



**TOWN OF PORTOLA VALLEY
ARCHITECTURAL AND SITE CONTROL COMMISSION (ASCC)
Monday, June 24, 2013
7:30 PM – Regular ASCC Meeting
Historic Schoolhouse
765 Portola Road, Portola Valley, CA 94028**

7:30 PM - REGULAR AGENDA*

1. Call to Order:
2. Roll Call: Breen, Clark, Hughes, Koch, Ross
3. Oral Communications:

Persons wishing to address the Commission on any subject, not on the agenda, may do so now. Please note, however, the Commission is not able to undertake extended discussion or action tonight on items not on the agenda.

4. New Business:
 - a. Architectural Review for Residential Addition and Remodeling, 45 Prado Court, Setlur
 - b. Architectural Review for Residential Addition and Remodeling, 155 Portola Road, Christie
 5. a. Commission and Staff Reports
 6. Approval of Minutes: June 10, 2013
 7. Adjournment
-

*For more information on the projects to be considered by the ASCC at the Special Field and Regular meetings, as well as the scope of reviews and actions tentatively anticipated, please contact Carol Borck in the Planning Department at Portola Valley Town Hall, 650-851-1700 ex. 211. Further, the start times for other than the first Special Field meeting are tentative and dependent on the actual time needed for the preceding Special Field meeting.

PROPERTY OWNER ATTENDANCE. The ASCC strongly encourages a property owner whose application is being heard by the ASCC to attend the ASCC meeting. Often issues arise that only property owners can responsibly address. In such cases, if the property owner is not present it may be necessary to delay action until the property owner can meet with the ASCC.

WRITTEN MATERIALS. Any writing or documents provided to a majority of the Town Council or Commissions regarding any item on this agenda will be made available for public inspection at Town Hall located 765 Portola Road, Portola Valley, CA during normal business hours.

ASSISTANCE FOR PERSONS WITH DISABILITIES

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Assistant Planner at 650-851-1700, extension 211. Notification 48 hours prior to the meeting will enable the Town to make reasonable arrangements to ensure accessibility to this meeting.

PUBLIC HEARINGS

Public Hearings provide the general public and interested parties an opportunity to provide testimony on these items. If you challenge a proposed action(s) in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing(s) described later in this agenda, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing(s).

This Notice is Posted in Compliance with the Government Code of the State of California.

Date: June 21, 2013

CheyAnne Brown
Planning Technician



MEMORANDUM

TOWN OF PORTOLA VALLEY

TO: ASCC
FROM: Tom Vlastic, Town Planner
DATE: June 24, 2013
RE: Agenda for June 24, 2013 ASCC Meeting

The following comments are offered on the items listed on the June 24, 2013 ASCC agenda. The reports for items 4a. and 4b. were prepared by Assistant Planner Carol Borck with direction by the Town Planner's office. Ms. Borck will be presenting the reports to the ASCC at the 6/24 meeting. Principal planner Karen Kristiansson (i.e., incoming Deputy Town Planner as of 7/1/13) will also provide staff support at the June 24th meeting. Town Planner Vlastic will be on vacation.

**4a. ARCHITECTURAL REVIEW FOR RESIDENTIAL ADDITIONS AND REMODELING,
45 PRADO COURT, SETLUR**

This proposal is for the approval of plans for a 174 square foot addition and remodeling to the existing 3,286 square foot, two-story residence. As existing, the house with attached garage has a floor area concentration of 95% of the floor area permitted for the site. The project would involve substantial remodeling of the residence and small additions to the main and lower levels that would effectively bring the floor area concentration of the structure to 100% of the allowed floor area.

The project is presented on the following enclosed plans, unless otherwise noted, prepared by Stoecker and Northway dated May 9, 2013:

- Sheet: A-1, Site Plan
- Sheet: A-2, First Floor Demo and Proposed Floor Plans
- Sheet: A-3, Second Floor Demo and Proposed Floor Plans
- Sheet: A-4, Existing and Proposed West Elevation
- Sheet: A-5, Existing and Proposed South Elevation
- Sheet: A-6, Existing and Proposed East Elevation
- Sheet: A-7, Existing and Proposed North Elevation
- Sheet: A-8, Building Section

In addition to the plans, the project submittal includes the information listed below:

- Letter from project architect, Jim Stoecker (attached) received 5/29/13
- Exterior Window Color Cut Sheet (to be available at ASCC meeting). Proposed window framing in "Sierra Bronze"
- Completed Build It Green Checklist with 29 points proposed (minimum 25 points required).

The following comments are offered to assist the ASCC consider and act on this request.

1. **Background and Project Description.** The subject .368 acre Brookside Park subdivision property is located at the end of the Prado Court cul de sac, adjacent to the Campo Lane terminus (see attached vicinity map) and accessed via the "fire lane" from the Prado Court bulb. A 10 foot wide "emergency escape route and pedestrian walkway" easement extends across the front of the property, measured from the front parcel line.

The parcel has a significant downward slope running from the southwest towards the northeast, and the existing home with attached garage is situated on a pad at the higher, southwestern portion of the property. The home was built in the early 1970's and has only undergone minor remodeling since. The planned addition would result in a total floor area for the main house, and only building on site, of 3,460 square feet, which is virtually 100% of the floor area limit for the site. This addition would however, be more or less within the current footprint of the house.

The existing house slightly encroaches into the southerly property line setback area, however, the overall required average 10-foot setback is maintained. The existing, raised wood deck also encroaching into this 10-foot setback is existing non-conforming and will remain in place with the project.

First floor additions totaling 157 square feet include a new bathroom located within the existing house footprint in the crawlspace adjacent to the garage and a new study situated under the second floor deck. On the second floor, a 17 square foot bump out at the existing laundry room will square off the southwest corner of the house, allowing for improved configuration for the family/laundry rooms and continuous roof ridge line. Additionally, four skylights will be installed in the composition shingle roof. Since the house is at a relatively high point relative to surrounding houses, there is limited potential for views from above down to the proposed skylights.

A portion of the existing wood lattice adjacent to the garage will be removed with the construction and remodeling of the new ground-level entry. A concrete path to the new entry will be installed along the driveway with an extension to the small existing wood retaining wall. This work will likely require the removal of an ornamental tree. The wood wall is 18 inches tall at the garage and will reduce in height to meet grade as it approaches the sloping driveway.

The first floor improvements include an entertainment room that has been designed to avoid any conflict with town second unit zoning provisions and to be consistent with town accessory space policies (accessory structures policy statement attached). Second units, whether attached or detached, are not permitted in this zoning district. The proposed entertainment room has limited food facilities

consistent with the policy statement. Further, the space is internally connected to the upper level of the house and, otherwise has been designed to be consistent with town accessory space policies.

2. **Site Development Criteria.** The property is located within the Single Family Residential (R-1), 15,000 square foot minimum zoning district and is subject to the following development criteria:

Adjusted Maximum Floor Area Permitted	3,461 sq.ft
Proposed Addition Floor Area	174 sq.ft.
Maximum Single Structure Floor Area (Maximum adjusted floor area x 85%)	2,942 sq.ft.
Proposed Main Dwelling Total Floor Area	3,460 sq.ft. (100%)
Maximum Impervious Surface Area	3,435 sq.ft.
Proposed New Impervious Surface Area	85 sq.ft.
Proposed Total Impervious Surface Area	773 sq.ft.
Setbacks:	
Front	20 feet
Side	10 feet
Rear	20 feet
Maximum Allowed Building Heights	28 and 34 feet
Proposed Height of the Addition	21 feet
Parking Required	2 covered
Proposed Parking	(e) site accommodates the required parking

Based on the above listed criteria, the project proposes one square foot less than the maximum floor area permitted for the site, and the ASCC will need to make findings to allow for 100% of the floor area to be concentrated in the main building. A summary of other development criteria are as follows:

- Total impervious surface allowed for the site is 3,435 sq.ft. and the existing 688 sq.ft. of hardscape will increase by 85 sq.ft. with the addition of the new entry path.
- The home's compliance with 10-foot side and 20-foot rear yard property line setbacks is shown on the site plan.
- The height of the existing residence above adjacent grade is 30.5 feet at the structure's northeast corner, which exceeds the maximum 28-foot height limit. The proposed addition would not affect this area. The affected roof line along the southwest corner of the home would increase 6 inches to a height of 21 feet at the addition above the adjacent grade. It is noted that the small kitchen and family room addition does not impact conformity with the town's daylight plane height limit that applies to properties in this zoning district.

3. **Evaluation of Request for Approval of Main Building Floor Area in Excess of the 85% Limit.** In order to grant the request to allow 100% of the total floor area to be in the main building, the ASCC must make the four findings required under Section 18.48.020.A-D of the Zoning Ordinance as listed:

- A. *Any one of the following:*
1. *The larger building will result in a superior design for the property in terms of grading, tree removal and use of the property than would be possible without the requested increase.*
 2. *The larger building is appropriate because steep slopes, areas of unstable geology or areas subject to flooding so limit development of the property that in order to develop a reasonable plan for the property it is necessary to concentrate more than eighty-five percent of the floor area in a single building.*
 3. *The larger building is appropriate because the reduction in permitted floor area caused by steep slopes, unstable geology and/or areas subject to flooding so reduces the floor area permitted for any single building that in order to develop a reasonable plan for the property it is necessary to concentrate more than eighty-five percent of the floor area in a single building.*
- B. *The building will not impact significant views enjoyed by neighboring properties to any greater extent than would a design for the project without the increased floor area.*
- C. *The building will not in any substantial way negatively affect neighboring properties to any greater extent than would a design for the project without the increased floor area.*
- D. *The building will be in keeping with the character and quality of the neighborhood.*

Based on the location and size of the proposed additions, it appears that findings B through D can be made and that sub-finding A.1 could be made. The ASCC needs to determine that the proposed project design is superior to one that would involve potentially removing some floor area in the house and constructing a detached building in the rear yard. As currently proposed, the project creates negligible impact on the sloping and forested property. Construction of an accessory building would likely involve significant grading and vegetation removal, as well as contribute to additional site disturbance from construction access activities.

4. **Exterior Materials and Finishes.** The existing house siding is finished in a medium gray color having a light reflectivity value (LRV) of approximately 40% and a cream trim that exceeds the 50% LRV limit. Roofing is asphalt composition shingle, and existing deck railing, lattice, and privacy screening is painted a dark brown. The project proposes to match the existing colors and materials with the exception of the aluminum windows which shall be replaced and have a bronze finish. The plans note "new painted wood door" for the new entry and laundry room; the color of this paint should be specified.
5. **Exterior Lighting and Landscaping.** No new exterior lighting or landscaping is proposed with the project. It is noted that there are several existing flood-type lights on the house/garage that will need to be removed as part of the project (although they are noted on the plans to remain). If the applicant desires to replace any of these lights with conforming fixtures, proposed fixture cut sheets with lighting plan should be provided with the building permit to the satisfaction of a designated ASCC

member. Landscaping that is disturbed with the construction of the new entry path will be repaired/restored.

6. **Construction Staging.** As part of the building permit submittal, a detailed construction staging and tree protection plan shall be submitted. Notation should be made that there shall be no parking or storage of equipment and materials within the Prado Court bulb or within the emergency escape easement.
7. **"Sustainability" aspects of project.** The project targets 29 BIG points under the Existing Homes Elements label, whereas the under the Town's mandatory green building program, the required point total is 25. For this project, compliance with the mandated point total would be verified through the "self-certification" process prior to final inspections.

Prior to acting on this request, ASCC members should visit the site and consider the above comments and any new information that is presented at the June 24th ASCC meeting.

4b. ARCHITECTURAL REVIEW FOR RESIDENTIAL ADDITIONS AND REMODELING, 155 PORTOLA ROAD, CHRISTIE

This proposal is for the approval of plans for a 402 square foot addition to and remodeling of the existing single-story residence on the subject .24-acre Brookside Park area property. The rectangular shaped parcel is located on the west side of Portola Road immediately south of the Nathhorst Avenue intersection with Portola Road and east of the Fire Station. The project includes remodeling of the rear portion of the existing residence and with floor area expansion in this rear area. The roofline would change with the addition roughly two feet and this is the primary visual change that would be visible from the Portola Road corridor.

The project is presented on the following enclosed plans, unless otherwise noted, prepared by Christopher Homeworks and dated May 5, 2013:

- Sheet: A-0.0, Title Sheet
- Sheet: A-0.1, Site Plan, dated 5/6/13
- Sheet: A0.2, Exterior Elevations, dated 6/5/13
- Sheet: A0.3, Exterior Elevations, dated 6/5/13
- Sheet: A1.0, Existing Floor Plan
- Sheet: A2.0, Existing Basement Plan
- Sheet: A3.0, Proposed Floor Plan
- Sheet: A4.0, Lighting and Electrical Plan

In addition to the plans, the project submittal includes the information listed below:

- Light fixture cut sheet for proposed wall mounted lights (attached). Fixture finish is white over aluminum.
- Color image of existing house (to be available at ASCC meeting). The photograph shows the existing light, creamy tan stucco siding with white windows and trim, and asphalt comp roofing.

- Completed Build It Green Checklist with 111 points proposed (minimum 25 points required).

The following comments are offered to assist the ASCC consider and act on this request:

- 1. Background and Project Description.** The subject .24-acre Brookside Park subdivision property is located on the west side of Portola Road as described above. It is a relatively level site with well-established landscaping around the property, including driveway, pathways, ornamental plantings, and a low fence along the Portola Road frontage. The east side of the property is common with the panhandle extension of the residentially developed parcel to the rear, and on the east side of the panhandle is the fire station. The driveway access in the panhandle is controlled by a metal gate system and between the subject house and the driveway there is a wood fence that is several feet west of the parcel line as shown on the site plan. The fence, however, does not extend north of the house as suggested on the plan.

The existing house is a traditional style with attached 2-car garage. The house has stucco siding in a very light, creamy tan color with white windows and trim and asphalt composition roofing. The proposed addition and remodeling is located at the rear half of the home, with the expansion taking place on level ground at the existing patio. The existing patio will be reduced in size and repaired with the addition, and the existing patio cover will be removed and not replaced.

The property also contains a 135-square foot portable greenhouse that is located within the rear and side yard setbacks. The Town has received no complaints concerning the location of this structure. We are not certain how long the structure has been in place, but if proposed today, it would have to meet required setbacks. Further, the area of the structure must be counted against the floor area limit and is included in the table below.

The addition with added roof height and volume would be most visible from the northeast side and from the panhandle driveway and the house served by the driveway. The roof ridge at the east side needs to be hipped slightly to accommodate for the daylight plane height limit that applies to parcels in this less than one-acre minimum area zoning district. The hip form can be seen in the front and rear elevations on plan Sheet A0.3. The daylight plane line, however, may differ slightly from the "hip" line shown in these elevations, and the final form and zoning compliance will need to be detailed to the satisfaction of planning staff with submittal of the building permit plans. While this daylight plane line must be adhered to, it will result in a somewhat unusual form for the house and likely call more visual attention to the roofline. The only way that there could be relief from the requirement would be a variance, and this is not a practical option for such a small project and given the strict burdens associated with variance findings.

- 2. Site Development Criteria.** The property is located within the Single Family Residential (R-1), 15,000 square foot minimum zoning district and is subject to the following development criteria:

Adjusted Maximum Floor Area Permitted	3,226 sq.ft
Maximum Single Structure Floor Area (Maximum adjusted floor area x 85%)	2,742 sq.ft.
Proposed Addition Floor Area	402 sq.ft.
Proposed Main Dwelling Total Floor Area	2,310 sq.ft. (72%)
Proposed Floor Area for Entire Site	2,445 sq.ft.
Maximum Impervious Surface Area	2,796 sq.ft.
Proposed New Impervious Surface Area	0
Proposed Total Impervious Surface Area	Existing not provided
Setbacks:	
Front	35 feet (scenic corridor)
Side	10 feet
Rear	20 feet
Maximum Allowed Building Heights	28 and 34 feet
Proposed Height of the Addition	18 feet
Parking Required	2 covered
Proposed Parking	(e) site accommodates the required parking

Based on the above listed criteria, the proposed project meets the maximum floor area requirements. The planned addition would result in a total floor area for the main house, and only permanent building on site, of 2,310 square feet, which is 72% of the floor area limit for the site. While no new impervious surface is proposed and some will be removed with the addition, the existing and proposed amounts of impervious surface should be provided with the building permit for the record.

The existing house meets all required setbacks with the exception of the 10' setback along the westerly property line as seen on the site plan, Sheet A0.1. The proposed addition will comply with the required 10' side and 20' rear yard setbacks. It should be noted that the distance between the easterly side of the house and the property line is approximately 11 feet 2 inches, and this has been noted on sheet A0.1.

The maximum height of the existing residence is approximately 16' 2", and with the planned addition and necessary remodeling, the proposed new ridgeline will increase to 18'. The proposal conforms with the daylight plane height restrictions by "hipping" the roof at its easterly end.

The subject site is partially within the Portola Road scenic corridor, and is also subject to the special setback lines for Portola Road as accounted for in the above table. The proposed addition is relatively minor in terms of view changes from Portola Road. Further, the parcel to the rear of the property currently contains a two-story residence with few windows facing the site, and a number of existing trees provide screening between the two properties. Additionally, the house on the parcel to the west of the subject property is well separated from the project and primary windows are not directed towards the site.

Overall, the project would have minimal potential for site and area impacts.

3. **Exterior Materials and Finishes.** The existing house is finished in a creamy tan stucco with white trim, white windows, and an asphalt composition shingle roof. The applicant is proposing to have the addition match the existing color palette. The ASCC will need to determine if the scope of changes, including the added height, would result in the need to require conformity to the town's current policy limits for color light reflectivity. Given the limited changes associated with the existing white windows, requiring the window trim color to conform to current town policies would appear to be an extraordinary burden for the project even though it is on the Portola Road Corridor.

The reconstructed roof has two proposed skylights located over the laundry and family rooms that should not create any significant impacts. We have, however, not received any specific input from the rear side neighbor on this matter.

4. **Exterior Lighting and Landscaping.** Two new light fixtures, located at the new laundry and family rooms, are shown on Sheet A0.3 and the cut sheet is attached. The proposed sconce is finished in white over aluminum to match the existing trim. All existing floodlights on the home shall be removed as part of this project.

No new landscaping or fencing is proposed with the project. The property currently has domestic fencing partially along the side and rear property lines and no modifications are proposed. Construction access is proposed to be along the westerly side of the garage and existing gates will be removed as needed. The gates and landscaping in this area will be replaced prior to final inspections.

5. **"Sustainability" aspects of project.** The project targets 111 BIG points under the Existing Homes Elements label, whereas under the Town's mandatory green building program, the required point total is 25. For this project, compliance with the mandated point total would be verified through the "self-certification" process prior to final inspections.

Prior to acting on this request, ASCC members should visit the site and consider the above comments and any new information that is presented at the June 24th ASCC meeting.

5a. COMMISSION AND STAFF REPORTS

Staff will report on the June 19, 2013 planning commission study session on the Portola Road Corridor plan. Also, as a reminder, the regular July 8, 2013 ASCC meeting has been cancelled and the next regular meeting will be on July 22, 2013.

TCV 

encl.
attach.

cc. Planning Commission Liaison	Applicants
Town Council Liaison	Assistant Planner
Town Manager	Principal Planner
Mayor	

ARCHITECTURAL REVIEW, ADDITIONS/REMODELING
45 PRADO COURT, SETLUR



Vicinity Map
 Scale: 1" = 200 feet

Addition/Remodel, Setlur
 45 Prado Court
 June 2013

STOECKER AND NORTHWAY ARCHITECTS INCORPORATED

1000 ELWELL COURT SUITE 150 PALO ALTO CA 94303 650 965-3500 / FAX 650 965-1095

PROJECT NARRATIVE FOR A REMODEL AND ADDITION TO 45 PRADO COURT

MAY 29 2013

Project Summary:

Stoecker and Northway Architects, Inc. have submitted an ASCC Application and Plans for a remodel and small addition to the existing house at 45 Prado Court, Portola Valley. The project consists of a remodel to the majority of the existing two story house plus 174 s.f. of new additional floor area, of which 157 s.f. will be added to the first floor and 17 s.f. added to the second floor.

The house is located on a sloping site with the second floor acting as the main living level which is more or less at grade at the southern portion of the house. The existing grade in the crawlspace under the raised second floor slopes from higher to lower elevation from south to north creating a high crawlspace under the second floor in the middle of the structure.

The existing first floor consists of a small existing entertainment room and adjacent garage located under the north portion house and accessed by an interior staircase. Since the first floor garage and recreation room only occurs under half the house footprint, and since the crawlspace grade slopes steeply away to the north under the raised floor portion of the second floor, the crawlspace height in the middle portion of the house is fairly tall.

There is no landscaping or site work proposed other than a small entry path to a new exterior door to the remodeled first floor.

Max Floor Area and Existing Floor Area:

The zoning for this property is designated as R-1/15m with an Adjusted Max Floor Area (AMFA) of 3,461 sf and an 85% AMFA for the primary residence of 3,089 sf.

The existing floor area is 3,286 sf with 2,196 of that floor area on the second floor main level and 1,090 allocated to the first floor lower level (which includes a large garage).

Proposed Floor Area:

Second Floor Addition: We are proposing to add 17 s.f. to the second floor in order to square off a small section of the southwest corner of the house, allowing both a more comfortable remodeled family room/laundry area with a vaulted ceiling and a more appealing exterior roof line.

First Floor Addition: We are proposing to add 157 s.f. to the first floor space. Of the 157 s.f., 62 s.f. is dedicated to a new bathroom located within the existing footprint of the second floor in the deep crawlspace adjacent to the (e) garage. Another 95 sf of addition for a new study occurs under the existing second floor deck at the east elevation of the house. This addition extends 7'-4" from the existing entertainment wall into the unused open space below the existing deck. A new low slope built up roof under the existing second floor deck will cover the new study addition.

MAXIMUM ADJUSTED FLOOR AREA:

Based on section 18.48.020 of the Zoning Ordinance, we feel we comply with the exception to increase the 85% figure stipulated for the primary residence to 100% of the AMFA for the following reasons:

Section 18.48.020

A.1. The larger building will result in a superior design for the property in terms of grading, tree removal and use of the property than would be possible without the requested increase.

YES. Rather than bring the existing structure into conformance with the 85% stipulation by reducing the existing primary residence s.f. and allocating the remainder to a detached accessory structure(s) in the surrounding oak forest landscape, the proposed design creates no impact to the existing landscaping and trees and grading is minimized. In addition, the areas we are proposing allocating the remaining 174 s.f. are more or less within the existing footprint of the house and buried under existing decks which further reduces the potential for adverse landscape and off site impacts that may be found with detached accessory structure designs.

2. The building will not impact significant views enjoyed by the neighboring properties to any greater extent than would a design for the project without the increased floor area.

YES. The design reduces off site impacts, reduces potential tree impacts and grading that may occur with a detached accessory structure option, and limits the massing of the project to within the existing footprint of the structures roof and raised exterior deck.

3. The building will not in any substantial way negatively affect neighboring properties to any greater extent than would a design for the project without the increased floor area.

YES. Same as #2 above.

4. The building will be in keeping with the character and quality of the neighborhood.

YES. We are matching exterior finishes and replacing all windows with a matt finish bronze colored exterior frame. The house will feel and look as it does now.

GreenPoint Rated Existing Home Checklist



Build It Green
Smart Solutions From The Ground Up

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

This checklist is used to track projects seeking a Whole House or Elements Label using the GreenPoint Rated Existing Home Rating System. The minimum requirements for each label are listed in the project summary at the end of this checklist. Selected measures can be awarded points allocated by the percentage of presence of the measure in the home. The measure or practice must be found in at least 10% of the home to earn points.

Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the yellow "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated Existing Home Rating Manual, available at www.builditgreen.org/greenpointrated

Enter Label: **Elements**

Points Achieved: **29**

MAY 23 2013				
0	7	8	5	2
			3	2
			6	4
				8

GreenPoint Rated Existing Home Checklist version 2.1

45 Prado Court, Portola Valley - Setlur Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
AA: COMMUNITY			Possible Points				
No	1. Home is Located within 1/2 Mile of a Major Transit Stop	2					
	2. Compact Development & House Size						
	a. Density of 10 Units per Acre or Greater (Enter units/acre)	2			2		
No	b. Home Size Efficiency (5 points is average, points awarded based on home size)				1-9		
	3. Pedestrian and Bicycle Access/ Alternative Transportation						
	a. Site has Pedestrian Access Within 1/2 Mile of neighborhood services:						
	TIER 1: 1) Day Care 2) Community Center 3) Public Park						
	4) Drug Store 5) Restaurant 6) School						
	7) Library 8) Farmer's Market 9) After School Programs						
	10) Convenience Store Where Meat & Produce are Sold						
	TIER 2: 1) Bank 2) Place of Worship 3) Laundry/Cleaners						
	4) Hardware 5) Theater/Entertainment 6) Fitness/Gym						
	7) Post Office 8) Senior Care Facility 9) Medical/Dental						
	10) Hair Care 11) Commercial Office of Major Employer 12) Full Supermarket						
Yes	5 Services Listed Above (Tier 2 Services count as 1/2 Service Value)	1	1				
No	10 Services Listed Above (Tier 2 Services count as 1/2 Service Value)		1				
Yes	b. Access to A Dedicated Pedestrian Pathway to Places of Recreational Interest within 1/2 Mile	1	1				
No	c. At Least Two of the Following Traffic-Calming Strategies Installed within 1/4 mile:		1				
	Designated Bicycle Lanes are Present on Roadways;						
	Ten-Foot Vehicle Travel Lanes;						
	Street Crossings Closest to Site are Located Less Than 300 Feet Apart;						
	Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands						
	4. Safety & Social Gathering						
Yes	a. Front Entrance Has Views from the Inside to Outside Callers	1	1				
Yes	b. Front Entrance Can be Seen from the Street and/or from Other Front Doors	1	1				
Yes	c. Porch (min. 100sf) Oriented to Streets and Public Spaces	1	1				
	5. Diverse Households						
No	a. Home Has at Least One Zero-Step Entrance (prerequisite for 5b. And 5c.)		1				
No	b. All Main Floor Interior Doors & Passageways Have a Min. 32-Inch Clear Passage Space		1				
No	c. Home includes at Least a Half-Bath on the Ground Floor with Blocking for Grab Bars		1				
No	d. Lot Includes Full-Function Independent Rental Unit		1				
Total Points Available in Community = 26		5					
A: SITE			Possible Points				
Yes	1. Protect Existing Topsoil from Erosion and Reuse after Construction	2	1				1
	2. Divert Construction and Demolition Waste						
Yes	a. Divert All Cardboard, Concrete, Asphalt and Metals (Required for both Whole House and Elements, if Applicable)	Y				R	
Yes	b. Divert 25% C&D Waste Excluding All Cardboard, Concrete, Asphalt and Metals	2				2	
TBD	3. Construction IAQ Management Plan				2		

45 Prado Court, Portola Valley - Setlur Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
Total Points Available in Site = 6		4					
B. FOUNDATION			Possible Points				
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag						1	
No	a. Minimum 20% Flyash and/or Slag Content					1	
No	b. Minimum 30% Flyash and/or Slag Content					1	
No	2. Moisture Source Verification and Correction (Required for Whole House)	N			R	R	
3. Retrofit Crawl Space to Control Moisture					2		
No	a. Control Ground Moisture with Vapor Barrier					2	
No	b. Foundation Drainage System					1	
No	4. Pest Inspection and Correction						
5. Design and Build Structural Pest Controls						1	
No	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers					1	
No	b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation					1	
No	6. Radon Testing and Correction or Radon Resistant Construction				1		
Total Points Available in Foundation = 10							
C. LANDSCAPE			Possible Points				
Yes	Is the landscape area <15% of the total site area? (only 3 points available in this section for projects with <15% landscape area)						
1. Resource-Efficient Landscapes							1
No	a. No Invasive Species Listed by Cal-IPC Are Planted						1
No	b. No Plant Species Require Shearing				1		
No	c. 50% of Plants Are California Natives or Mediterranean Climate Species						3
No	2. Fire-Safe Landscaping Techniques		1				
3. Minimal Turf Areas							2
No	a. Turf Not Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide						2
No	b. Turf is <25% of Landscaped Area						2
No	c. Turf is <10% of Landscaped Area or eliminated						2
No	4. Shade Trees Planted		1	1			1
No	5. Plants Grouped by Water Needs (Hydrozoning)						2
6. High-Efficiency Irrigation Systems Installed							2
No	a. System Uses Only Low-Flow Drip, Bubblers, or Low-flow Sprinklers						3
No	b. System Has Smart Controllers						1
No	7. Compost and Recycle Garden Trimmings on Site						2
No	8. Mulch in All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement						1
No	9. Use Environmentally Preferable Materials for Non-Plant Landscape Elements and Fencing					1	
No	10. Light Pollution Reduced by Shielding Fixtures and Directing Light Downward		1				
11. Rain Water Harvesting System (1 point for ≤ 350 gallons, 2 points for > 350 gallons)							1
No	a. Cistern(s) is Less Than 750 Gallons						1
No	b. Cistern(s) is 750 to 2,500 Gallons						1
No	c. Cistern(s) is Greater Than 2,500 Gallons						1
No	12. Soil Amended with Compost					1	1
Total Points Available in Landscape = 32							

45 Prado Court, Portola Valley - Setlur Residence

45 Prado Court, Portola Valley - Setlur Residence		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
D. STRUCTURAL FRAME & BUILDING ENVELOPE			Possible Points				
1. Optimal Value Engineering							
50%	a. Place Rafters & Studs at 24-Inch On Center Framing	0.5				1	
TBD	b. Size Door & Window Headers for Load					1	
TBD	c. Use Only Jack & Cripple Studs Required for Load					1	
2. Use Engineered Lumber							
TBD	a. Engineered Beams & Headers					1	
TBD	b. Insulated Headers			1			
TBD	c. Engineered Lumber for Floors					1	
TBD	d. Engineered Lumber for Roof Rafters					1	
TBD	e. Engineered or Finger-Jointed Studs for Vertical Applications					1	
TBD	f. Oriented Strand Board for Subfloor					1	
TBD	g. Oriented Strand Board Wall and Roof Sheathing					1	
3. FSC Certified Wood							
TBD	a. Dimensional Lumber, Studs, and Timber					4	
TBD	b. Panel Products					2	
4. Solid Wall Systems (includes SIPs, ICFs, & Any Non-Stick Frame Assembly)							
TBD	a. Floors			2		2	
TBD	b. Walls			2		2	
TBD	c. Roofs			2		2	
5. Reduce Pollution Entering the Home from the Garage							
TBD	a. Tightly Seal the Air Barrier between Garage and Living Area				1		
TBD	b. Install Garage Exhaust Fan OR Have a Detached Garage				1		
TBD	6. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)			1			
7. Overhangs and Gutters							
≥90%	a. Minimum 16-Inch Overhangs and Gutters	1				1	
TBD	b. Minimum 24-Inch Overhangs and Gutters			1			
8. Retrofit/ Upgrade Structure for Lateral Load Reinforcement for Wind or Seismic							
No	a. Partial Lateral Load Reinforcement Upgrades/ Retrofits					1	
No	b. Lateral Load Reinforcement Upgrades/ Retrofits for Entire home					2	
TBD	9. Sound Exterior Assemblies (Required for Whole House)	N				R	
Total Points Available in Structural Frame & Building Envelope = 36		1.5					
E. EXTERIOR FINISH			Possible Points				
No	1. Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking					2	
No	2. Rain Screen Wall System Installed					2	
TBD	3. Durable & Noncombustible Cladding Materials					1	
≥90%	4. Durable & Fire-Resistant Roofing Materials or Assembly	2				2	
Total Points Available in Exterior Finish = 7		2					
F. INSULATION			Possible Points				
1. Install Insulation with 30% Post-Consumer Recycled Content							
TBD	a. Walls and Floors					1	
TBD	b. Ceilings					1	
2. Install Insulation that is Low-Emitting (Certified CA Residential Section 01350)							
TBD	a. Walls and Floors			1			
TBD	b. Ceilings			1			
≥90%	3. Inspect Quality of Insulation Installation before Applying Drywall	1		1			
Total Points Available in Insulation = 5		1					

45 Prado Court, Portola Valley - Setlur Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
G. PLUMBING		Possible Points					
1. Distribute Domestic Hot Water Efficiently							
≥50%	a. Insulate All Accessible Hot Water Pipes (prerequisite for 1b. and 1c.)	2		1			1
No	b. Locate Water Heater Within 12' Of All Water Fixtures, as measured in plan			1			1
No	c. Install On-Demand Circulation Control Pump			1			1
≥90%	2. High-Efficiency Toilets (Dual-Flush or ≤ 1.28 gpf)	2					2
3. Water Efficient Fixtures							
Yes	a. All Fixtures Meet Federal Energy Policy Act (Toilets: 1.6 gpf, Sinks: 2.2 gpm, Showers: 2.5 gpm) (Required For Whole House)	Y					R
≥90%	b. High-Efficiency Showerheads Use ≤ 2.0 gpm at 80 psi	3					3
≥90%	c. Bathroom Faucets Use ≤ 1.5 gpm	2		1			1
Yes	4. Plumbing Survey (No Plumbing Leaks) (Required for Whole House and Elements)	Y					R
Total Points Available in Plumbing = 13		9					
H. HEATING, VENTILATION & AIR CONDITIONING		Possible Points					
1. General HVAC Equipment Verification and Correction							
Yes	a. Visual Survey of Installation of HVAC Equipment (Required for Whole House and Elements)	Y		R			
No	b. Conduct Diagnostic Testing to Evaluate System			2			
Yes	c. Conduct Flow Hood Test and Assess Delivery of Air	1		1			
No	d. Air Conditioning Compressor Operates Properly and Refrigerant Charge is Optimal			1			
No	2. Design and Install HVAC System to ACCA Manuals J, D and S			4			
3. Sealed Combustion Units							
No	a. Furnaces				2		
No	b. Water heaters				2		
No	4. Zoned, Hydronic Radiant Heating			1	1		
No	5. High Efficiency Air Conditioning Air conditioning with Environmentally Responsible Refrigerants		1				
6. Effective Ductwork Installation							
No	a. New Ductwork and HVAC unit Installed Within Conditioned Space			1			
No	b. Duct Mastic Used on All Ducts, Joints and Seams			1			
No	c. Ductwork System is Pressure Relieved			1			
No	7. High Efficiency HVAC Filter (MERV 6+)				1		
No	8. No Fireplace OR Sealed Gas Fireplaces with Efficiency Rating ≥60% using CSA Standards				1		
9. Effective Exhaust Systems Installed in Bathrooms and Kitchens							
≥90%	a. ENERGY STAR Bathroom Fans Vented to the Outside	1			1		
No	b. All Bathroom Fans are on Timer or Humidistat				1		
Yes	c. Kitchen Range Hood Vented to the Outside	1			1		
10. Mechanical Ventilation System for Cooling Installed							
No	a. ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms			1			
Yes	b. Whole House Fan	1		1			
11. Mechanical Ventilation for Fresh Air Installed							
No	a. Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6)				1		
No	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)				1		
No	c. Outdoor Air Ducted to Bedroom and Living Areas of Home			1	1		
12. Carbon Monoxide							
No	a. Carbon Monoxide Testing and Correction (Required for Whole House)	N			R		
Yes	b. Carbon Monoxide Alarm(s) Installed	1			1		
No	13. Combustion Safety Backdraft Test (Required for Whole House and Elements)	N			R		
Total Points Available in Heating, Ventilation and Air Conditioning = 30		5					
I. RENEWABLE ENERGY		Possible Points					
1. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)							
Enter % total energy consumption offset, 1 point per 4% offset				25			
Total Points Available in Renewable Energy = 25							

45 Prado Court, Portola Valley - Setlur Residence		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
J. BUILDING PERFORMANCE		Possible Points					
Yes	1. Energy Survey and Education (Required for Elements or Meet J3)	Y		R			
	2. Energy Upgrades (Available for Elements Rating Only, Mutually Exclusive with J3. 2 point minimum and 6 point maximum credit required)						
	TIER 1: Practices in Tier 1 Are Worth Full Value (1 point)						
TBD	a) Attic Insulation up to or Exceeding Current Code			1			
TBD	b) Crawl Space Insulation up to or Exceeding Current Code			1			
TBD	c) Wall Insulation up to or Exceeding Current Code			1			
TBD	d) High Efficiency Furnace (90% AFUE Minimum)			1			
TBD	e) Seal Ducts and Duct Leakage is <15%			1			
TBD	f) 14 SEER, 11.5 EER Air Conditioning Unit (in climate zones 2,4,8-15)			1			
TBD	g) House Passes Blower Door Test With ≤0.5 ACH or a 50% Improvement			1			
	TIER 2: Practices in Tier 2 Are Worth Half Value (0.5 points)						
TBD	h) High Efficiency Water Heater ≥.62EF			0.5			
TBD	i) Radiant Barrier in Attic			0.5			
TBD	j) Windows Upgraded to Current Code Requirements, Which are Typically Dual Pane			0.5			
TBD	k) Duct insulation to Code			0.5			
TBD	l) Programmable Thermostat			0.5			
TBD	m) 14 SEER, 11.5 EER Air Conditioning unit (in climate zones 1,3,5,6,7,16)			0.5			
	3. Meet Energy Budget for Home Based on Year (Based GreenPoint Rated Index, Includes Blower Door Test) (Required for Whole House, Available for Elements)			10+			
TBD	4. Design and Build Zero Energy Homes			5			
TBD	5. Comprehensive Utility Bill Analysis			1			
Total Points Available in Building Performance = 16+							
K. FINISHES		Possible Points					
No	1. Entryways Designed to Reduce Tracked in Contaminants				1		
	2. Low/No-VOC Paint						
No	a. Low-VOC Interior Wall/Ceiling Paints (<50 gpl VOCs regardless of sheen)				1		
No	b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs (flat))				2		
No	3. Coatings Meet SCAQMD Rule 1113 for Low VOCs				2		
No	4. Low-VOC Caulks & Construction Adhesives (Meet SCAQMD Rule 1168)				2		
No	5. Recycled-Content Paint					1	
	6. Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood B) Reclaimed Materials C) Rapidly Renewable D) Recycled-Content E) Finger-Jointed or F) Local						
No	a. Cabinets					1	
No	b. Interior Trim					1	
No	c. Shelving					1	
No	d. Doors					1	
No	e. Countertops					1	
No	7. For Newly Installed Products, Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (Required for Whole Building & Elements) (EPA IAP)	N			R		
	8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates						
No	a. Doors				1		
No	b. Cabinets and Countertops				2		
No	c. Interior Trim and Shelving				1		
No	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb				3		
Total Points Available in Finishes = 21							
L. FLOORING		Possible Points					
No	1. Environmentally Preferable Flooring: A) FSC-Certified Wood B) Reclaimed or Refinished C) Rapidly Renewable D) Recycled-Content, E) Exposed Concrete F) Local Flooring Adhesives Must Have <70 gpl VOCs and sealer must meet SCAQMD Rule 1113.					4	
No	2. Thermal Mass Floors			1			
No	3. Flooring Meets CA Section 01350 or CRI Green Label Plus Requirements				2		
Total Points Available in Flooring = 7							

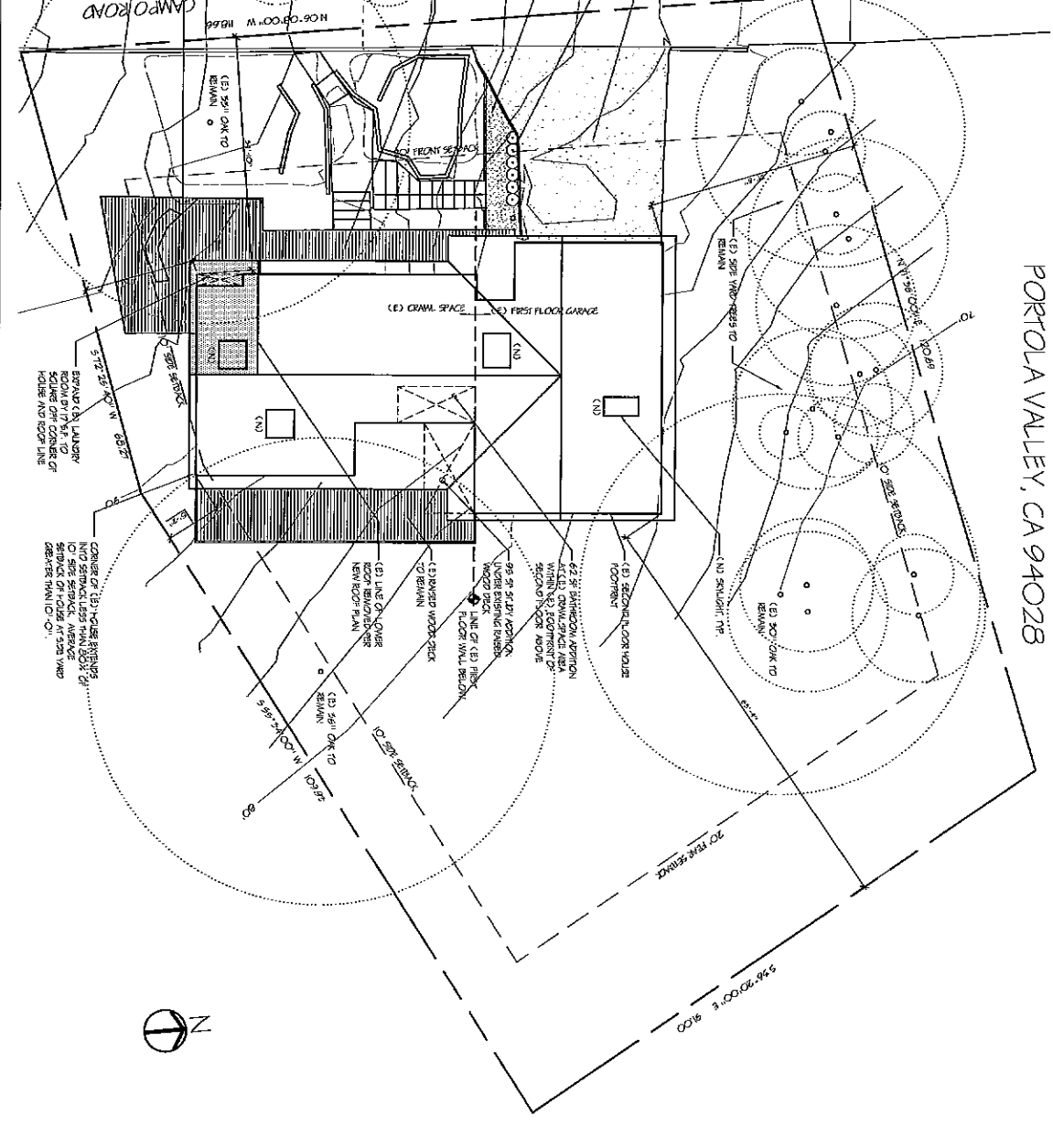
45 Prado Court, Portola Valley - Setlur Residence		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
M: APPLIANCES AND LIGHTING			Possible Points				
No	1. ENERGY STAR Dishwasher (Must Meet Current Specifications) (Mutually Exclusive with J3)			1			1
	2. ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less						
No	a. Meets CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0)			1			2
No	b. Meets CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5)						2
	3. ENERGY STAR Refrigerator Installed						
No	a. ENERGY STAR Qualified & < 25 cu.ft.Capacity (Mutually Exclusive with J3)			1			
No	b. ENERGY STAR Qualified & < 20 cu.ft Capacity (Mutually Exclusive with J3)			1			
	4. Built-In Recycling & Composting Center						
No	a. Built-In Recycling Center					2	
No	b. Built-In Composting Center					1	
No	5. Electrical Survey (Required for Whole House)	N				R	
No	6. Verification of Entire Electrical System					2	
25%	7. Energy Efficient Lighting	0.25		1			
No	8.Low- Mercury Lamps (Linear and Compact Fluorescent)					1	
No	9. Lighting Controls Installed			1			
Total Points Available in Appliances and Lighting = 13+		0.25					
N: OTHER			Possible Points				
Yes	1. Incorporate GreenPoint Checklist in Blueprints Or Distribute Checklist (Required for Whole House and Elements)	Y		R			
No	2. Develop Homeowner Manual of Green Features/Benefits			1			1
	3. Hazardous Waste Testing						
No	a. Lead Testing Interior, Exterior and Soil				1		
No	b. Asbestos Testing and Remediation				1		
No	4. Gas Shut Off Valve (motion/ non-motion)				1	1	
Total Points Available in Other = 6							
P: INNOVATIONS			Possible Points				
AA. Community: No Innovation Measures At This Time							
A. Site							
No	1. Cool Site		1				
B. Foundation: No Innovation Measures At This Time							
C. Landscaping							
No	1. Irrigation System Uses Recycled Wastewater						1
D. Structural Frame and Building Envelope							
	1. Design, Build and Maintain Structural Pest and Rot Controls						
No	a. Locate All Wood (Siding, Trim, Structure) At Least 12 Inches Above Soil					1	
No	b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood				1		
No	2. Use Moisture Resistant Materials and Practices in Wet Areas of Kitchen, Bathrooms, Utility Rooms, and Basements				1		
	3. Use FSC-Certified Engineered Lumber						
TBD	a. Engineered Beams and Headers					1	
No	b. Insulated Engineered Headers					1	
TBD	c. Wood I-Joists or Web Trusses for Floors					1	
TBD	d. Wood I-Joists for Roof Rafters					1	
TBD	e. Engineered or Finger-Jointed Studs for Vertical Applications					1	
No	f. Roof Trusses					1	
E. Exterior Finish							
No	1. Green Roofs (25% or Roof Area Minimum)		2	2			

45 Prado Court, Portola Valley - Setlur Residence

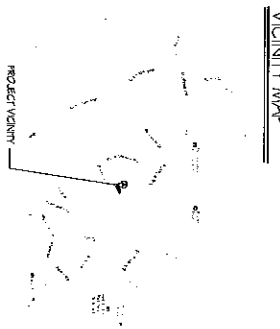
		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
F. Insulation: No Innovation Measures At This Time							
G. Plumbing							
No	1. Graywater Pre-Plumbing (Includes Clothes Washer at Minimum)						1
No	2. Graywater System Operational (Includes Clothes Washer at Minimum)						2
No	3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)						1
No	4. Composting or Waterless Toilet						1
No	5. Install Drain Water Heat-Recovery System			1			
H. Heating, Ventilation and Air Conditioning (HVAC)							
No	1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7)				1		
I. Renewable Energy: No Innovation Measures At This Time							
J. Building Performance							
No	1. Test Total Supply Air Flow Rates			1			
No	2. Energy Budget Analysis (J3) Completed By CEPE			1			
K. Finishes: No Innovation Measures At This Time.							
L. Flooring: No Innovation Measures At This Time.							
M. Appliances: No Innovation Measures At This Time.							
N. Other							
Yes	1. Homebuilder's Management Staff Are Certified Green Building Professionals	1	1				
TBD	2. Comprehensive Owner's Manual and Homeowner Education Walkthroughs		1				
3. Additional Innovations: List innovative measures that meet green building objectives. Points will be assessed by Build It Green and the GreenPoint Rater.							
No	a. Describe Innovation Here and Enter Possible Points in Columns L-P						
No	b. Describe Innovation Here and Enter Possible Points in Columns L-P						
No	c. Describe Innovation Here and Enter Possible Points in Columns L-P						
No	d. Describe Innovation Here and Enter Possible Points in Columns L-P						
No	e. Describe Innovation Here and Enter Possible Points in Columns L-P						
No	f. Describe Innovation Here and Enter Possible Points in Columns L-P						
No	g. Describe Innovation Here and Enter Possible Points in Columns L-P						
No	h. Describe Innovation Here and Enter Possible Points in Columns L-P						
Total Points Available in Innovation = 26+		1					
Summary							
Total Available Points		224+	25	83	46	76	47
Minimum Points Required (Whole House)		50		20	5	6	8
Minimum Points Required (Elements)		25		8	2	2	4
Total Points Achieved		29	7.0	5.3	3.0	5.5	8.0

AN ADDITION & REMODEL TO
AN EXISTING RESIDENCE AT
45 PRADO COURT,
PORTOLA VALLEY, CA 94028

PROPOSED SITE PLAN



VICINITY MAP



PROJECT DATA

PROJECT ADDRESS: 45 PRADO COURT
APN: 079-140-5900
ZONE: R1/1.5M
ZONING REGULATIONS: 1991
CONSTRUCTION TYPE: 1B
SHEET: 1/10
PROJECT: 2013-001 (1/6/2013)
ALIGNED: 2013-001 (1/6/2013)

FLOOR AREA CALCULATIONS

ADJUSTED MINIMUM FLOOR AREA: 2,942 SF
65% OF AREA: 1,912 SF

EXISTING FIRST FLOOR AREA: 1,090 SF
EXISTING SECOND FLOOR AREA: 1,217 SF

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EXISTING SECOND FLOOR AREA: 1,217 SF

DATE: 5/9/2013

SCALE: 1/8" = 1'-0"

PROJECT: 2013-001

SHEET: 1/10

DATE: 5/9/2013

PROJECT: 2013-001

SHEET: 1/10

DATE: 5/9/2013

PROJECT: 2013-001

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DATE: 5/9/2013

SCALE: 1/8" = 1'-0"

PROJECT: 2013-001

SHEET: 1/10

DATE: 5/9/2013

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PROJECT: 2013-001

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PROJECT: 2013-001

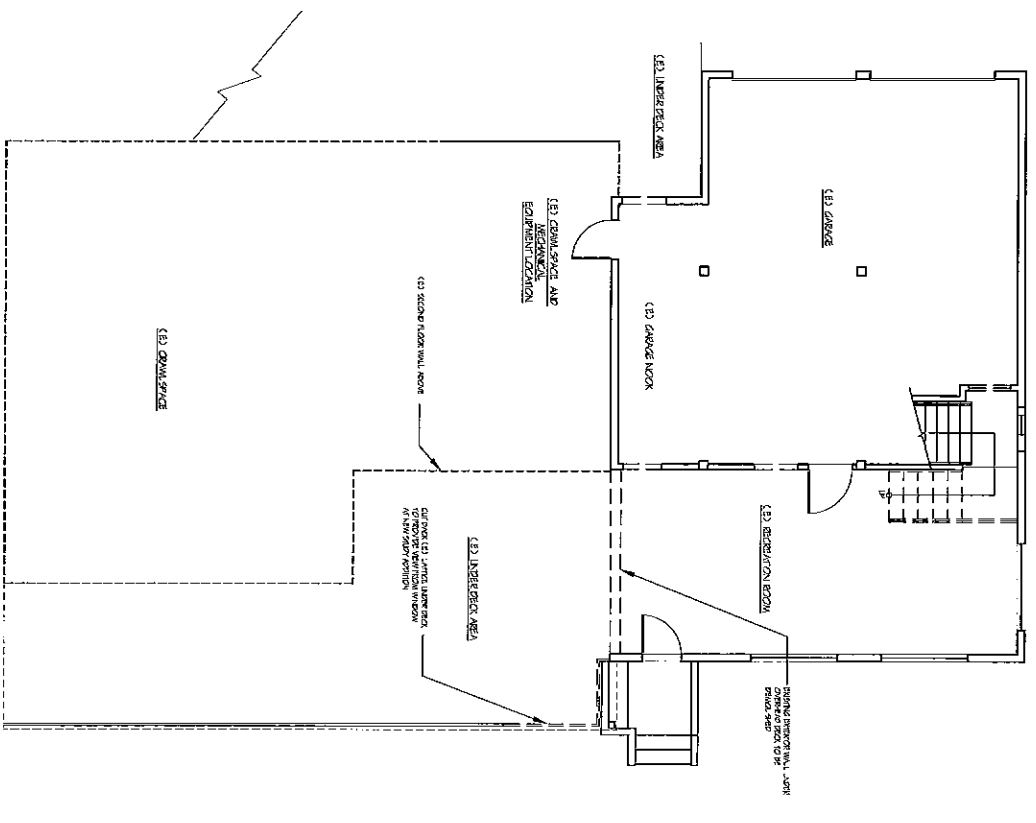
STOECKER AND NORTHWAY
ARCHITECTS INCORPORATED
1000 ELWELL CT., STE. 160A, PALO ALTO, CA 94303 650-866-3500

SEILUR RESIDENCE
45 PRADO COURT
PORTOLA VALLEY, CA 94028

MAY 29 2013

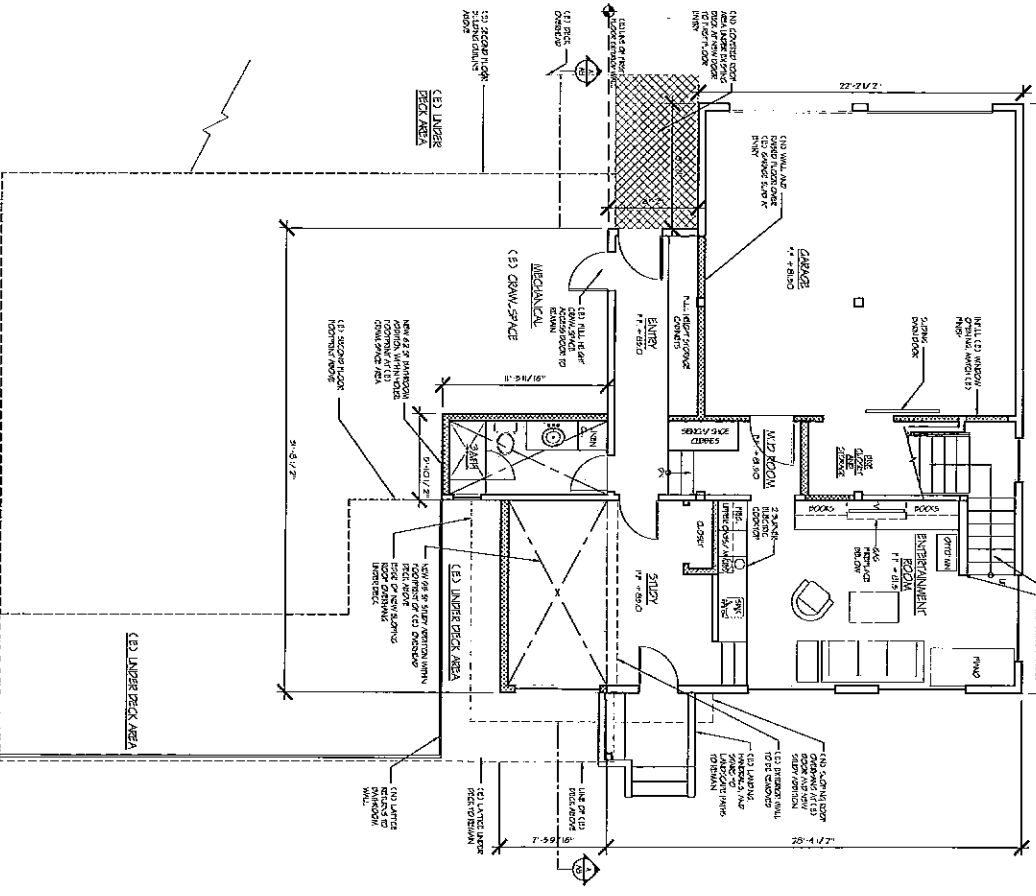
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FIRST FLOOR DEMOLITION PLAN



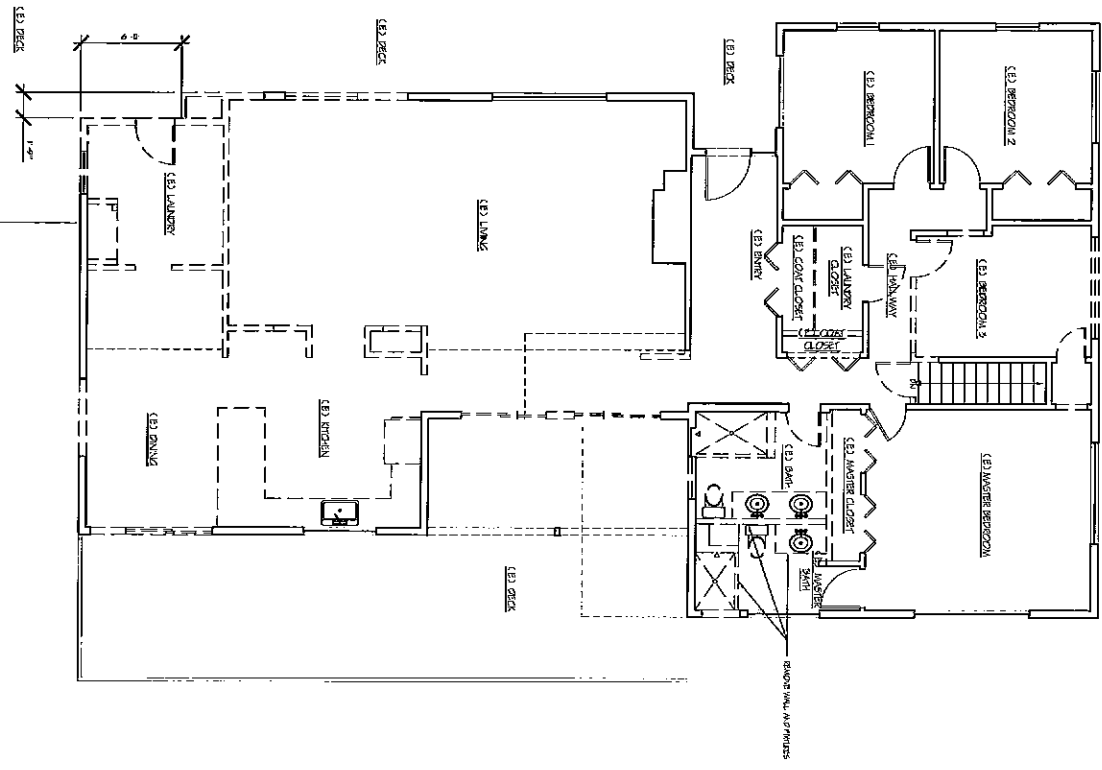
- DEMOLITION LEGEND**
- ==== (E3) WALL/ PART TO BE REMOVED
 - ==== (E3) WALL/ PART TO BE REMOVED
 - ==== (E3) WINDOW, EXT. DOOR TO BE REMOVED

PROPOSED FIRST FLOOR PLAN



- WALL LEGEND**
- ==== (N) 2 1/2\"/>

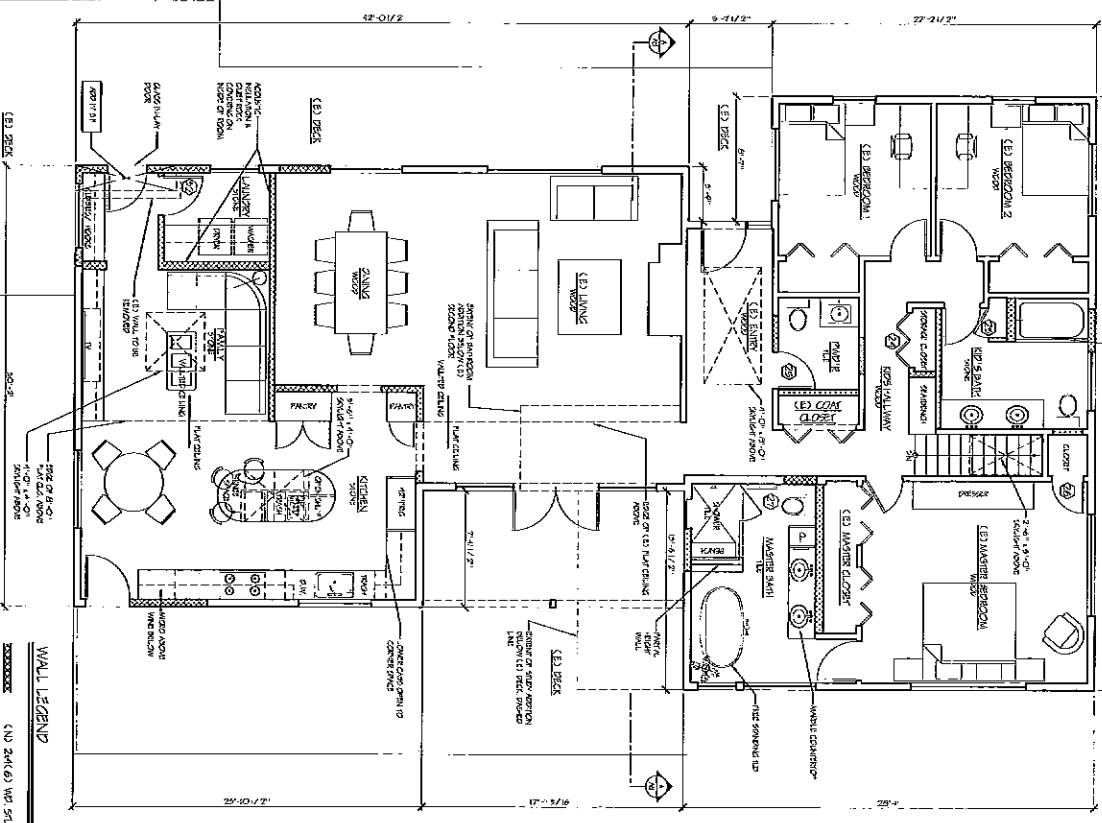
SECOND FLOOR DEMOLITION PLAN



DEMO LEGEND

- (E3) WALL/ ITEM TO BE DEMO
- - - (E3) WALL/ RM TO BE DEMOED
- (E3) WINDOW/ EXT. DOOR TO BE DEMOED

PROPOSED SECOND FLOOR PLAN



WALL LEGEND

- (E3) 24" INS. STUCCO WALL
- (N) 24" (6) INS. STUCCO WALL

A3

SCALE: 1/4" = 1'-0"
 DATE: 5/9/2015

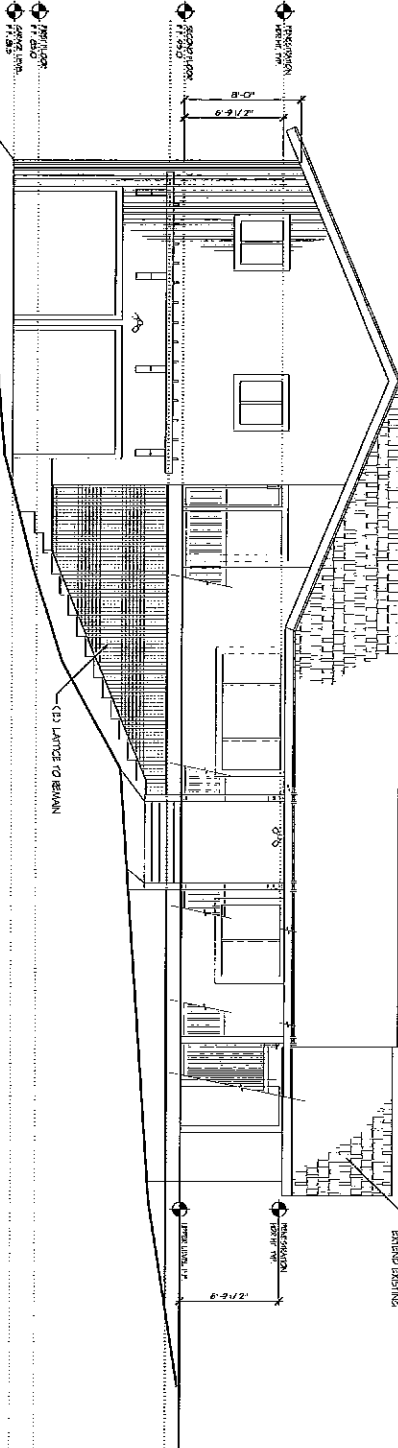
STOECKER AND NORTHWAY ARCHITECTS INCORPORATED
 1000 ELWELL CT., STE. 150A, PALO ALTO, CA 94303 850-985-3600

SETLUR RESIDENCE
 45 PRADO COURT
 PORTOLA VALLEY, CA 94028

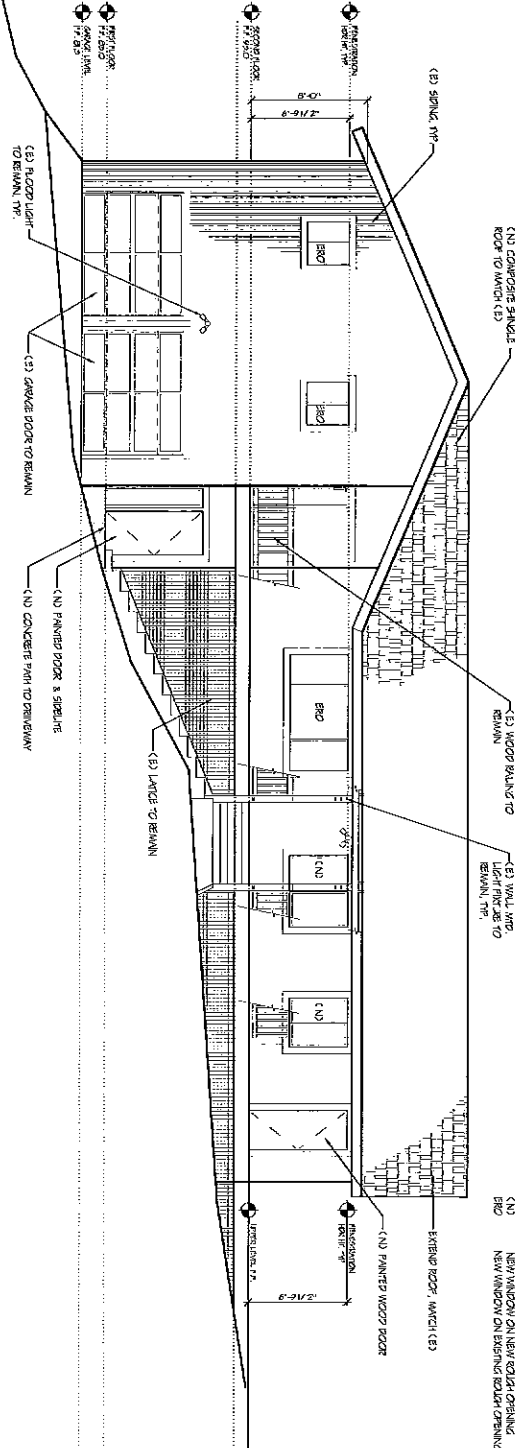
PROJECT NO. 15-001
 SHEET NO. A3 OF A3
 DATE: 5/9/2015

APPROVED: [Signature]
 DATE: [Blank]

EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



- NOTE
1. REPLACE ALL (E) WINDOWS WITH (N) DARK CLAYED WOOD CLAD WINDOW LEADS
 2. REPLACE ALL (E) SECOND FLOOR DOORS WITH (N) DARK CLAYED WOOD CLAD WINDOW LEADS
- (N) NEW WINDOW ON NEW SQUARE OPENING
 (E) EXISTING WINDOW ON EXISTING SQUARE OPENING

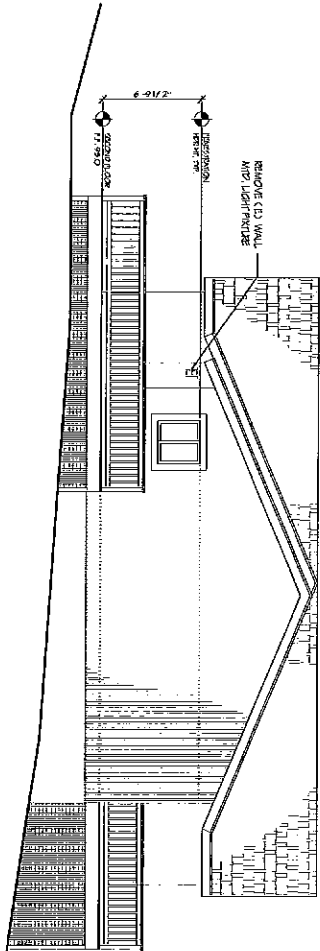
STOECKER AND NORTHWAY ARCHITECTS INCORPORATED
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SETLUR RESIDENCE
 45 PRADO COURT
 PORTOLA VALLEY, CA 94028

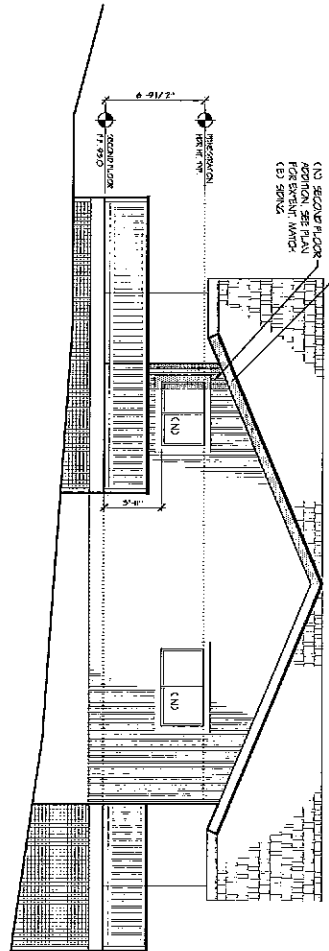
DATE: 5/19/2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PROJECT: SETLUR RESIDENCE
 SHEET: A4
 DATE: 5/19/2019

EXISTING SOUTH ELEVATION

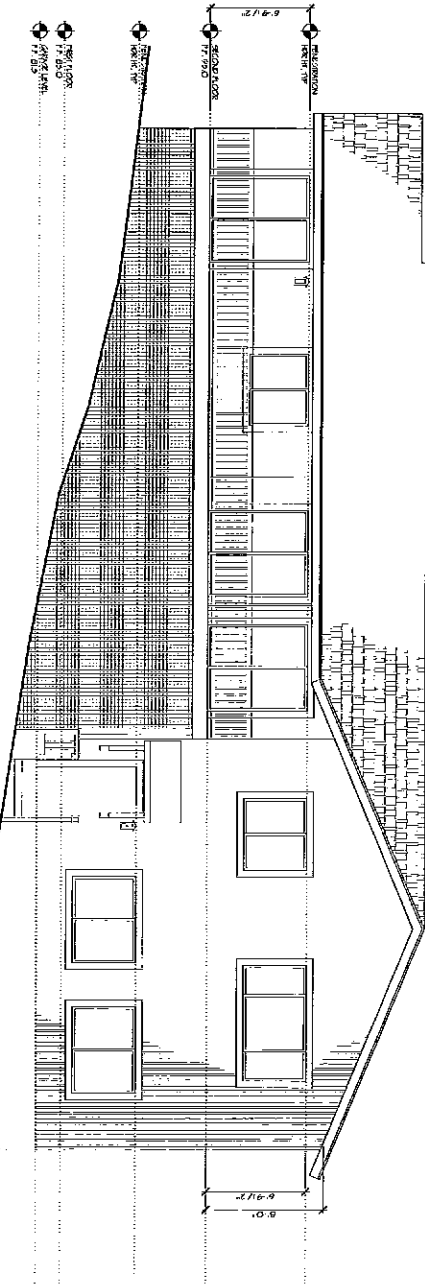


PROPOSED SOUTH ELEVATION

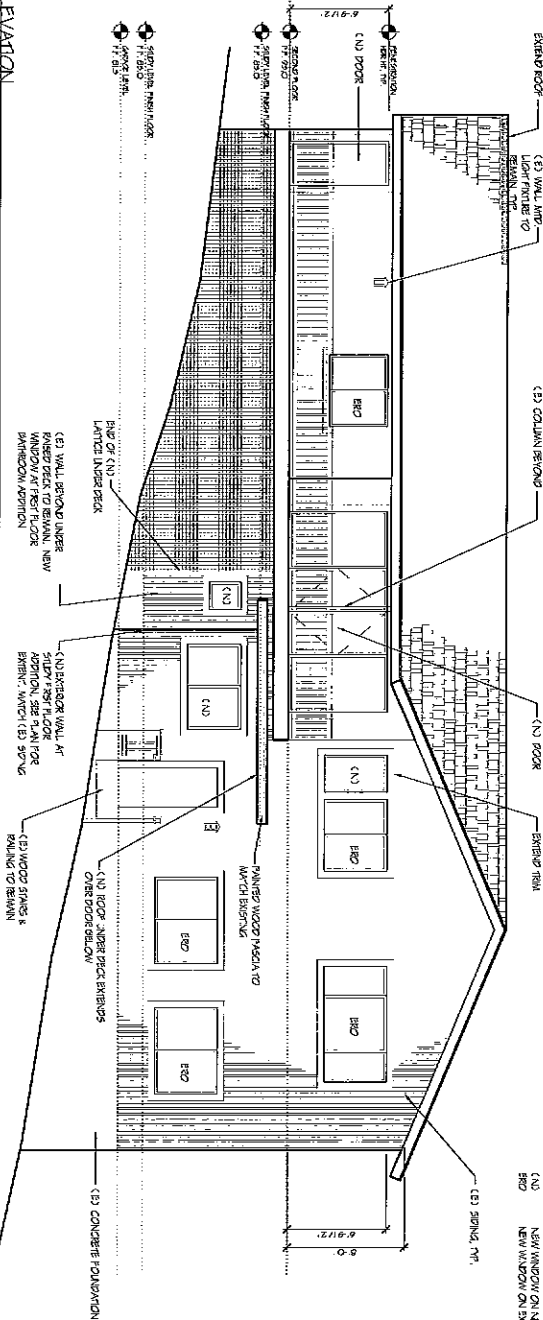


- NOTE:
1. REPLACE ALL (E3) WINDOWS WITH (N1) PAUL GLAZED WOOD CLAD
 2. REPLACE ALL (E3) SLIDING GLASS DOORS W/ (N2) PAUL GLAZED WOOD CLAD WINDOW/SLIDEVA.

EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



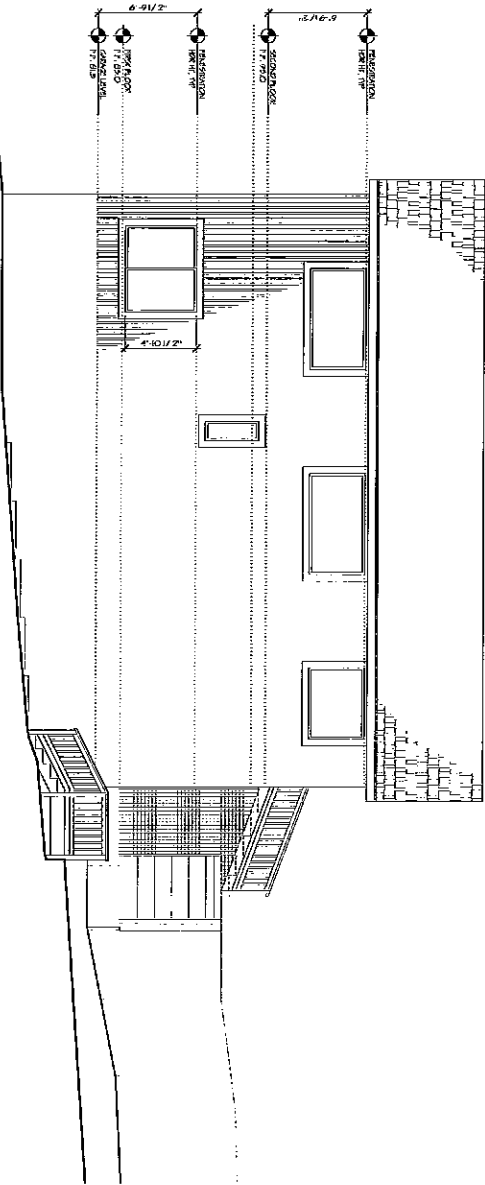
NOTE:
 1. REPLACE ALL (C) WINDOWS WITH (C) PAUL CLAYER WOOD CLIP
 2. REPLACE ALL (C) SHINGLES WITH (C) PAUL CLAYER WOOD CLIP
 WINDOW: SERRAVALLO
 (C) NEW WINDOW ON NEW EXISTING OPENING
 (C) NEW WINDOW ON EXISTING ROOF OPENING

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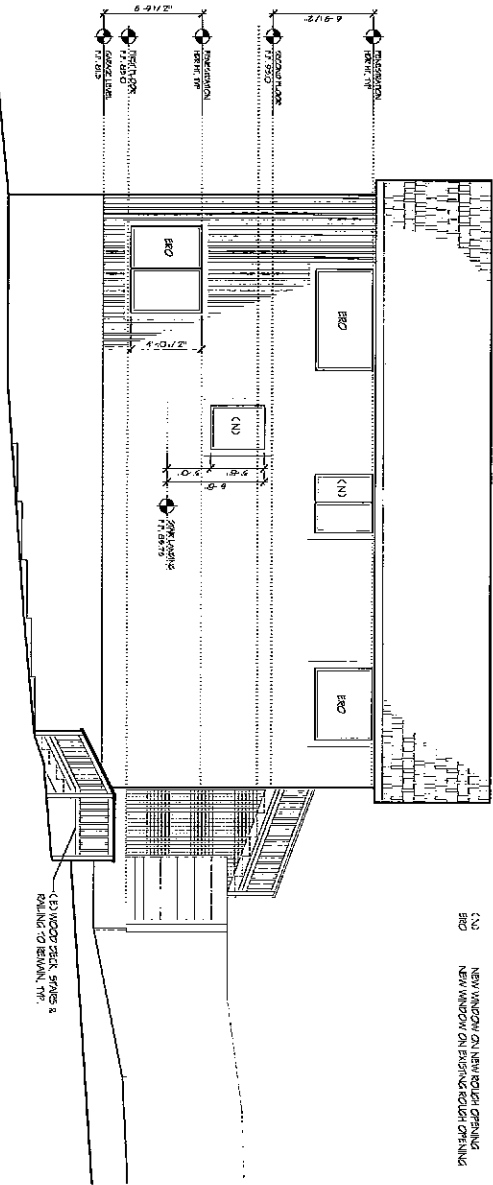
SETLUR RESIDENCE
 45 PRADO COURT
 PORTOLA VALLEY, CA 94028

A6
 EAST ELEVATION
 SCALE: 1/8" = 1'-0"
 DATE: 9/8/2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]

EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



- NOTE:
1. REPLACE ALL (3) WINDOWS WITH (CND) DUAL GLAZED WOOD CLAD
 2. REPLACE ALL (3) SLIDING GLASS DOORS W/ (CND) DUAL GLAZED WOOD CLAD

WINDOW LEGEND:

(CND) NEW WINDOW ON NEW/REPLACEMENT

(EWD) NEW WINDOW ON EXISTING ROUGH OPENING

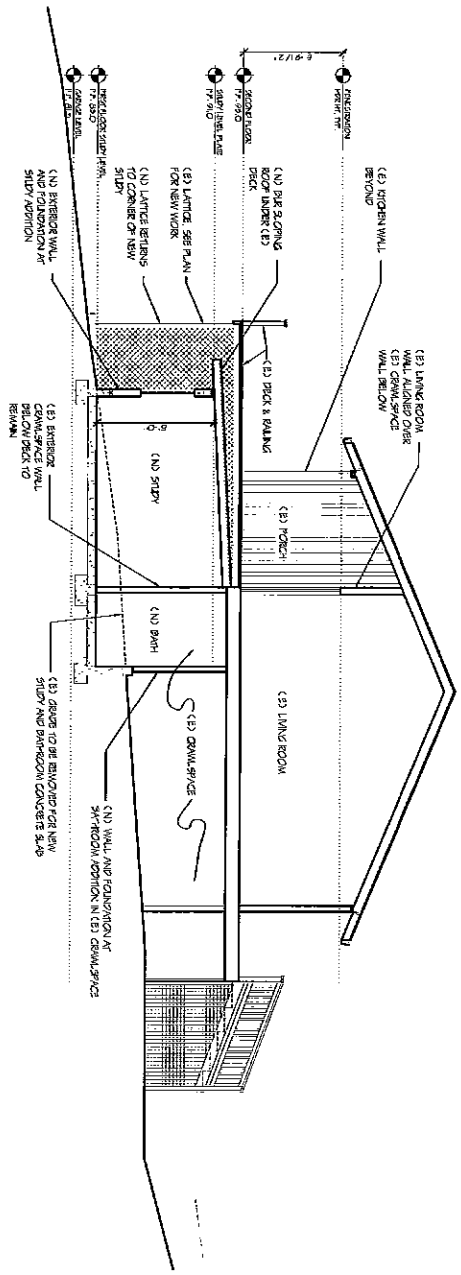
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SEILUR RESIDENCE
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DATE: 9/9/2015
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]
 TOTAL SHEETS: [Number]
A7

PROPOSED BUILDING SECTION THRU A-A



NO.	DATE	BY	CHKD.
1	1/21/11	ST	ST
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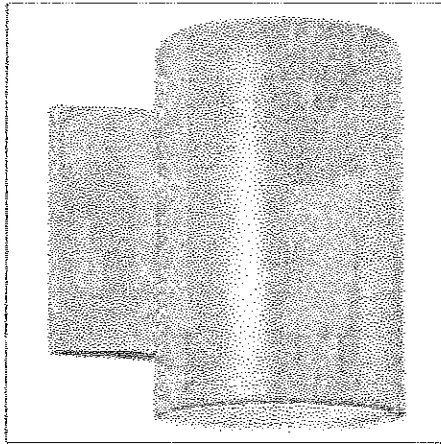
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100	1/21/11	ST	ST

***ARCHITECTURAL REVIEW, ADDITIONS/REMODELING
155 PORTOLA ROAD, CHRISTIE***

Dark Sky Outdoor Wall Lantern

[Previous](#) [Next](#)



Catalog View: 2012 Full Line Catalog

Outdoor Bullets Collection

Exterior tubed light with White Aluminum finish. Accomodates one light. Neighbor friendly exterior wall cylinder with white finish over aluminum. Meets dark sky requirements.

Specifications

Product #: 8338-15
MSRP: \$72.00
Finish: White
Dimensions: W: 5" H: 7"
Lamping: 1 Medium BR30 65w Max.
Optional Lamping: 120v LED Medium LED BR30 15w
120v LED Medium LED PAR30L 15w

Listings: UL Listed for Wet Locations
cUL Listed for Wet Locations

Warranty: 1-Year Warranty

Wish List Compare

Details

- * Extends: 8"
- * Supplied with 6.5" of wire
- * Backplate. Height: 4 7/16" Width: 5" Depth: 3 3/8"
Center of outlet box up: 3"
Center of outlet box down: 4"
- * Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- * Easily converts to LED with optional lamping

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[HTML Specification Sheet](#)
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All

Need Parts?

Bulbs: [97320S](#)

[97420S](#)

[97314S](#)

[97414S](#)

Outdoor Bullets - White Collection:

Our outdoor bullets are designed to mold, direct and shape light right where you need it. Choose from a wide range of styles with various lighting effects to achieve the look and illumination you need.



8438-15



8439-15



8338-15



9339-15



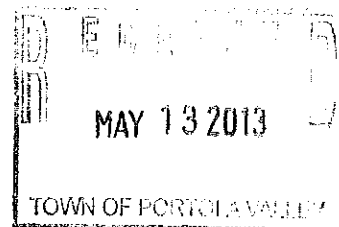
8340-15



8341-15



8607-15



GreenPoint Rated Existing Home Checklist



MAY 13 2013

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

Enter Label: **Whole House**

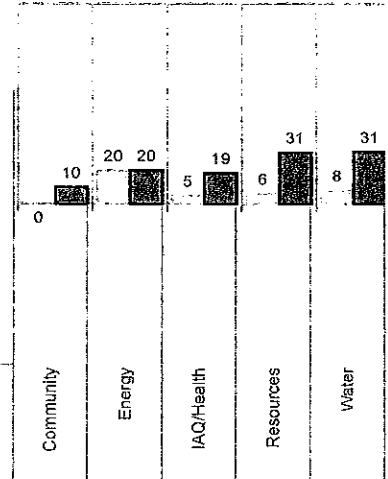
TOWN OF PORTOLA CA Points Achieved: **111**

This checklist is used to track projects seeking a Whole House or Elements Label using the GreenPoint Rated Existing Home Rating System. The minimum requirements for each label are listed in the project summary at the end of this checklist. Selected measures can be awarded points allocated by the percentage of presence of the measure in the home. The measure or practice must be found in at least 10% of the home to earn points.

Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the yellow "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated Existing Home Rating Manual, available at www.builditgreen.org/greenpointrated

GreenPoint Rated Existing Home Checklist version 2.1



Project Name		Points Achieved	Possible Points				
			Community	Energy	IAQ/Health	Resources	Water
AA. COMMUNITY							
No	1. Home is Located within 1/2 Mile of a Major Transit Stop	0	2				
0	2. Compact Development & House Size						
No	a. Density of 10 Units per Acre or Greater (Enter units/acre)	0	2		2		
No	b. Home Size Efficiency (5 points is average, points awarded based on home size)	0			1-9		
3. Pedestrian and Bicycle Access/ Alternative Transportation							
a. Site has Pedestrian Access Within 1/2 Mile of neighborhood services:							
TIER 1: 1) Day Care 2) Community Center 3) Public Park							
4) Drug Store 5) Restaurant 6) School							
7) Library 8) Farmer's Market 9) After School Programs							
10) Convenience Store Where Meat & Produce are Sold							
TIER 2: 1) Bank 2) Place of Worship 3) Laundry/Cleaners							
4) Hardware 5) Theater/Entertainment 6) Fitness/Gym							
7) Post Office 8) Senior Care Facility 9) Medical/Dental							
10) Hair Care 11) Commercial Office of Major Employer 12) Full Supermarket							
Yes	5 Services Listed Above (Tier 2 Services count as 1/2 Service Value)	1	1				
No	10 Services Listed Above (Tier 2 Services count as 1/2 Service Value)	0	1				
Yes	b. Access to A Dedicated Pedestrian Pathway to Places of Recreational Interest within 1/2 Mile	1	1				
Yes	c. At Least Two of the Following Traffic-Calming Strategies Installed within 1/4 mile: Designated Bicycle Lanes are Present on Roadways; Ten-Foot Vehicle Travel Lanes; Street Crossings Closest to Site are Located Less Than 300 Feet Apart; Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands	1	1				
4. Safety & Social Gathering							
Yes	a. Front Entrance Has Views from the Inside to Outside Callers	1	1				
Yes	b. Front Entrance Can be Seen from the Street and/or from Other Front Doors	1	1				
Yes	c. Porch (min. 100sf) Oriented to Streets and Public Spaces	1	1				
5. Diverse Households							
No	a. Home Has at Least One Zero-Step Entrance (prerequisite for 5b. And 5c.)	0	1				
Yes	b. All Main Floor Interior Doors & Passageways Have a Min. 32-Inch Clear Passage Space	0	1				
Yes	c. Home includes at Least a Half-Bath on the Ground Floor with Blocking for Grab Bars	0	1				
No	d. Lot Includes Full-Function Independent Rental Unit	0	1				
Total Points Available in Community = 26		6					
A. SITE							
Possible Points							
Yes	1. Protect Existing Topsoil from Erosion and Reuse after Construction	2	1				1
2. Divert Construction and Demolition Waste							

Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
Yes	a. Divert All Cardboard, Concrete, Asphalt and Metals (Required for both Whole House and Elements, if Applicable)	Y				R	
Yes	b. Divert 25% C&D Waste Excluding All Cardboard, Concrete, Asphalt and Metals	2				2	
Yes	3. Construction IAQ Management Plan	2			2		
Total Points Available in Site = 6		6					
B. FOUNDATION			Possible Points				
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag							
TBD	a. Minimum 20% Flyash and/or Slag Content	0				1	
TBD	b. Minimum 30% Flyash and/or Slag Content	0				1	
TBD	2. Moisture Source Verification and Correction (Required for Whole House)	N			R	R	
3. Retrofit Crawl Space to Control Moisture							
Yes	a. Control Ground Moisture with Vapor Barrier	2			2		
Yes	b. Foundation Drainage System	2				2	
Yes	4. Pest Inspection and Correction	1				1	
5. Design and Build Structural Pest Controls							
Yes	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers	1				1	
Yes	b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	1				1	
No	6. Radon Testing and Correction or Radon Resistant Construction	0			1		
Total Points Available in Foundation = 10		7					
C. LANDSCAPE			Possible Points				
No	Is the landscape area <15% of the total site area? (only 3 points available in this section for projects with <15% landscape area)						
1. Resource-Efficient Landscapes							
Yes	a. No Invasive Species Listed by Cal-IPC Are Planted	1					1
Yes	b. No Plant Species Require Shearing	1				1	
Yes	c. 50% of Plants Are California Natives or Mediterranean Climate Species	3					3
Yes	2. Fire-Safe Landscaping Techniques	1	1				
3. Minimal Turf Areas							
Yes	a. Turf Not Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide	2					2
Yes	b. Turf is <25% of Landscaped Area	2					2
Yes	c. Turf is <10% of Landscaped Area or eliminated	2					2
Yes	4. Shade Trees Planted	3					1
Yes	5. Plants Grouped by Water Needs (Hydrozoning)	2					2
6. High-Efficiency Irrigation Systems Installed							
Yes	a. System Uses Only Low-Flow Drip, Bubblers, or Low-flow Sprinklers	2					2
Yes	b. System Has Smart Controllers	3					3
Yes	7. Compost and Recycle Garden Trimmings on Site	1					1
10%	8. Mulch in All Planting Beds to the Greater of 2 inches or Local Water Ordinance Requirement	0.2					2
10%	9. Use Environmentally Preferable Materials for Non-Plant Landscape Elements and Fencing	###				1	
Yes	10. Light Pollution Reduced by Shielding Fixtures and Directing Light Downward	1	1				
11. Rain Water Harvesting System (1 point for ≤ 350 gallons, 2 points for > 350 gallons)							
No	a. Cistern(s) is Less Than 750 Gallons	0					1
No	b. Cistern(s) is 750 to 2,500 Gallons	0					1
No	c. Cistern(s) is Greater Than 2,500 Gallons	0					1
Yes	12. Soil Amended with Compost	2				1	1
Total Points Available in Landscape = 32		26.3					

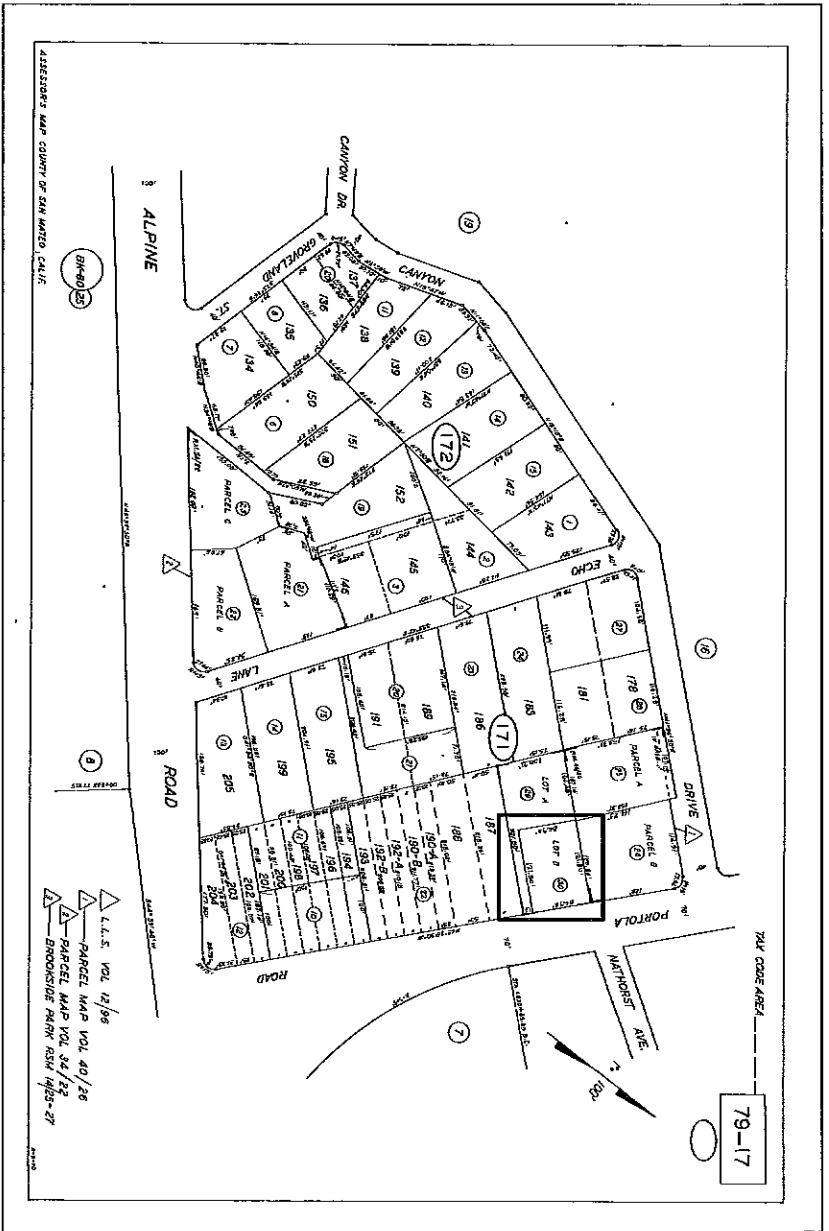
Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
D. STRU			Possible Points				
1. Optimal Value Engineering							
≥90%	a. Place Rafters & Studs at 24-Inch On Center Framing	1				1	
≥90%	b. Size Door & Window Headers for Load	1				1	
≥90%	c. Use Only Jack & Cripple Studs Required for Load	1				1	
2. Use Engineered Lumber							
10%	a. Engineered Beams & Headers	###				1	
No	b. Insulated Headers	0		1			
No	c. Engineered Lumber for Floors	0				1	
No	d. Engineered Lumber for Roof Rafters	0				1	
No	e. Engineered or Finger-Jointed Studs for Vertical Applications	0				1	
50%	f. Oriented Strand Board for Subfloor	###				1	
≥90%	g. Oriented Strand Board Wall and Roof Sheathing	1				1	
3. FSC Certified Wood							
10%	a. Dimensional Lumber, Studs, and Timber	0.4				4	
10%	b. Panel Products	0.2				2	
4. Solid Wall Systems (includes SIPs, ICFs, & Any Non-Stick Frame Assembly)							
No	a. Floors	0		2		2	
No	b. Walls	0		2		2	
No	c. Roofs	0		2		2	
5. Reduce Pollution Entering the Home from the Garage							
Yes	a. Tightly Seal the Air Barrier between Garage and Living Area	1			1		
No	b. Install Garage Exhaust Fan OR Have a Detached Garage	0			1		
75%	6. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	###		1			
7. Overhangs and Gutters							
≥90%	a. Minimum 16-Inch Overhangs and Gutters	1				1	
10%	b. Minimum 24-Inch Overhangs and Gutters	###		1			
8. Retrofit/ Upgrade Structure for Lateral Load Reinforcement for Wind or Seismic							
Yes	a. Partial Lateral Load Reinforcement Upgrades/ Retrofits	1				1	
Yes	b. Lateral Load Reinforcement Upgrades/ Retrofits for Entire home	2				2	
No	9. Sound Exterior Assemblies (Required for Whole House)	N				R	
Total Points Available in Structural Frame & Building Envelope = 36		11.05					
E. EXTERIOR FINISH			Possible Points				
25%	1. Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking	0.5				2	
No	2. Rain Screen Wall System Installed	0				2	
≥90%	3. Durable & Noncombustible Cladding Materials	1				1	
≥90%	4. Durable & Fire-Resistant Roofing Materials or Assembly	2				2	
Total Points Available in Exterior Finish = 7		3.5					
F. INSULATION			Possible Points				
1. Install Insulation with 30% Post-Consumer Recycled Content							
No	a. Walls and Floors	0				1	
No	b. Ceilings	0				1	
2. Install Insulation that is Low-Emitting (Certified CA Residential Section 01350)							
No	a. Walls and Floors	0			1		
No	b. Ceilings	0			1		
TBD	3. Inspect Quality of Insulation installation before Applying Drywall	0		1			
Total Points Available in Insulation = 5		0					

Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
G. PLUMBING		Possible Points					
1. Distribute Domestic Hot Water Efficiently							
≥50%	a. Insulate All Accessible Hot Water Pipes (prerequisite for 1b. and 1c.)	2		1			1
No	b. Locate Water Heater Within 12' Of All Water Fixtures, as measured in plan	0		1			1
No	c. Install On-Demand Circulation Control Pump	0		1			1
≥90%	2. High-Efficiency Toilets (Dual-Flush or ≤ 1.28 gpf)	2					2
3. Water Efficient Fixtures							
Yes	a. All Fixtures Meet Federal Energy Policy Act (Toilets: 1.6 gpf, Sinks: 2.2 gpm, Showers: 2.5 gpm) (Required For Whole House)	Y					R
≥90%	b. High-Efficiency Showerheads Use ≤ 2.0 gpm at 80 psi	3					3
≥90%	c. Bathroom Faucets Use ≤ 1.5 gpm	2		1			1
Yes	4. Plumbing Survey (No Plumbing Leaks) (Required for Whole House and Elements)	Y					R
Total Points Available in Plumbing = 13		9					
H. HEATING, VENTILATION & AIR CONDITIONING		Possible Points					
1. General HVAC Equipment Verification and Correction							
Yes	a. Visual Survey of Installation of HVAC Equipment (Required for Whole House and Elements)	Y		R			
Yes	b. Conduct Diagnostic Testing to Evaluate System	2		2			
No	c. Conduct Flow Hood Test and Assess Delivery of Air	0		1			
No	d. Air Conditioning Compressor Operates Properly and Refrigerant Charge is Optimal	0		1			
No	2. Design and Install HVAC System to ACCA Manuals J, D and S	0		4			1
3. Sealed Combustion Units							
No	a. Furnaces	0		0	2		
No	b. Water heaters	0		0	2		
No	4. Zoned, Hydronic Radiant Heating	0		1	1		
No	5. High Efficiency Air Conditioning Air conditioning with Environmentally Responsible Refrigerants	0	1				
6. Effective Ductwork Installation							
Yes	a. New Ductwork and HVAC unit Installed Within Conditioned Space	1		1			
Yes	b. Duct Mastic Used on All Ducts, Joints and Seams	1		1			
Yes	c. Ductwork System is Pressure Relieved	1		1			
Yes	7. High Efficiency HVAC Filter (MERV 6+)	1			1		
No	8. No Fireplace OR Sealed Gas Fireplaces with Efficiency Rating ≥80% using CSA Standards	0			1		
9. Effective Exhaust Systems Installed in Bathrooms and Kitchens							
≥90%	a. ENERGY STAR Bathroom Fans Vented to the Outside	1			1		
≥90%	b. All Bathroom Fans are on Timer or Humidistat	1			1		
Yes	c. Kitchen Range Hood Vented to the Outside	1			1		
10. Mechanical Ventilation System for Cooling Installed							
No	a. ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms	0		1			
No	b. Whole House Fan	0		1			
11. Mechanical Ventilation for Fresh Air Installed							
Yes	a. Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6)	1			1		
Yes	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)	1			1		
No	c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0		1	1		
12. Carbon Monoxide							
No	a. Carbon Monoxide Testing and Correction (Required for Whole House)	N			R		
Yes	b. Carbon Monoxide Alarm(s) Installed	1			1		
Yes	13. Combustion Safety Backdraft Test (Required for Whole House and Elements)	Y			R		
Total Points Available in Heating, Ventilation and Air Conditioning = 30		12					
I. RENEWABLE ENERGY		Possible Points					
0.0%	1. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind) Enter % total energy consumption offset, 1 point per 4% offset	0		25			
Total Points Available in Renewable Energy = 25		0					

Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
J. BUILDING PERFORMANCE			Possible Points				
Yes	1. Energy Survey and Education (Required for Elements or Meet J3)	Y		R			
	2. Energy Upgrades (Available for Elements Rating Only, Mutually Exclusive with J3. 2 point minimum and 6 point maximum credit required)						
	TIER 1: Practices in Tier 1 Are Worth Full Value (1 point)						
Yes	a) Attic Insulation up to or Exceeding Current Code	0		1			
Yes	b) Crawl Space Insulation up to or Exceeding Current Code	0		1			
Yes	c) Wall Insulation up to or Exceeding Current Code	0		1			
No	d) High Efficiency Furnace (90% AFUE Minimum)	0		1			
Yes	e) Seal Ducts and Duct Leakage is <15%	0		1			
No	f) 14 SEER, 11.5 EER Air Conditioning Unit (in climate zones 2,4,8-15)	0		1			
No	g) House Passes Blower Door Test With ≤0.5 ACH or a 50% Improvement	0		1			
	TIER 2: Practices in Tier 2 Are Worth Half Value (0.5 points)						
No	h) High Efficiency Water Heater ≥.62EF	0		0.5			
No	i) Radiant Barrier in Attic	0		0.5			
Yes	j) Windows Upgraded to Current Code Requirements, Which are Typically Dual Pane	0		0.5			
Yes	k) Duct insulation to Code	0		0.5			
Yes	l) Programmable Thermostat	0		0.5			
No	m) 14 SEER, 11.5 EER Air Conditioning unit (in climate zones 1,3,5,6,7,16)	0		0.5			
	3. Meet Energy Budget for Home Based on Year (Based GreenPoint Rated Index, Includes Blower Door Test) (Required for Whole House, Available for Elements)	0		10+			
No	4. Design and Build Zero Energy Homes	0		5			
No	5. Comprehensive Utility Bill Analysis	0		1			
Total Points Available in Building Performance = 16+		0					
K. FINISH			Possible Points				
No	1. Entryways Designed to Reduce Tracked in Contaminants	0			1		
	2. Low/No-VOC Paint						
50%	a. Low-VOC Interior Wall/Ceiling Paints (<50 gpl VOCs regardless of sheen)	###			1		
No	b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs (flat))	0			2		
50%	3. Coatings Meet SCAQMD Rule 1113 for Low VOCs	1			2		
50%	4. Low-VOC Caulks & Construction Adhesives (Meet SCAQMD Rule 1168)	1			2		
≥90%	5. Recycled-Content Paint	1				1	
	6. Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood B) Reclaimed Materials C) Rapidly Renewable D) Recycled-Content E) Finger-Jointed or F) Local						
No	a. Cabinets	0				1	
50%	b. Interior Trim	###				1	
50%	c. Shelving	###				1	
50%	d. Doors	###				1	
No	e. Countertops	0				1	
Yes	7. For Newly Installed Products, Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (Required for Whole Building & Elements) (EPA IAP)	Y			R		
	8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates						
50%	a. Doors	0.5			1		
50%	b. Cabinets and Countertops	1			2		
50%	c. Interior Trim and Shelving	0.5			1		
No	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb	0			3		
Total Points Available in Finishes = 21		7					
L. FLOORING			Possible Points				
50%	1. Environmentally Preferable Flooring: A) FSC-Certified Wood B) Reclaimed or Refinished C) Rapidly Renewable D) Recycled-Content, E) Exposed Concrete F) Local Flooring Adhesives Must Have <70 gpl VOCs and sealer must meet SCAQMD Rule 1113.	2				4	
No	2. Thermal Mass Floors	0		1			
No	3. Flooring Meets CA Section 01350 or CRI Green Label Plus Requirements	0			2		
Total Points Available in Flooring = 7		2					

Project Name		Points Achieved	Community	Energy	IAC/Health	Resources	Water
M. APPLI			Possible Points				
Yes	1. ENERGY STAR Dishwasher (Must Meet Current Specifications) (Mutually Exclusive with J3)	2		1			1
2. ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less							
Yes	a. Meets CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0)	3		1			2
No	b. Meets CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5)	0					2
3. ENERGY STAR Refrigerator Installed							
Yes	a. ENERGY STAR Qualified & < 25 cu.ft.Capacity (Mutually Exclusive with J3)	1		1			
No	b. ENERGY STAR Qualified & < 20 cu.ft Capacity (Mutually Exclusive with J3)	0		1			
4. Built-in Recycling & Composting Center							
Yes	a. Built-In Recycling Center	2				2	
No	b. Built-In Composting Center	0				1	
No	5. Electrical Survey (Required for Whole House)	N				R	
Yes	6. Verification of Entire Electrical System	2				2	
50%	7. Energy Efficient Lighting	0.5		1			
Yes	8.Low- Mercury Lamps (Linear and Compact Fluorescent)	1				1	
50%	9. Lighting Controls Installed	0.5		1			
Total Points Available in Appliances and Lighting = 13+		12					
N. OTHER			Possible Points				
Yes	1. Incorporate GreenPoint Checklist in Blueprints Or Distribute Checklist (Required for Whole House and Elements)	Y		R			
No	2. Develop Homeowner Manual of Green Features/Benefits	0		1			1
3. Hazardous Waste Testing							
No	a. Lead Testing Interior, Exterior and Soil	0			1		
No	b. Asbestos Testing and Remediation	0			1		
Yes	4. Gas Shut Off Valve (motion/ non-motion)	2			1	1	
Total Points Available in Other = 6		2					
P. INNOVATIONS			Possible Points				
AA. Community: No Innovation Measures At This Time							
A. Site							
No	1. Cool Site	0	1				
B. Foundation: No Innovation Measures At This Time		0					
C. Landscaping		0					
No	1. Irrigation System Uses Recycled Wastewater	0					1
D. Structural Frame and Building Envelope							
1. Design, Build and Maintain Structural Pest and Rot Controls		0					
No	a. Locate All Wood (Siding, Trim, Structure) At Least 12 Inches Above Soil	0				1	
No	b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood	0			1		
Yes	2. Use Moisture Resistant Materials and Practices in Wet Areas of Kitchen, Bathrooms, Utility Rooms, and Basements	1			1		
3. Use FSC-Certified Engineered Lumber		0					
50%	a. Engineered Beams and Headers	0.5				1	
No	b. Insulated Engineered Headers	0				1	
No	c. Wood I-Joists or Web Trusses for Floors	0				1	
No	d. Wood I-Joists for Roof Rafters	0				1	
No	e. Engineered or Finger-Jointed Studs for Vertical Applications	0				1	
No	f. Roof Trusses	0				1	
E. Exterior Finish		0					
No	1. Green Roofs (25% or Roof Area Minimum)	0	2	2			

Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
F. Insulation: No Innovation Measures At This Time		0					
G. Plumbing		0					
No	1. Graywater Pre-Plumbing (Includes Clothes Washer at Minimum)	0					1
No	2. Graywater System Operational (Includes Clothes Washer at Minimum)	0					2
No	3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)	0					1
No	4. Composting or Waterless Toilet	0					1
No	5. Install Drain Water Heat-Recovery System	0		1			
H. Heating, Ventilation and Air Conditioning (HVAC)		0					
No	1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7)	0			1		
I. Renewable Energy: No Innovation Measures At This Time		0					
J. Building Performance		0					
No	1. Test Total Supply Air Flow Rates	0		1			
No	2. Energy Budget Analysis (J3) Completed By CEPE	0		1			
K. Finishes: No Innovation Measures At This Time.		0					
L. Flooring: No Innovation Measures At This Time.		0					
M. Appliances: No Innovation Measures At This Time.		0					
N. Other		0					
No	1. Homebuilder's Management Staff Are Certified Green Building Professionals	0	1				
No	2. Comprehensive Owner's Manual and Homeowner Education Walkthroughs	0	1				
3. Additional Innovations: List innovative measures that meet green building objectives. Points will be assessed by Build It Green and the GreenPoint Rater.		0					
TBD	a. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
TBD	b. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
TBD	c. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
TBD	d. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
TBD	e. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
TBD	f. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
TBD	g. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
TBD	h. Describe Innovation Here and Enter Possible Points in Columns L-P	0					
Total Points Available in Innovation = 26+		1.5	0				
Summary							
Total Available Points		224+	25	83	46	76	47
Minimum Points Required (Whole House)		50	0	20	5	6	8
Minimum Points Required (Elements)		25	0	8	2	2	4
Total Points Achieved		11	10.0	20.4	18.5	30.8	31.2



D E E P E N I M E N T
 MAY 13 2013
 TOWN OF PORTOLA VALLEY

DRAWING INDEX

- A0.0 TITLE SHEET
- A0.1 SITE PLAN
- A0.2 EXTERIOR ELEVATIONS (EAST AND WEST ELEV) (FRONT AND REAR ELEV)
- A0.3 EXTERIOR ELEVATIONS (FRONT AND REAR ELEV)
- A1.0 EXISTING/ DEMOLITION PLAN
- A2.0 EXISTING BASEMENT PLAN
- A3.0 CONSTRUCTION PLAN
- A4.0 LIGHTING & ELECTRICAL PLAN

SCOPE OF WORK

INTERIOR REMODEL AND REAR ADDITION TO EXISTING HOME.
 REAR ADDITION INCLUDES:
 - NEW MASTER BATHROOM
 - NEW LAUNDRY ROOM
 - REMODELED KITCHEN
 - REMODELED MASTER BEDROOM
 - REMODELED GREAT ROOM
 - REMODELED HALF BATHROOM

SQUARE FOOTAGE

EXISTING HOUSE 1343 SQ. FT.
 EXISTING GARAGE 565 SQ. FT.
 PROPOSED ADDITION 402 SQ. FT.
 PROPOSED TOTAL 1745 SQ. FT.
 GARAGE 565 SQ. FT.

GENERAL NOTES

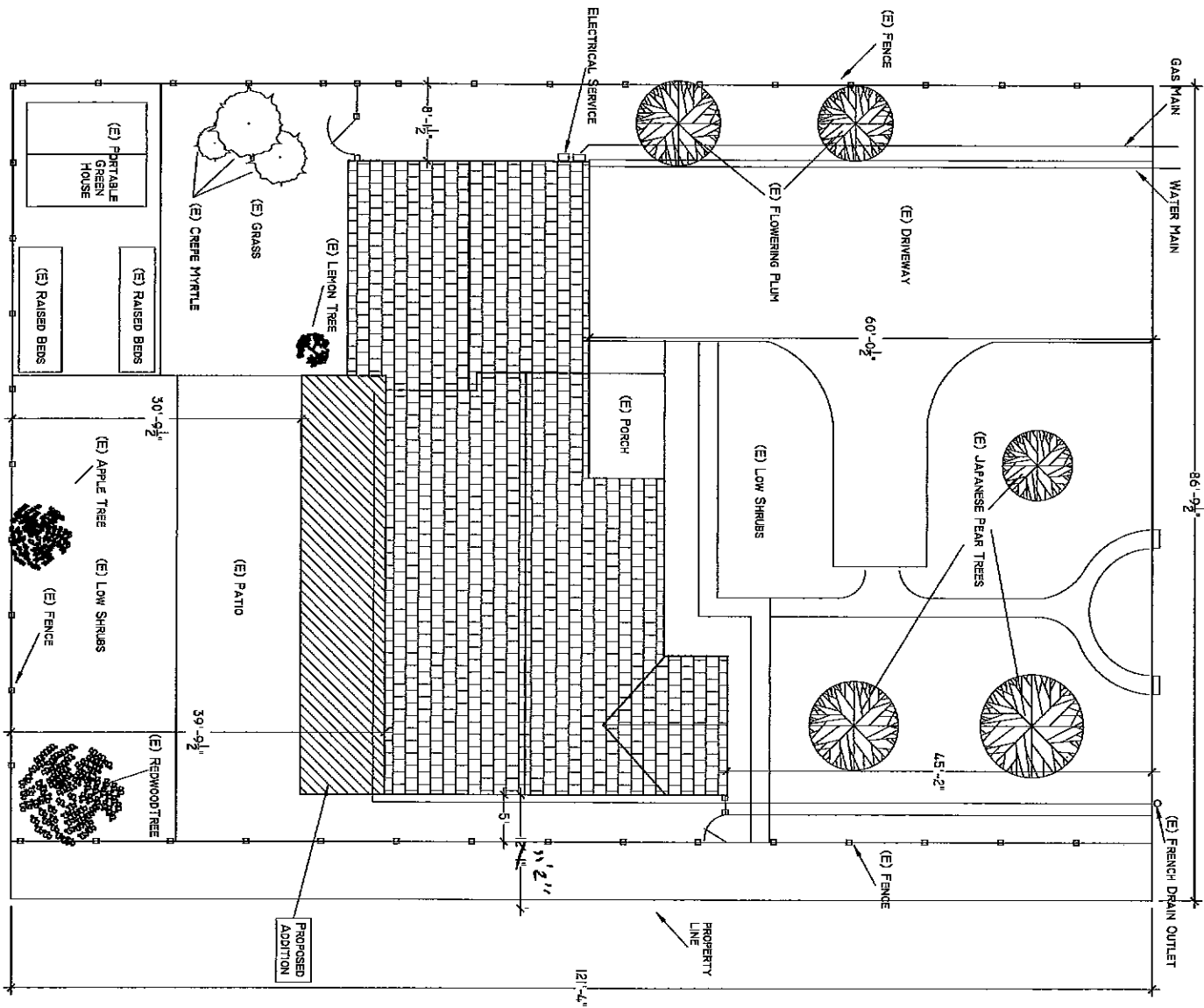
CHRISTIE RESIDENCE
 155 PORTOLA ROAD
 PORTOLA VALLEY, CA 94028

NO.	REVISION	DT.

CHRISTOPHER HOMEWORKS
 CHRIS ANDERSON
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 EMAIL: CHRIS@CHRISTOPHERH.COM
 CA LICENSE: 85353

SHEET TITLE
TITLE SHEET

DRAWN BY CA SHEET
 DATE 5-5-13
 SCALE N.T.S.
A0.0



GENERAL NOTES

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SHEET TITLE
 SITE PLAN

DRAWN BY CA
DATE 5-6-13
SCALE 1/8" = 1'-0"
SHEET A0.1

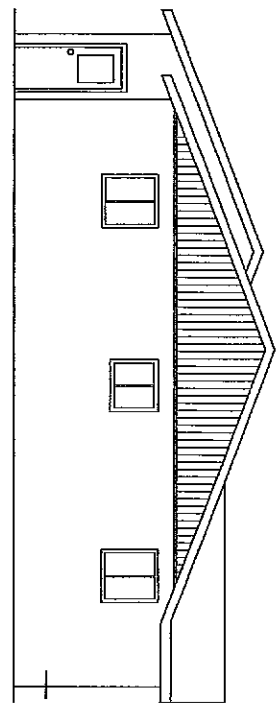
CHRISTIE RESIDENCE
 155 PORTOLA ROAD
 PORTOLA VALLEY, CA 94028

NO.	REVISION	DT.

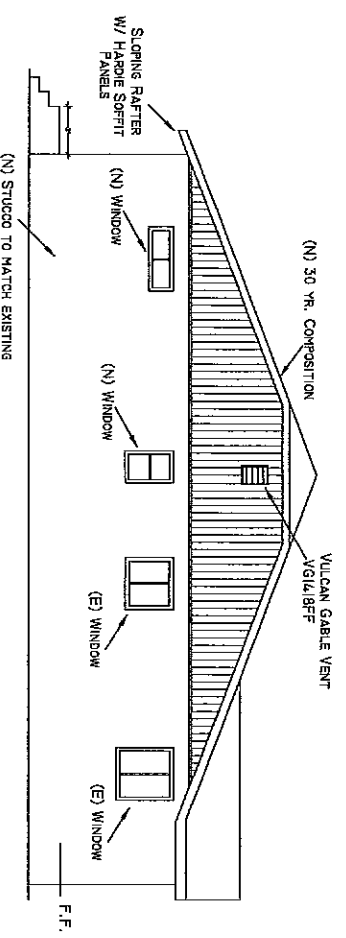
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SHEET TITLE
EXTERIOR ELEVATIONS

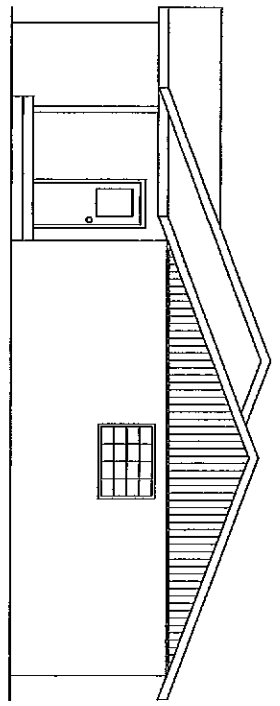
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 REVISION: 6-5-13
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A0.2



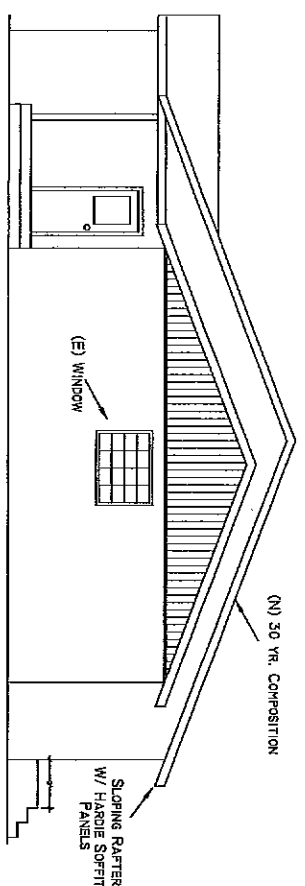
1 EXISTING EAST SIDE ELEVATION



2 PROPOSED EAST SIDE ELEVATION



3 EXISTING WEST SIDE ELEVATION



4 PROPOSED WEST SIDE ELEVATION

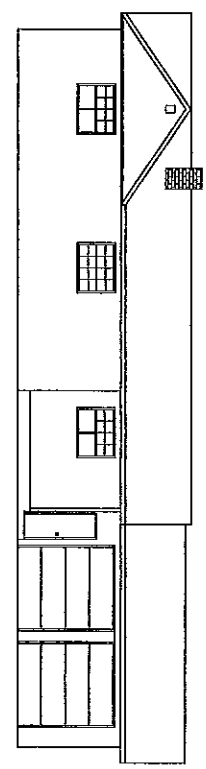
CHRISTIE RESIDENCE
 155 PORTOLA ROAD
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NO.	REVISION	DT.

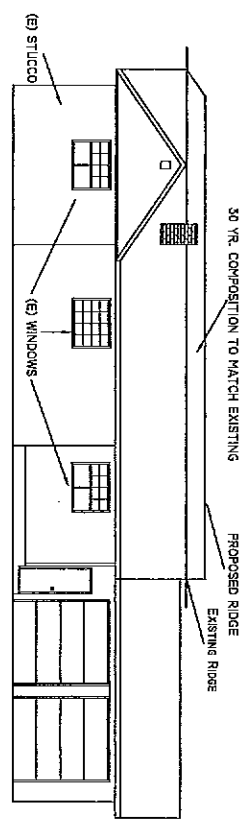
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SHEET TITLE
EXTERIOR ELEVATIONS

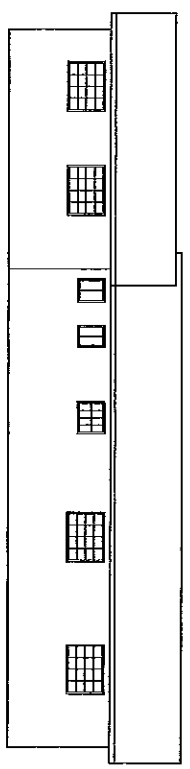
DRAWN BY CA SHEET
 REVISION 6-5-13
 SCALE 1/8" = 1'-0"
A0.3



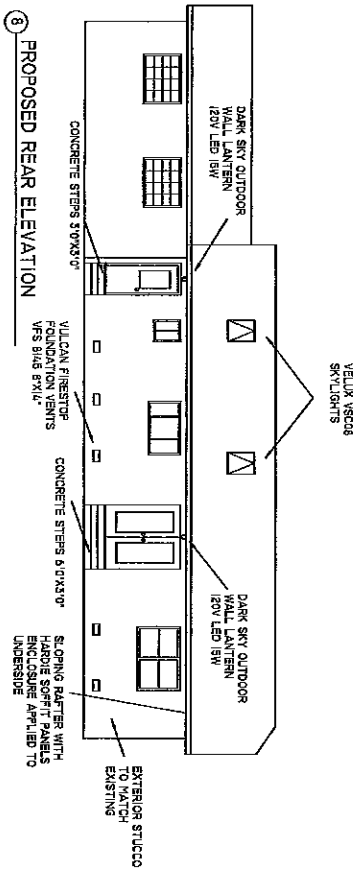
5 EXISTING FRONT ELEVATION



6 PROPOSED FRONT ELEVATION



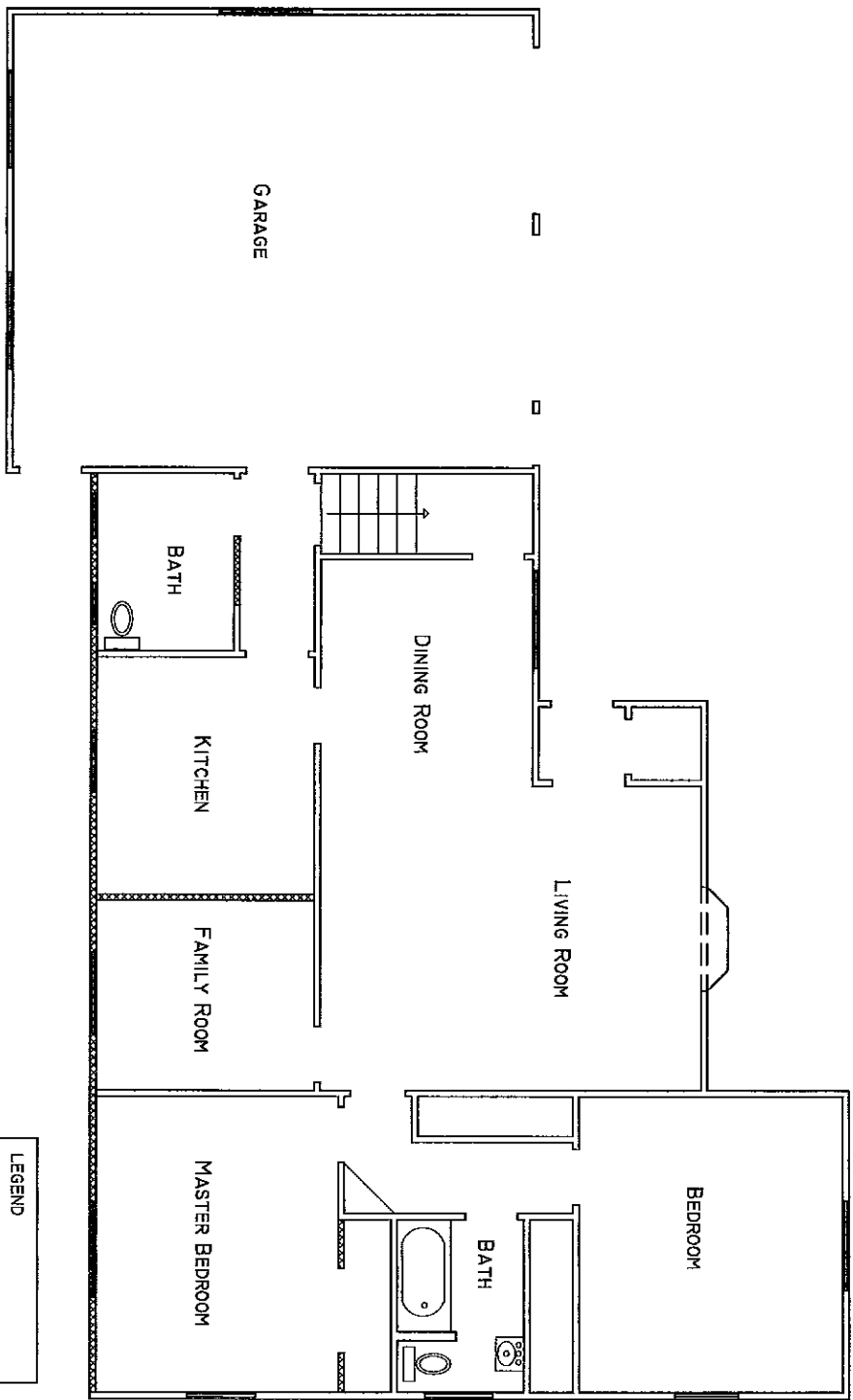
7 EXISTING REAR ELEVATION



8 PROPOSED REAR ELEVATION

GENERAL NOTES

1. ALL ITEMS SHOWN TO REMAIN, U.O.N.
2. COMPLY WITH THE APPLICABLE LOCAL STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL DAMAGE.
3. PROVIDE TEMPORARY SHORING OF EXISTING CONSTRUCTION AS REQUIRED.
4. PROVIDE FOR SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION.
5. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS AND WORKERS.
6. ERECT AND MAINTAIN DUST-PROOF PARTITIONS TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION, REMOVE THESE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH EXISTING OR ADJACENT SURFACE.
7. ALL NEW AND EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
8. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, U.O.N.
9. PATCH AND REPAIR ADJOINING PARTITIONS AND CEILINGS AS REQUIRED DUE TO DEMOLITION.



AS-BUILT FLOOR PLAN
 SCALE = 1/4" = 1'-0"

CHRISTIE RESIDENCE
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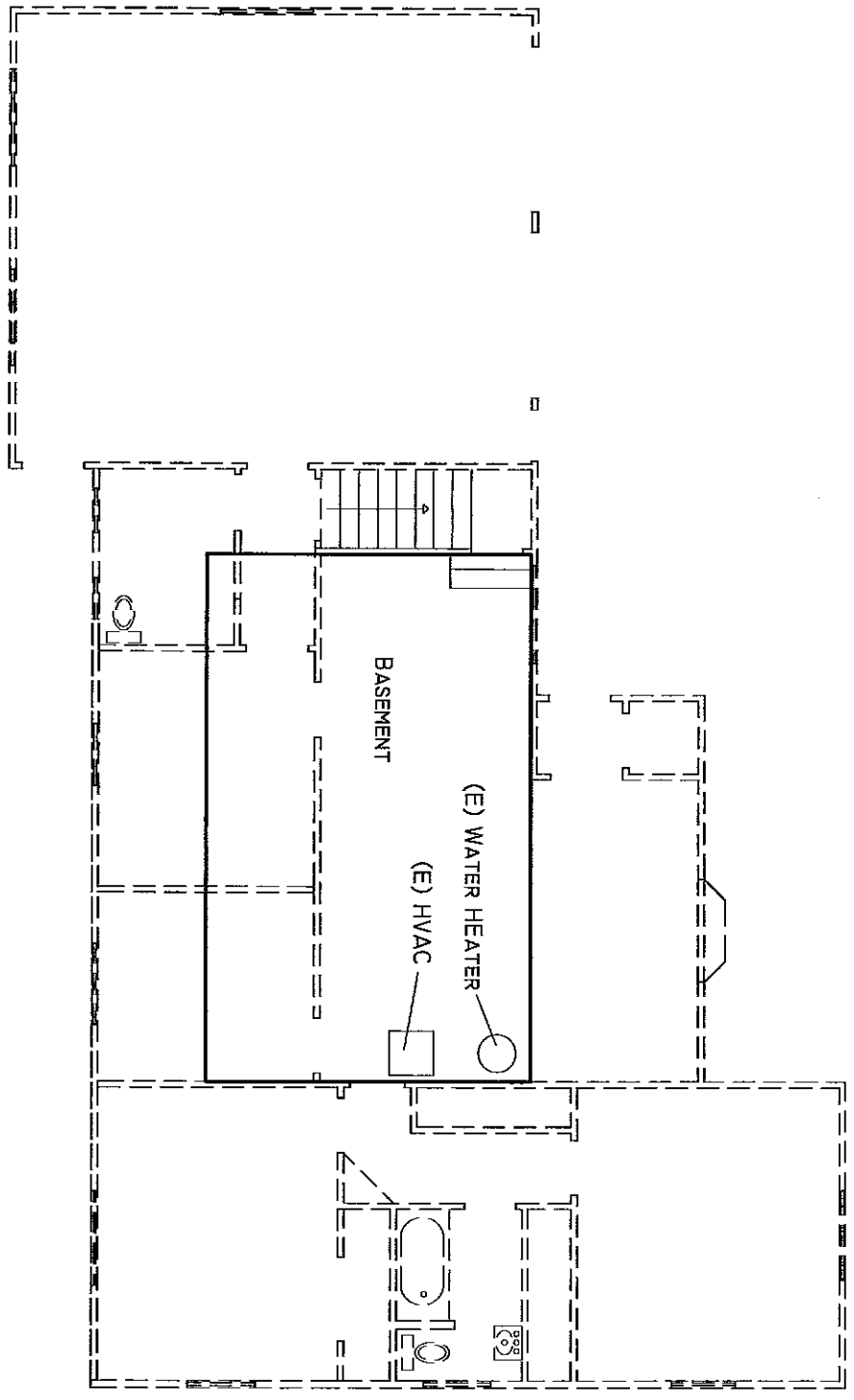
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 CA LICENSE: 823565

EXISTING FLOOR PLAN

SHEET TITLE
 SHEET
 ORIGIN BY CA
 REVISION 5-S-13
 SCALE 1/4" = 1'-0"
A1.0

NO.	REVISION	DT.

1
EXISTING BASEMENT
 SCALE = $\frac{1}{4}" = 1'-0"$



GENERAL NOTES

CHRISTIE RESIDENCE
 155 PORTOLA ROAD
 PORTOLA VALLEY, CA 94028

NO.	REVISION	DT.

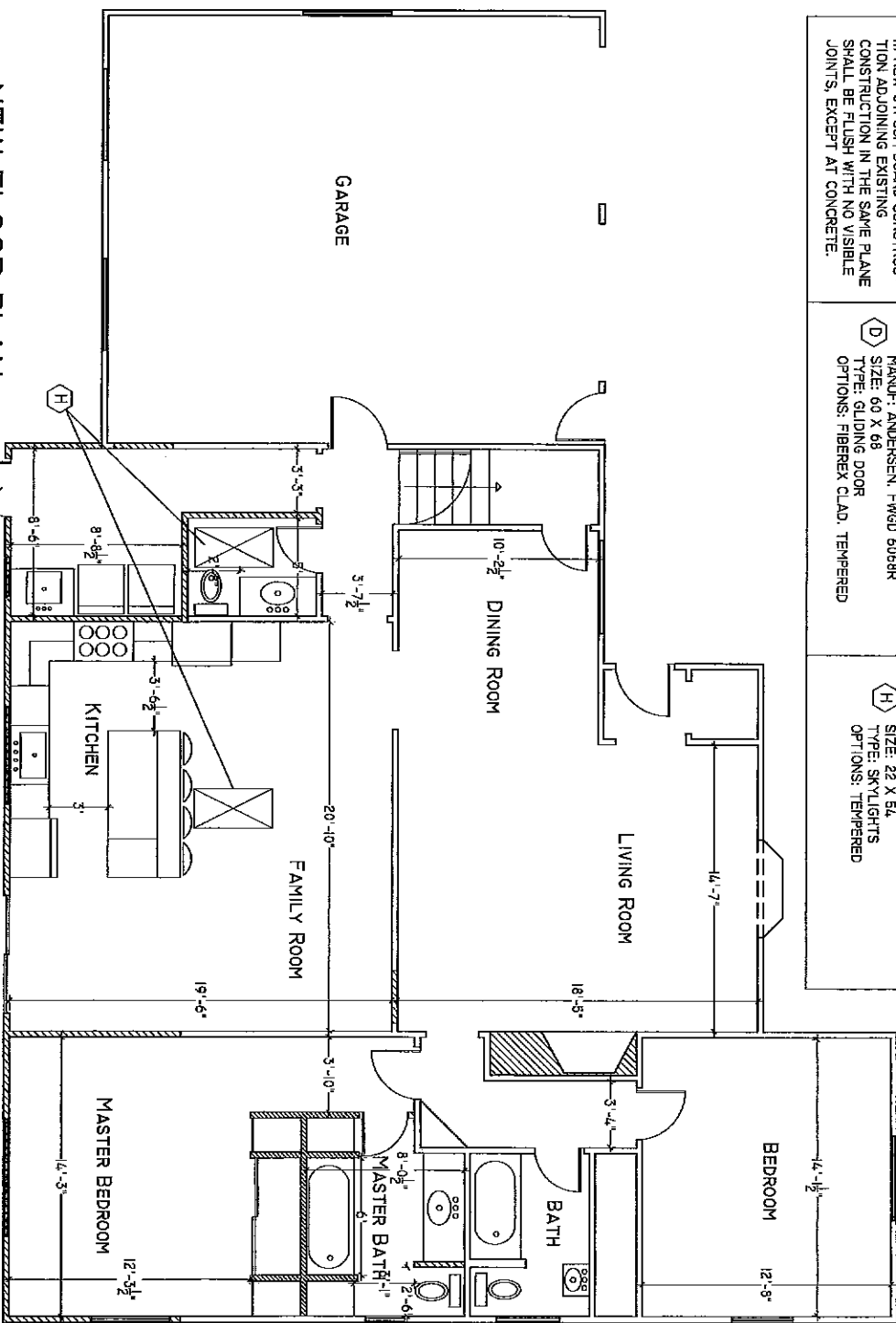
CHRISTOPHER HOMEWORKS
 Chris Anderson
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SHEET TITLE
EXISTING BASEMENT

DRAWN BY CA SHEET
 REVISION 5-5-13
 SCALE $\frac{1}{4}" = 1'-0"$
A2.0

GENERAL NOTES

LEGEND	WINDOW SCHEDULE
<p>(E) EXISTING WALL TO REMAIN</p> <p>(N) NEW WALL TO BE CONSTRUCTED</p>	<p>A MANUF.: ANDERSEN, ADH 2430 SIZE: 24 X 36 TYPE: DOUBLE HUNG OPTIONS: OBSCURE, FIBEREX CLAD, TEMPERED</p> <p>B MANUF.: ANDERSEN, AN 4018 SIZE: 48 X 18 TYPE: AWNING OPTIONS: FIBEREX CLAD, TEMPERED</p> <p>C MANUF.: ANDERSEN 244, DH3036 (X2) SIZE: 30 X 36 TYPE: DOUBLE HUNG OPTIONS: FIBEREX CLAD, TEMPERED</p> <p>D MANUF.: ANDERSEN, FWGD 6066R SIZE: 60 X 68 TYPE: GLIDING DOOR OPTIONS: FIBEREX CLAD, TEMPERED</p>
<p>GENERAL NOTES</p> <p>1. ALL PARTITIONS ARE DIMENSIONED FROM FINISHED FACE, U.O.N. ALL DIMENSIONS MARKED "CLR" (CLEAR) SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.</p> <p>2. NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS, EXCEPT AT CONCRETE.</p>	<p>E MANUF.: ANDERSEN, ANC 26-5036-26 SIZE: 60 X 36 TYPE: CASEMENT OPTIONS: FIBEREX CLAD, TEMPERED</p> <p>F MANUF.: ANDERSEN, ADH 2434 SIZE: 24 X 36 TYPE: DOUBLE HUNG OPTIONS: FIBEREX CLAD, TEMPERED</p> <p>G MANUF.: ANDERSEN, FWHOD 3168S SIZE: 36 X 68 TYPE: HINGED DOOR OPTIONS: FIBEREX CLAD, TEMPERED</p> <p>H MANUF.: VELLUX, VSC08 SIZE: 22 X 54 TYPE: SKYLIGHTS OPTIONS: TEMPERED</p>



2 NEW FLOOR PLAN
 SCALE = 1/4" = 1'-0"

CHRISTIE RESIDENCE
 155 PORTOLA ROAD
 PORTOLA VALLEY, CA 94028

NO.	REVISION	DATE

CHRISTOPHER HOMEWORKS
 CHRIS ANDERSON
 PHONE: (650) 575-8826
 EMAIL: CHRIS@CHRISTOPHERH.COM
 CA LICENSE: 82185

SHEET TITLE
CONSTRUCTION PLAN

DRAWN BY: CA SHEET
 REVISION: 5-6-13
 SCALE: 1/4" = 1'-0"
A3.0

CHRISTIE RESIDENCE
 155 PORTOLA ROAD
 PORTOLA VALLEY, CA 94028

NO.	REVISION	DT.

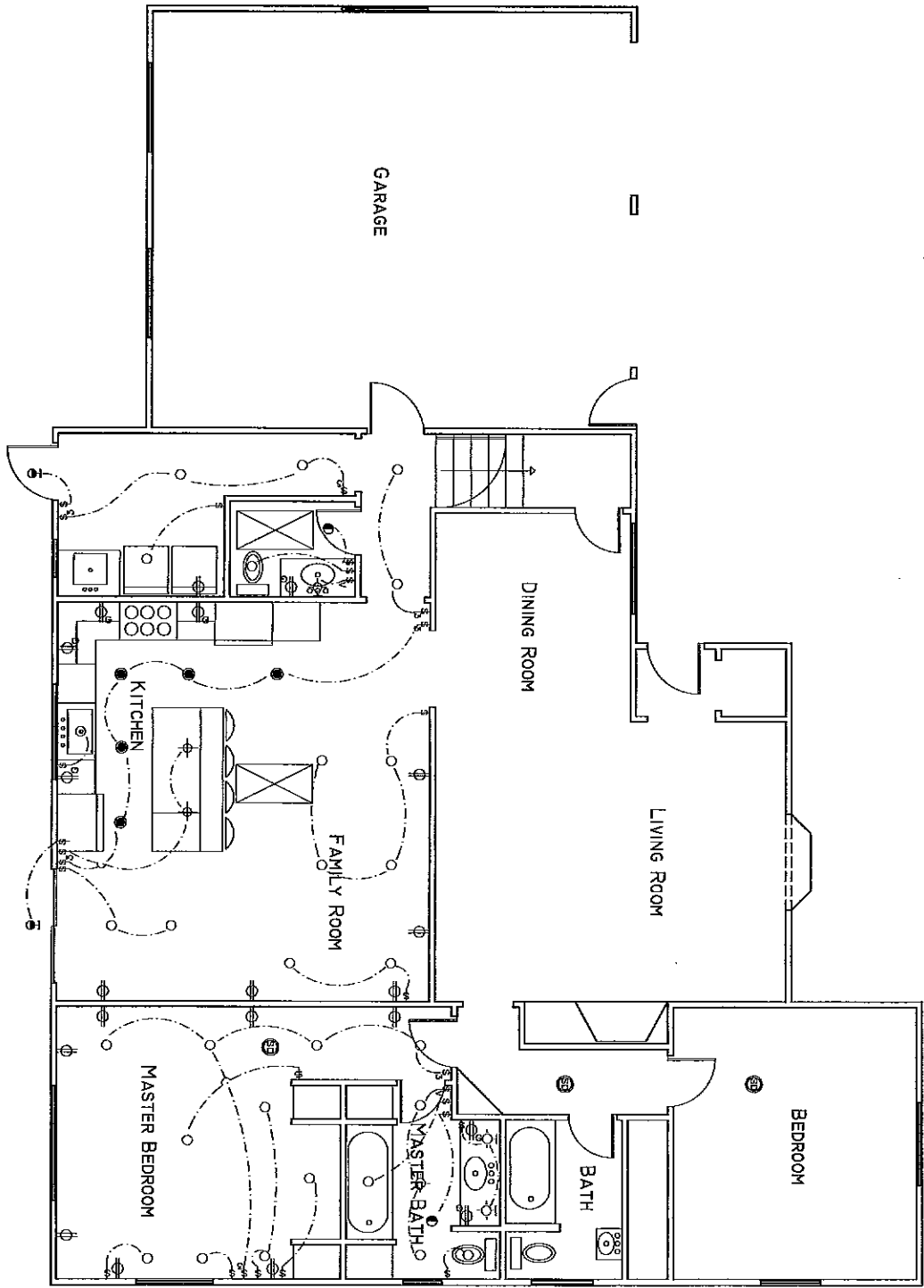
CHRISTOPHER HOMEWORKS
 CHRIS ANDERSON
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SHEET TITLE
LIGHTING & ELECTRICAL

DRAWN BY	CA	SHEET
REVISION	5-5-13	A4.0
SCALE	1/4" = 1'-0"	

LIGHTING LEGEND

- RECESSED LIGHT
- RECESSED LED LIGHT
- ⊕ LED PENDANT
- ⊖ WALL MOUNT
- ⊕ EXTERIOR DARK SKY LED, WALL MOUNT
- ⊖ EXHAUST FAN
- ⊕ OUTLET
- ⊕ GFCI OUTLET
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ VACANCY SENSOR
- ⊕ HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP



LIGHTING AND ELECTRICAL PLAN

3
 SCALE = 1/4" = 1'-0"