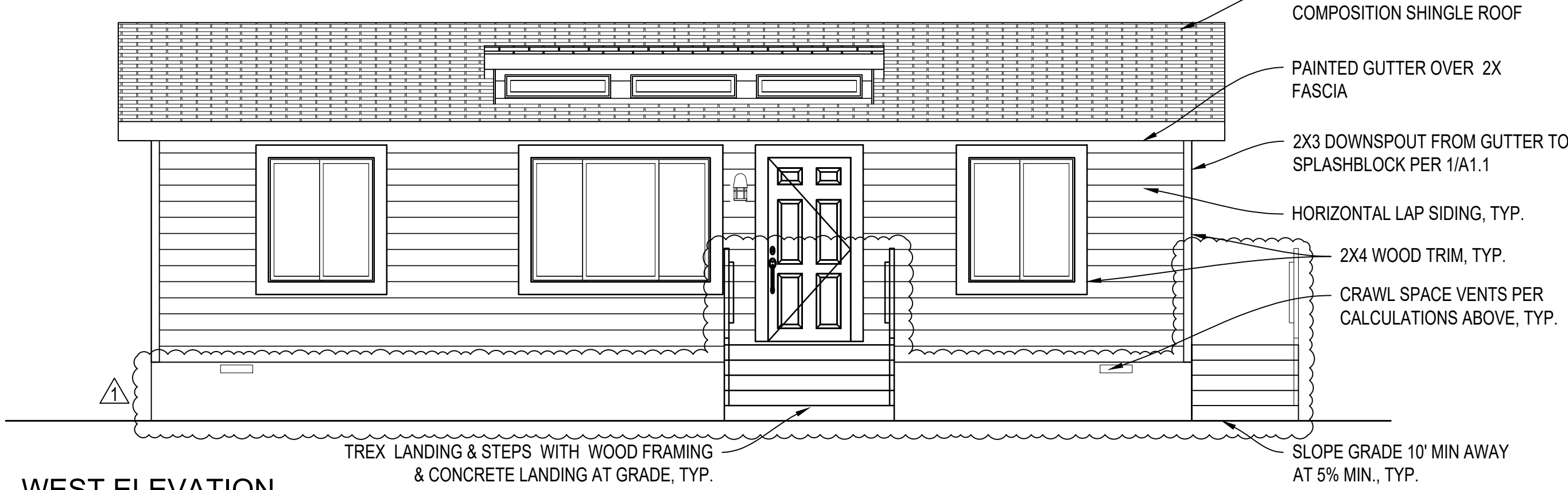
1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA PER R408.1
 PROJECT UNDER FLOOR SPACE = 1,000 SF
 1,000 SF / 150 = 6.67 SF UNDER FLOOR VENT REQUIRED



FLOOR PLAN
1/4" = 1'-0"



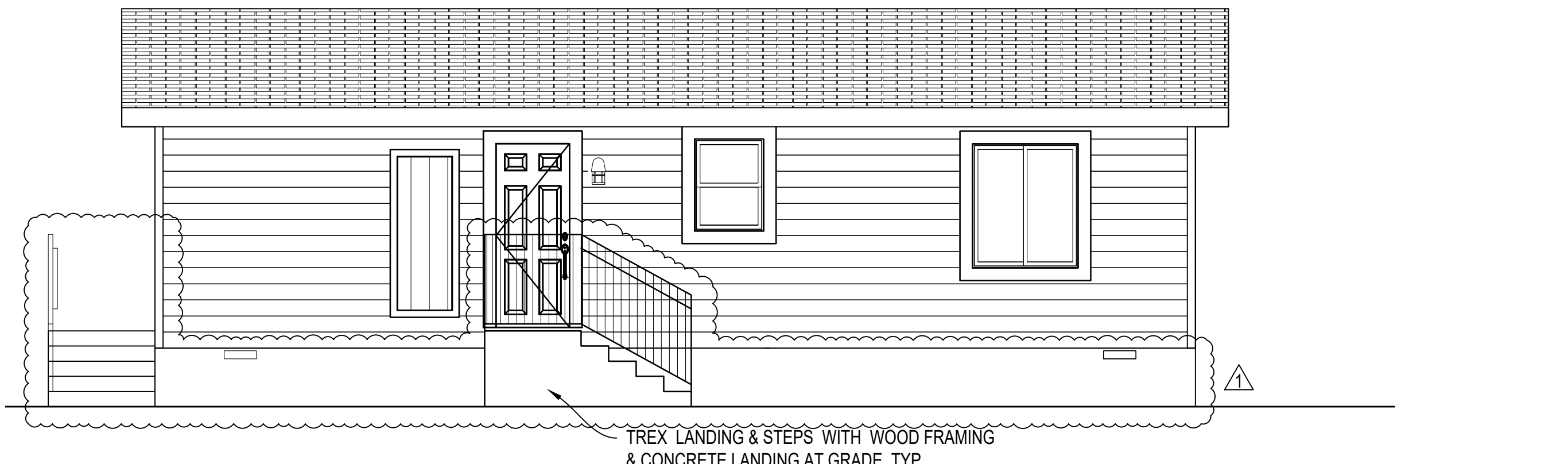
NORTH ELEVATION
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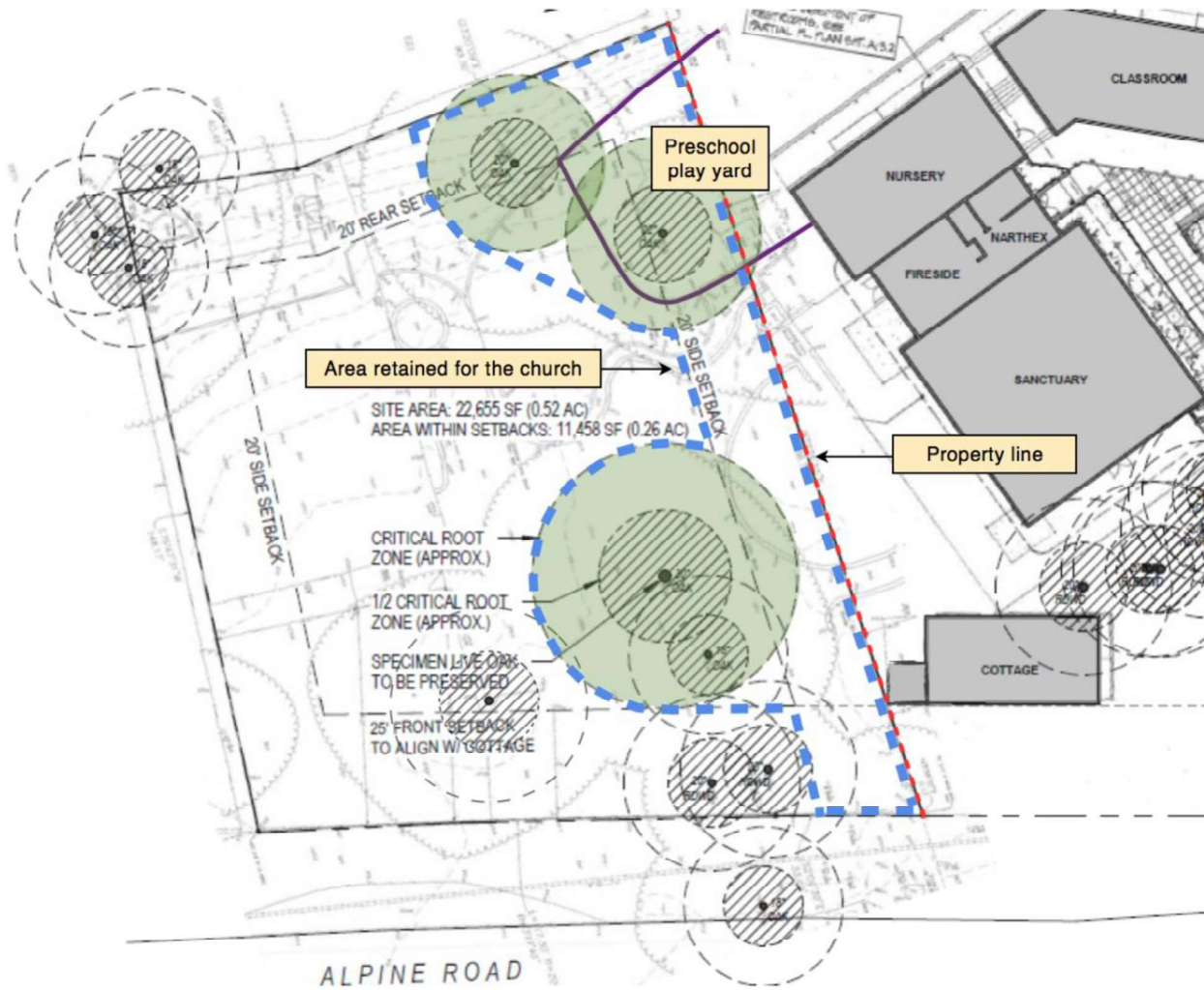
REVISION LIST	DATE
Delta 1	02/16/22

Project number 252 / 253
 Date 2/16/22

PLANS AND ELEVATIONS UNIT 2

A2.1





Area in blue retained for the church and excluded from the portion of the half-acre leased to Habitat

From: [Dale Pfau](#)
To: [Adrienne Smith](#)
Subject: Public Comment for ASCC, Planning Commission, Town Council
Date: Monday, April 8, 2024 8:35:05 AM
Attachments: [Evacuation Study Update March 2024 .pdf](#)

[You don't often get email from [REDACTED] Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

The attached report was approved by the Emergency Preparedness Committee at its April 4 meeting and is intended to provide information to the ASCC, Planning Commission and Town Council.

Please include with public comment and insure that all members have the report.

thank you,

Dale Pfau

**Portola Valley
Emergency Preparedness Committee**

To: Emergency Preparedness Committee
From: Evacuation Subcommittee
Date: April 4, 2024
Re: Updated Evacuation Studies

Summary

In 2022, Fehr & Peers produced an Evacuation Traffic Capacity Study for Portola Valley. The study provided model-based evacuation times under three different scenarios: all roads open, Portola Road blocked, and Alpine/Arastradero blocked. The base assumptions included the evacuation starting at 6 am, and approximately 2 cars per household. The study highlighted that it could take longer than **3 hours** to evacuate if roads were blocked. The study did not include any impact from additional housing required by the recently passed Housing Element.

Subsequent to the Fehr & Peers study, WFPD and members of the EPC were introduced to Ladriz, a small company that had developed a flexible cloud-based evacuation modelling platform. WFPD and Portola Valley have since purchased access to the Ladriz system. After considerable efforts, we believe the Ladriz model is now positioned to provide reasonably accurate statistical modelling of evacuation scenarios for Portola Valley and surrounding areas. We have spent the time to model the additional cars that would be anticipated from the recent Housing Element and have run simulations of the resulting evacuation times that are presented in this report. Please read the rest of this memo for a more detailed discussion.

The results (in the following table) make sense; when all roads are open, there is a slight increase in evacuation times due to the new housing. However, evacuation times increase substantially when roadways are blocked. In particular, when Alpine/Arastradero roads are blocked the average evacuation times increase by almost 30 minutes, and the maximum evacuation time increases by almost an hour to an alarming **5 hours!** This increase also makes sense, since much of the new housing is concentrated along Alpine Road. We have always advised that the maximum evacuation times are the most relevant for emergency personnel and public officials. **The Fehr & Peers report offers several suggestions to begin to mitigate evacuation times and we strongly recommend that efforts should be made to improve evacuation before new housing is completed.**

Scenario		Fehr & Peers*	Ladris - Baseline	Ladris - Add HE cars
All Roads Open	Mean	23-40 minues	41 minutes	54 minutes
	Median		42 minutes	58 minutes
	Maximum	75-90 minutes	99 minutes	106 minutes
	Std Dev		+/- 21 minutes	+/- 23 minutes
Portola Road Blocked	Mean	60-84 minutes	62 minutes	84 minutes
	Median		67 minutes	85 minutes
	Maximum	120-165 minutes	160 minutes	178 minutes
	Std Dev		+/- 36 minutes	+/- 41 minutes
Alpine/Arastradero Blocked	Mean	76-114 minutes	168 minutes	195 minutes
	Median		192 minutes	209 minutes
	Maximum	165-225 minutes	237 minutes	301 minutes
	Std Dev		+/-60 minutes	+/- 77 minutes

*F&P mean is taken 30 minutes after evac starts; F&P max is at 90% population evacuated

Fehr & Peers Wildfire Evacuation Traffic Capacity Study

The final report can be found here: [Evacuation Traffic Capacity Study 2022](#). We recommend that readers take another look at this study. It was the result of three public meetings to discuss the methodology and scenarios, followed by three presentations of the final report. During the process, members of the EPC met weekly with the consultants and provided significant amounts of local data to produce the best possible report.

As with any study, significant assumptions were made on many variables during the process. The Fehr & Peers evacuation model is a proprietary model; thus a model from another source could have different results. As with any statistical model, we should expect different results under different boundary conditions, and actual situations are difficult to anticipate.

The most important result from the study is a verification that **Portola Valley has a serious problem evacuating its residents in an emergency, particularly if one of the two major exit routes is blocked**. The model is also unable to assess any incidents (car accidents, fallen power poles, etc.) that would further disrupt evacuation traffic. Reports from the Paradise Fire and others are quite alarming regarding suddenly blocked exit routes.

The Fehr & Peers Study offered several suggestions for improving evacuation times, such as widening Alpine Road and investigating emergency road clearance crews (see Section 4.2, page 33 and section 5 page 41). All efforts should be made to move forward on these suggestions and others to improve our roadways and reduce evacuation times. It is imperative that these mitigation projects are completed before significant additional housing is built in Portola Valley.

Ladris Evacuation Simulation Tool

In late 2022, members of the EPC were introduced to Ladris ([Ladris | AI for Climate](#)) by WFPD. Over the next two years, members of the EPC and other volunteers spent many days with Ladris to address software bugs, user interface deficiencies, core data discrepancies, and a myriad of other issues. Portola Valley, WFPF, and Woodside all purchased licenses with Ladris in 2023 and continued for 2024. Members of the EPC, primarily Rob Younge, continued to spend time with Ladris and by early 2024, we were comfortable that the platform was reasonably accurate for evacuations in Portola Valley.

The first test of Ladris was to make sure that its simulation results were comparable to those of Fehr & Peers in the same scenarios (“Ladris – Baseline” column). Again, it took a fair amount of time to adjust all the various parameters to align the scenarios. Also, it should be noted that the Ladris output is not exactly in the same format as Fehr & Peers, but they are reasonably close. Next, we loaded the additional cars that could be expected from the additional housing from the recently passed Housing Element. Those results are shown in the “Ladris – add HE cars” column. The results are interesting and somewhat intuitive. Average and Max evacuation times with all roads open increase only modestly – this makes sense, as much of the new housing will be built on the Alpine Road corridor (however, please note that it will take almost an hour for someone evacuating to actually get out of town). The most significant changes are noticeable as roads are blocked. For example, the maximum evacuation time if Alpine/Arastradero are blocked balloons to 5 hours. This is clearly alarming and demonstrates the danger facing an evacuation in Portola Valley during a wildfire.

Now that we have worked with Ladris, it is possible to fairly rapidly run new scenarios with different road blockages, number of cars, alternative exit routes, etc. As we move forward, we believe this will become a useful tool for first responders and the town.

From: [Portola Valley - Planning](#)
To: [Adrienne Smith](#); [Jon Biggs](#)
Subject: Fw: ASCC meeting tonight 4/8/24- please post as public comment.
Date: Monday, April 8, 2024 1:04:50 PM
Attachments: [Outlook-PVSeal400d.png](#)

FYI

Jake Garcia

Consultant Planner



Town of Portola Valley

Tel: 628.222.5971

www.portolavalley.net

From: Kristi Corley [REDACTED] >
Sent: Monday, April 8, 2024 12:59 PM
To: Rebecca Flynn [REDACTED] >
Cc: Portola Valley - [REDACTED]
Subject: ASCC meeting tonight 4/8/24- please post as public comment.

You don't often get email from [REDACTED]. [Learn why this is important](#)

Please post this as public comment for the ASCC meeting tonight 4/8/24.

Thanks for your hard work on the objective standards subcommittee for ASCC. We appreciate your presentation on 4/3/24.

Can you send me the 4/3/24 ASCC presentation?

Can your presentation be added to the 4/8/24 ASCC agenda so the public has access to your presentation?

- 1) Are there plans to put in inclusionary requirements? There's no mention of inclusionary zoning and where would that be codified?
- 2) Does the town intend to require shared green space in the new kinds of development? Is green space anticipated in the zoning?
- 3) What are the traffic impacts under the proposed projects for new zoning? What is the development impact on traffic?
- 4) What is the requirement of WFPD in evaluating traffic impacts to our main roads? Is main road widening necessary in sections for pocket turn lanes?
- 5) How will building objective standard concessions, variances and exemptions be reported to the public?

- 6) Portola Valley had a population of 4456 in 2020. We have two streets going in and out of the town. What can we learn from other towns such as Paradise,CA (85 parished) and Lahaina, HI (101 parished) regarding zoning for public safety?
- 7) How to announce to architects who live in our town to participate in the meeting tonight?